



Board of County Commissioners - Regular Meeting

Tuesday, August 24, 2021 at 9:00 am

**34 Forbes Street, COURTHOUSE ANNEX, COMMISSION
MEETING ROOM**

*The Board of County Commissioners asks that all cell phones are turned off or placed on silent (vibrate) mode. **Any handouts (information) for distribution to the Commission must be submitted to the Board Secretary (Clerk's Office) or to the County Coordinator on or before the Thursday prior to that Tuesday's meeting. Failure to do so will result in your removal from the agenda or a delay of any action relating to your request until a future meeting.***

Meeting Information

Effective May 4, 2021, the general public will be allowed in the commission meeting room for regular meetings. The Board of County Commissioners encourages the public to continue the use of the livestream link or Zoom. Those wanting to view the meeting can use the livestream link <https://facebook.com/forgottencoasttv/> or go to Forgotten Coast TV's Facebook Page. You do not need a Facebook account to view Facebook live. The livestream feed will promptly start 5 minutes before the meeting commences. Those wanting to participate virtually during the meeting should use the Zoom log-in/call-in information provided below. There is a link to a list of videos and Getting Started Resources on the main "Agenda and Minutes" webpage for those unfamiliar with Zoom. If you are experiencing any issues with the livestream or Zoom, call (850) 653-9783 option 3 or 2 for assistance.

To join Zoom via computer, use the link <https://zoom.us/j/95061539093> on the meeting date and time. If you do not have speakers or a microphone on your computer or prefer to call, you can dial in for audio. Call (301) 715-8592 or (312) 626- 6799 or (929) 205-6099 and enter ID number (950 6153 9093#). All attendees are muted by default.

If you would like to speak during the meeting in-person or via Zoom, you are required to complete the virtual speaker card

(<https://www.franklincountyflorida.com/virtual-speaker-card/>). This card must be submitted to the County Commission Administrative Office prior to the start of the meeting in order for you to speak during the meeting.

During "Public Comments" you may comment on a non-agenda item or a non-action item for up to 3-minutes when recognized by the Chairman.

You may also address the Commission on an agenda action item for one minute (which may change based on the number of speakers waiting to comment) during the meeting after a motion has been seconded and you are recognized by the Chairman.

*Once recognized by the Chairman, if you are on Zoom with a computer or smart device select the 'raise hand' icon. If you have dialed in to the meeting by phone press *9 to raise your hand, then *6 to unmute.*

Public engagement is important to us and use of Zoom for public participation is still a new process. We appreciate your understanding.

1. Call to Order

2. Prayer and Pledge

3. Payment of County Bills

Board action to ratify the Chairman approval of the payment of the County's bills on August 17, 2021 during the Local State of Emergency.

4. Public Comments

This is an opportunity for the public to comment on a non-agenda or non-action agenda item. When you are recognized to be heard by the Chairman, please adhere to the 3-minute time limit.

Constitutional Officers

5. Clerk of Courts - Michele Maxwell - Report

6. Sheriff - A. J. Smith - Presentation

Department Directors Reports

7. Superintendent of Roads and Bridges - Howard Nabors

Informational Items:

- a. Detail of Work Performed and Material Hauled by District (Agenda Packet)

8. Solid Waste Director - Fonda Davis

Informational Items:

- a. Right-Of-Way Debris Pickup/Recycle Material Hauled (Agenda Packet)

9. Emergency Management Director - Pam Brownell

Action Item:

- a. Request the Board retroact the Chairman's Signature on the LSE Dated 08/12/21 for Tropical Depression Fred.

Informational Items:

- b. EOC Staff worked Tropical Depression Fred.
- c. EOC staff attended the FEPA Mid-year Training and workshop in Crystal River from

08/01/2021-08/06/2021

- d. EOC staff continue to update plans and contracts for Franklin County.
- e. 08/12/21 EOC Staff completed the Desktop Review with FDEM for EMPA, EMPG, & EMPG-S grants.
- f. 08/13/21 Regional Hospital, EM, and CHD Coordination Call.
- g. 08/12/21 EOC Staff completed IPAWS Required monthly testing.
- h. 08/14/21-08/15/21 and 08/21/21-08/22/21 EOC offered a CERT (Community Emergency Response Team) Training here at the EOC.
- i. EOC Staff continue to update our Kiosk located throughout Franklin County with COVID Information along with Preparedness information for the storm.

KIOSK LOCATIONS:

Carrabelle - Franklin County Courthouse Carrabelle Annex
Carrabelle Chamber of Commerce
Eastpoint - Carquest
Apalachicola - Franklin County Emergency Management
Apalachicola Chamber of Commerce
Apalachicola Post Office

10. Extension Office Director - Erik Lovestrand

Informational Items:

General Extension Activities:

- a. During this period, the Extension office assisted citizens on topics of ficus disease, ants swarming, invasive weeds, spider mite treatment options, and more.
- b. Extension Director participated in a webinar training about the invasive carrotwood tree.
- c. Extension Director assisted with the Apalachicola NERR's 5-year evaluation process.
- d. Extension Director participated in two days of promotion/permanent status workshops to evaluate District Extension faculty who are submitting a promotion packet this year.

Sea Grant Extension:

- e. Extension Director working with State Shellfish Specialist and other faculty to host an in-service training for county extension faculty on the topic of the off-bottom oyster aquaculture industry.

4-H Youth Development:

- f. Extension Director met with District III 4-H Agents to plan for coming year and to prepare for the upcoming North Florida Fair.

Family and Consumer Sciences:

- g. Family Nutrition Program assistant continues providing nutrition programming in local schools and is assisting with training activities for the newly hired Gulf County FNP staff.

Agriculture/Home Horticulture:

- h. Franklin County Master Gardeners are meeting monthly now and hosting weekly plant clinics at the Extension office on Wednesdays from 10-noon to answer questions for walk-in visitors on gardening and home horticulture issues. Plant clinics are also being

scheduled for local libraries.

11. Building Official - Steve Paterson

Mr. Paterson will update the Board on Private Inspector fees and the consolidation of Supplemental Permit fees.

Other Reports

12. Interim Airport Manager - Ted Mosteller

(Updated Notes in Italics.)

Note: My apologies—'Tropical Storm Fred' contributed to the excessive length and tardiness of this report.

a) FYI: Our Airport Manager committee has been meeting and Erin has a report for you..

b) FYI: Concerning the Obstruction Clearance Project (Tree/Vegetation eradication)—which I deem high priority—because of deficiencies listed from the last Airport Licensing Inspection—and also deemed a safety issue. As I had reported some weeks back--I had consulted with several contractors (Loggers/Mulchers/Chippers, etc.) who led me to believe that \$150,000 would be an adequate amount—however after recently consulting with John Collins, he informs me that to do the job adequately, that the figure could be up to \$5,000 per acre. Concerned--I then consulted with Quinton Williams (FDOT) to consider more funding. He/we decided on \$450,000—which even may not be adequate—however we should be able to get most of it done—especially the priority deficiencies cited in the airport inspection. The density and type of vegetation of each acre will determine that cost per acre—some will just need mulching while other areas will require logging and bulldozer/excavator. I called John to re-arrange the funds in the grant—to request of FDOT the re-arrangement. I am informed that the grant total is for \$1,550,000 and is purposed for drainage. As we have already re-purposed--\$1,300,000 for drainage, \$150,000 for obstruction clearance and \$100,000 for the generator.

The revised re-purpose would be \$1,000,000 for the drainage, \$450,000 for obstruction clearance and \$100,000 for the generator. I'm led to believe--this re-purposing should be more than adequate for the immediate drainage issue on the West Ramp.

Note: I also understand there is another large grant in next years FDOT program for drainage.

Note: Next years FDOT program includes \$600,000 for drainage and \$800,000 for pavement rehabilitation.

In consulting with contractors—I had asked for complete clearing—to the condition that it could be bush hogged/mowed—however the stumps would be cut to the ground level and left in place—knowing that sometime in the future—they would rot and the holes would have to be filled in. I have reconsidered and John has agreed that the stumps should be removed now. Probably the best way is to push the trees over—stump and all

—then saw up, mulch or chip and completely remove the debris from the airport. One contractor I consulted would chip and salvage the product and manufacture pellets for fuel to power a power plant, etc. John informed me that mulching in place and leaving the product on the airport is not advisable.

Request to proceed with an RFP for Obstruction clearance.

c) FYI: John informs that funding in the fuel farm is tight—that while the mo-gas will be part of the self-serve credit card reader, etc. that there are not adequate funds for the mo-gas tank and associated dispenser nozzle and reel/hose system—which will be a third fuel choice. While space will be made available—and mo-gas equipment can be added later—it would be prudent to include this equipment during the construction of the new fuel farm.

Note: Currently, owners of aircraft that require mo-gas have to carry fuel onto the airport in cans from the local gas station that sells it. Mo-gas refers to motor gas, slang for gasoline used by aviators to distinguish from avgas (aviation gasoline)--the premium no lead/no ethanol gas (white gas) that some gas stations sell for your boat/small engine and vehicles that require it, etc.

d) John is here to update you on Projects and answer your questions.

e) FYI: The **roof repairs** done to the FBO hanger/office done on 08/02/21 did stop the leak into the FBO front office as I reported the FBO reported last meeting—however a subsequent rain proved that we still have a problem—the roofer missed at least two other leaks. More repairs were done Monday 8/9/21. The next rain should reveal if they were successful.

Note: Hold the Press--Thursday afternoon--we just had a rain storm and the FBO reports no leaks—*also no leaks from the storm.*

f) FYI: **Sewer lift station:** Arrangements have finally been made with Johnny Varner Plumbing for a pumper/tanker truck and repair/replacement of the sewage lift pump—scheduled for Thursday 8/12/21—will report the results Tuesday.

I am happy to report that the pump has finally been replaced and working on an extension cord plugged into the EOC—as of noon Thursday. The breaker in the hangar appears to be defective. Randall Terry reports that he is unable to reset. I have already replaced the GFCI—a second time. The line checks not shorted.

I have called Mike Cates to arrange repair of the electric—scheduled for tomorrow—Friday.

Note: The replacement pump is a 1 hp grinder pump. Cates Electric replaced the defective breaker located in the Randy Randolph hanger and the station is now working. There are a few follow-up details yet to be resolved/addressed (vent stack and cover

broken).

Thursday (8/19/21) morning--I found the new pump not working. The breaker was blown. Johnny pulled the pump and found some sort of cloth material entangled in the grinder impeller—stalling the motor—thus overloading and blowing the breaker. After un-tangling the impeller—Johnny re-installed the pump—and all is well again with the pump.

Note: Now that the 60 x 60 hanger pump is working—the next pump in line has been found (8/15/21) to not be working—which feeds direct to the city. The Randall Terry hanger also feeds this station in a “Y” configuration. This is a larger 240 volt grinder pump. Johnny Varner Plumbing made arrangements for the (Collins) pumper truck and has scheduled for Thursday August 19th to replace the pump—this was successfully accomplished.

Now--Concerning the electrical—while currently barely working--is in a deplorable unsafe condition. I have arranged with Mike Cates Electric for replacement of the rusted out disconnect box—and electrical up-grading.

This electrical service also feeds the entrance electric gate to the EOC.

This electric service is not on the generator circuit—thus Monday during the storm and the Duke Energy electrical outage—the gate was inoperable--therefore I'm looking into re-arranging the electrical to feed this system also from the EOC generator circuit—which has abundant capacity.

Note: During the storm when the 3-phase commercial power was single phasing and was eventually out completely—the EOC generator failed. That's when Jennifer called me. I reset the generator control panel (over crank cut-out alarm) and after several attempts--started the generator manually. The generator successfully ran for the remainder of the 8 to 9 hour power outage and automatically shut off when the commercial power was restored. The generator started normally on Thursday (8/19/21). Ring Power is checking into this situation.

Note: During the storm—I discovered that the roof over the EOC electrical service main panel is leaking (pouring in) onto the panel--again—not good. This has been an ongoing problem over the years--the roof around the stack has been patched numerous times. The electrical service vault equipment is located in the old generator building—with a thru-the-roof stack--and is in unsafe/deplorable condition. I was leery about touching any of the electrical equipment (main breaker/distribution panel/generator transfer switch/battery charger/ice machine/washer/dryers and miscellaneous receptacles/switches, etc.) in the room. Everything was wet—part of the ceiling is collapsing. Also contributing to the situation was the door had blown open.

On Thursday afternoon (8/19/21) I asked Mike for suggestions on updating and making the equipment safe. He was to consult with Duke Energy Engineering. As of this report--Thursday evening—I haven't heard back from Mike yet—however his initial suggestion is to update--replace the old CT (current transformer) type 400 Amp service installed by NOAA in the 70's/80's ?, with a new modern standard weather tight meter box on the outside of the building and a new 400 Amp main breaker service panel thru-the-wall on the inside. Of course the flat roof will have to be repaired (cover the stack hole, etc.).

Request to proceed with this emergency up-date/repair of the EOC electrical service and roof repair.

g) FYI: vault generator: As of Tuesday 8/10/21 Ring Power is still waiting on parts delivery for the generator. Matt Taylor informs that they will schedule repair of the control panel as soon as the parts come in.

In the meantime—as of Thursday--I can still manually start and run the generator without having to prime the injector pump. I also showed Jay how—in case of an emergency and I'm not immediately available.

Note: During the commercial power outage Monday (8/16/21)—after I was able to stabilize the EOC electrical--I proceeded to manually crank and run the vault generator until the power was restored. The power was out for some 8 to 9 hours during the storm —T S Fred. (This was the longest of some three power outages in the last two and one-half months.)

Update Note: Clint (Ring Power technician) informed me Thursday (8/19/21) that he is scheduling repair of the generator control panel and servicing for next week--mid week.

h) The FBO (Jay) reports that the 20' Bat-Wing mower needs repair and should be replaced. I consulted with Matt Cobb (John Deere—Ag-pro) and for budgetary pricing the cost would be approximately up to \$27,000.

Matt informed me that Ag-pro may have one in stock in Valdosta.

It would be purchased on the state bid contract.

Request to proceed with the purchase of a new 20' Bat-Wing mower implement.

Note: Erin reports that there are funds in the airport account to cover this purchase.

You can almost see the grass growing. I suggest that after/if the new mower is purchased that the old worn-out mower be refurbished for a spare.

FYI: Jay also reports that the older standby tractor (JD 5520) needs work—that it has very little power.—I will add it to the list.

i) FYI: To reiterate: Some issues currently listed:

Airport Manager Duties, etc report. Update.

Flight Obstruction Clearance.

Fuel Farm, Mogas, etc.

EOC

Prospective list in excess of 12 waiting for T hangars.

Prospective tenant for a box hangar.

Review of leases—(FDOT) including revenue flow and use of facilities.

Equipment inventory (including repair and maintenance) (JD 5520)

Shelter for airport equipment.

Building maintenance--Leaking roofs, etc.--Electric service for T hangars

Flight operations counter

NDB

Security Plan

Master Plan

Apron rehabilitation

FBO hangar ventilation ceiling fans

FBO hangar floor (original WWII)

13. AVCON - John Collins

Mr. Collins will update the Board on current Airport grants and other Airport matters.

14. CDBG Administrator - Deborah Belcher

Action Item:

a. The County may apply again for CDBG Disaster Recovery funding for Hurricane Michael in Round 2 of the General Infrastructure program component. Applications are due to DEO September 17, 2021. In Round 1, the County submitted an application for beach/dune restoration on Saint George Island. It is not likely that the application would be approved in Round 2 due to the fact that the project is not one that primarily benefits low/moderate income people. However, I am willing to do the work again if the Board so directs. We could now claim 5 points for leveraging federal funds, if we count the County's contract with MRD to do the Saint George Island study/design. ***The Board must decide whether or not to pursue the application.*** Another public hearing on the grant application will be required prior to the application submission.

Informational Items:

- b. On July 1, 2021, DEO issued the Administrative Closeout letter to the County for the Eastpoint Wildfire CDBG project. The County will now be eligible to apply for Small Cities CDBG funds in the next application cycle. The cycle has not been announced.
- c. I am starting the process of "semi-retiring". That means I will not be doing any more housing grants or other new projects that will take a lot of my time or require much travel.

Planning and Zoning Adjustment Report

15. Variance Requests

a. 355 Bruce Street

Consideration of a request for a variance to construct a house (footprint 1458 Sq feet) 18' into the Critical Habitat Zone setback and 3' into the front setback. Property is described as 355 Bruce Street, Block 57, Lot 1, Unit 5, St. George Island, Franklin County, Florida. Request submitted by Billy G. Blackburn, Applicant. **Board recommended denial of request**

BOARD ACTION: Approve, Table, or Deny

b. 219 West Gorrie Drive

Consideration of a request for a variance to construct a 15' x 50' Storage Building 5.5 feet into the 10-foot left and right-side setbacks. Property is described as 219

West Gorrie, West Block 9, Lot 11, Unit 1, St. George Island, Franklin County, Florida. Request submitted by Calvin Dunn, agent for Gary Rhinehart, applicant.

Board recommended approval of request

BOARD ACTION: Approve, Table, or Deny

16. Critical Shoreline Applications

a. 1490 Alligator Drive

Consideration of a request to construct a 350'x4' Single Family Dock with a 26'x6' Terminus Platform and a 40'x14' Covered Boat Lift. Property is described as Block L, Unit 2, Lot 4 Penn Point, Alligator Point, Franklin County, Florida. Request submitted by Garlick Environmental Associates, Agent for Jay Briland, applicant.

Proposed request will be contingent upon State and Federal Permits. **Board recommended approval contingent upon State and Federal Permits**

BOARD ACTION: Approve, Table, or Deny

17. Re-Zoning & Land Use Change Applications

a. 780 Hickory Hammock Road

Consideration of a request for Public Hearing to re-zone a 38.54 acre parcel lying in Section 25, Township 6 South, Range 4 West, property address described as 780 Hickory Hammock Road, Carrabelle, Franklin County, Florida from A-2 Forestry Agriculture to R-6 Rural Residential District. Request submitted by Wanda Rose, agent for Al Byrne and Mary Lynn Mathre, applicants.

Board recommended approval of request

BOARD ACTION: Approve, Table, or Deny

RFP/RFQ/Bid Opening

18. Request for Qualifications - Architect for Fort Coombs Armory

The Franklin County Board of County Commissioners is seeking architectural services relating to the renovation of the Fort Coombs Armory and Convention Center, 66 4th Street, Apalachicola, Florida. Franklin County is interested in hiring an individual or firm to design and oversee the renovations to the building, which will include completing the design and installation of a fire sprinkler system. The architect should have experience in renovating historic buildings. The architect shall be licensed to practice in the State of Florida.

19. Notice to Receive Sealed Bids - CR 370/Alligator Drive Multi-Use Path Phase I

The Franklin County Board of County Commissioners will receive sealed bids from any qualified person, company or corporation interested in constructing:

CR 370/ALLIGATOR DRIVE MULTI-USE PATH PHASE 1

Project is located in Franklin County, Florida and consists of approximately 1 mile of 10' multi-use path construction on CR 370/Alligator Drive at Alligator Point, Florida

20. Fiscal Manager/Grants Coordinator - Erin Griffith

Action Items

a. BOARD ACTION: Approval of Airport Manager Job Description

At the June 1st, 2021 meeting, upon news of the resignation of Jason Puckett the BOCC appointed Mr. Ted Mosteller as the interim Airport Manager through September 30th to give staff time to develop an accurate job description for the contract position. The proposed job description is attached. The amount available for a contractual agreement for airport manager services will be \$30,000 and as this will be for professional services, the advertisement will be a request for qualifications. Once proposals are submitted by interested parties and opened at a public meeting, the Board will then release the proposals to a review committee which will rank the proposers based upon qualifications and upon confirmation by the BOCC, staff will then proceed with negotiations with the highest ranked proposer.

Board action to approve the attached Job Description and authorize staff to proceed with advertising the request for qualifications.

b. BOARD ACTION: 1St & Final Change Order, SGI Restrooms Project

This is the first and final change order for the SGI Restrooms Project for Storm Construction. The change order entails a \$2,500 reduction in the total cost of the project relative to the duct work being galvanized in lieu of plastic with the contractor providing an extended warranty concession of ten years and a change in the date for substantial completion from March 18, 2021 to April 20, 2021 due to delays in materials. All items that were on the architect's final inspection punch list have been completed and resolved. Once this change order is approved, the final pay request with the project retainage can be processed and released to the contractor.

Board action to approve the attached first and final change order for the SGI Restrooms Project.

c. BOARD ACTION: Construction Notice of award, FEMA C30 East and West Washouts Project

Pigott Asphalt and Sitework, LLC was the lowest, responsive bidder for the FEMA C30 East and West Washouts Project with their bid of \$816,218.34. The original project cost estimate for this project was \$387,336.27. Franklin County requested a project amendment with the Bureau of Recovery as the total project cost was over two times the original cost estimate developed by FEMA. The Bureau of Recovery did not see any problem with proceeding with the project award so long as the project is completed as written and the county followed all bid policies and procedures.

Board action to approve and authorize chairman to sign the attached Notice of Award for Pigott Construction.

d. BOARD ACTION: FEMA C30A East Gulf Avenue Washouts Project Dewberry Task Order Hurricane Michael damaged approximately 480' of existing rip rap and undermined sections of C30 Gulf Avenue going east out of Carrabelle. The FEMA estimated cost to repair is \$109,814.59 and the cost for hazard mitigation providing additional rip rap, rock lining, slope protection and filter fabric is estimated at \$108,165.00. This is the last

outstanding large project remaining in the queue for Hurricane Michael Repairs. Dewberry's cost proposal of \$36,220.00 for the survey, engineering design, bidding/contract award and CEI is within the FEMA cost curve for this type of construction project.

Board action to approve and authorize the chairman to sign Dewberry Task Order #9 for the C30A East Gulf Avenue Washouts Project.

e. BOARD ACTION: Approval of Franklin County Tourist Development Council Museum Projects Grant Application and budget for 2021/2022.

At the August 5th, 2021 meeting of the Tourist Development Council, a DRAFT grant application and preliminary budget was approved for a \$100,000 Museum Projects Grant Program for fiscal year 21/22. Florida Statute 125 states that: TDC sales tax proceeds may be used to: acquire, construct, extend, enlarge, remodel, repair, improve, maintain, operate, or promote one or more: c. aquariums or museums that are publicly owned or operated by non-for-profit organizations and open to the public, within the boundaries of the county or sub county special taxing district in which the tax is levied. This special grants program will assist museums with large capital improvements and extraordinary repairs which will attract and promote tourism while preserving the heritage of the community. Applicants must meet all eligibility requirements and the maximum award per approved project will be up to \$25,000 in 21/22.

Board action to approve the attached draft application for the Tourist Development Council Museum Projects Grant Application and proposed project budget for 21/22.

f. BOARD ACTION: 1st & Final Change Order, C30A Resurfacing Project

Attached is the 1st and final change order to close out the CR 30A resurfacing project from the Gulf County line to Thirteen Mile Road. This adds \$3,217.00 to the construction costs. The \$3,217 change order has already been reviewed and approved by the Florida Department of Transportation and staff recommends approval by the Board.

BOARD ACTION: Approval and authorization for the chairman to sign the 1st and final change order in the amount of \$3,217 to Roberts and Roberts for the CR30A Resurfacing Project.

g. BOARD ACTION: Approval of County Letter Introducing Vibration Monitoring

As part of the permit specifications for the Hurricane Michael repairs of Alligator Drive, the contractor was required to have a vibration monitoring plan in place. To comply with the permit, the monitoring plan as developed by contractor Anderson Columbia includes the placement of vibration monitoring devices on adjacent properties. It is in the best interest of the county to assist Anderson Columbia to ensure that the project continues to move forward on schedule and to keep homeowners well-informed. There are approximately 17 homeowners who will receive the attached letter of introduction from the County with subject correspondence from Anderson Columbia in regard to the vibration monitoring. Anderson Columbia is requesting authorization from homeowners for the placement of the monitoring devices. A homeowner can allow entry to their property (it is not necessary to go inside homes) or refuse, however, the vibration monitoring plan was put in place to ensure that if a home was damaged by vibration,

the monitoring device would store that information and would register/document when the strong vibration occurred. This device also provides feedback to the contractor – if vibrations are registering too high, they can then slow the pile driving.

BOARD ACTION: Approval of DRAFT letter from Franklin County notifying homeowners within the construction zone of the Vibration Monitoring Plan for the Alligator Drive Project.

Information Item

h. BOARD INFORMATION: Evergreen Pay and Classification Plan Update

The pay and classification plan is in the review stage at this time. Dr. Jeff Ling with Evergreen Solutions will be at your next meeting on September 7th to present the report.

21. County Coordinator - Michael Morón

Action Items

a. Armory Reopening: At your last meeting the Board directed me to contact the State Fire Marshall office and ask if the County could reopen the Armory prior to the installation of the fire sprinkler system. I spoke to Mr. Paul Dyer, District Chief, and his preference is for the County to proceed with the installation of the fire sprinkler system prior to opening the Armory, however, if the County decides to open the Armory prior to the fire sprinkler installation, occupancy will be limited to 50 people with a fire watch on duty. With the opening of the Requests for Qualifications for Architectural Services for the Armory this morning, if the Board decides not to open the Armory until after the fire sprinkler installed, authorizing bids for painting the inside and refinishing the floors of the Armory should be a consideration. The painting and floor refinishing projects would be coordinated with the fire sprinkler installation project to avoid any scheduling or construction conflicts. **Board discussion and direction.**

b. Armory Management transfer to TDC: In 2019 the Board discusses transferring the management and rental of the Fort Coombs Armory from your Administrative Office to TDC Administration. Mr. Solomon, TDC Administrator, explained that in an effort to promote the Armory, a separate webpage for the Armory with pictures of past events, a portal to pay for Armory rentals online, along with other projects would be done. Not too long after that discussion, the Armory was closed due to COVID-19 and continued to stay closed until the fire sprinkler system was installed. Is the Board ready to move forward with the transfer of Armory management, promotion, and rental responsibilities to the TDC? Guidance from the County’s auditor and attorney may be needed if the Board decides to proceed. **Board discussion and direction.**

c. Lanark Village Fire Department Update: At your last meeting the Board discussion issues regarding the St. James-Lanark Village Volunteer Fire department and possible options to provide temporary fire department coverage of that district in case of a fire. Not too long after the Board meeting, Commissioner Boldt attended a meeting, hosted by the St. James-Lanark Village Fire Department Board of Directors, to discuss the current issues facing the Fire Department. Commissioner Boldt stated that the meeting went well and besides the Fire Chief there are eight (8) volunteer firefighters.

Commissioner Boldt expressed great confidence in the Board of Directors overseeing an effective volunteer fire department. Commissioner Boldt will comment further on the meeting and the volunteer fire department. **Board discussion and direction relating to the St. James-Lanark Village Fire Department.**

d. State Fire Marshal: As directed by the Board, I contacted the State's Volunteer Fire Coordinator, Mr. Charlie Frank to discuss the possibility of representative from the Fire Marshal's office attending a Board meeting to provide any assistance or insight with the volunteer fire departments located in the County. Mr. Frank stated that if the BOCC sends an official request signed by the Chairman, he and other State Fire Marshal staff would appear before the Board to offer any assistance and guidance with the volunteer fire departments. Scheduling a workshop, outside of a regular meeting, would probably be more effective and productive. **Board discussion and direction.**

e. SHIP Projects Inspections: Some time back, the Board assigned the responsibility of SHIP project final inspections to Mr. Steve Paterson who was, at that time, the County's Building Inspector. Since then, Mr. Paterson has been promoted to the Building Official is responsible for both jobs as the Building Inspector position is still vacant. With that stated, Mr. Paterson asked if there was a possibility of relieving him of that responsibility. I contacted Ms. Angela Webster of Community Action Agency to find out who they were using for their home rehab program inspections as their projects are similar to the SHIP projects. Community Action uses Mr. Terry Mulch the Weatherization Program Manager for Capital Area Community Action Agency. Weatherization oversees eight counties and provide services that includes client retention and maintenance, contractor acquisition and oversight, pre, post and quality control assessments for all homes that they serve. Mr. Jerome Hamlet serves as the program's Field Coordinator and handles all direct client relations and job scheduling. The inspectors would do a midpoint inspection for \$375 and a final inspection for \$275. Those fees would be included as part of the final project cost. Mr. Michael McWilliams will continue to be responsible for the initial work write-up with a new rate of \$300 per project, also included in the final project cost. **Board action to transfer the SHIP program project inspections from Mr. Paterson to Mr. Mulch of the Weatherization Program with the rates stated above, including the new rate for Mr. McWilliams.**

f. Airport Drone Promotional Video: At your July 6, 2021, meeting I informed the Board that Opportunity Florida (OF) offered to create an overhead drone video of the airport for promotional economic opportunities use at no charge to the County, a benefit of being a dues-paying member. This was an idea was brought to light by Duke Energy to OF. I've forwarded you a Dropbox link of similar videos made of the Highway 79 Corridor in Holmes County and the Highway 77 Corridor in Washington County. Once created, a link to this tool could be added to the County's website. The Board wanted to give Commissioner Ward, your Opportunity Florida appointee, the opportunity to meet with Mr. Roy Baker (OF) and his staff to discuss this offer further. Commissioner Ward may have additional comments. If approved, I will coordinate this project with Mr. Mosteller and the FBO. **Board action to authorize Opportunity Florida to create this video**

of the Apalachicola Airport.

g. OF Letter of Support: Opportunity Florida is requesting the Chairman's signature on a letter of support. This letter states that Franklin County will continue its membership with and continue to support Opportunity Florida. **Board action to authorize the Chairman's signature on the Opportunity Florida letter of support.**

h. Weems CDBG Funding: Recently, Michael Langton of Langton and Associates contacted staff about the possibility of applying for Hurricane Michael CDBG funding. After meeting with Michael, Melissa, and Erin to discuss possible projects, we agreed that a new generator for the hospital and West Clinic along with upgrading the windows in both buildings would be an application with a very good chance being funded as it serves the entire County. Approval of CDBG projects are based on income, which makes it difficult to submit applications that serve specific geographical locations in the County. Michael and Melissa have been in conversation with Mr. David Walker (Weems CEO) and he supports this application, which is due by September 17th. There is a \$5000 application fee to Langton and Associates that will be paid by Weems. **Board action to authorize Weems to engage Langton and Associates to complete the Hurricane Michael CDBG application for replacing the windows and purchasing generators for the hospital and clinic buildings.**

i. AP Beach Restoration: Last week staff was notified by the Florida Department of Environmental Protection Beach Management division that the State would fund the entire \$200,000 for design and permitting phase of the Alligator Point beach restoration project, therefore eliminating the need for the \$100,000 match. Construction is scheduled for 2023. Mr. Michael Dombrowski is available for questions. **Board action to authorize the Chairman's signature on the \$200,000 Department of Environmental Protection Standard Grant Agreement for the design and permitting phase of the Alligator Point beach restoration project.**

j. CSGC Agreement: CareerSource Gulf Coast submitted their 2021-2022 budget for your review and approval. State law requires that this item be approved by their respective county commissioners in the workforce are that they serve annually. Mrs. Kim Bodine is available to answer any questions you may have. **Board action to approve the CareerSource Gulf Coast 2021-2022 budget.**

k. COVID Sick Leave - At your January 19th meeting the Board agreed to provide an equivalent benefit equal to the unused remainder of the Federal FFCRA emergency paid sick leave for employees that had not used all of the provided two weeks' time if an employee was unable to work, including able to telework, because the employee : 1. was subject to a Federal, State or local quarantine or isolation order related to COVID-19 or 2. had been advised by a health care provider to self-quarantine related to COVID-19 or 3. was experiencing COVID-19 symptoms and was seeking a medical diagnosis. Employees would still need to complete the Emergency Paid Sick Leave Request Form for eligible reasons 1-3 above to utilize this leave. The Federal requirement to do this expired on December 31, 2020, but the Board extended this leave to March 31, 2021. I bring this item to you for consideration because several the Road and Bridge Department employees have tested positive for COVID-19 and approached Mr. Howard

Nabors, Superintendent, about access to their unused emergency paid sick leave. I have discussed this with Mrs. Maxwell, Clerk of Courts, and she is sure that her Finance staff can run a report to determine which employees have available emergency paid sick leave, what I didn't discuss with Mrs. Maxwell is the potential cost for paying this leave. How would the Board like to proceed on this matter? **Board discussion and direction.**

l. Eastpoint Building Removal Update: A few months ago, Mr. Rex Pennycuff appeared before this Board to discuss the Eastpoint Civic Association's mission to clean-up the Eastpoint waterfront area. Mr. Pennycuff stated that he was in contact with Attorney John Riedel who represented owners of property around the Eastpoint waterfront area that had damaged buildings that the Association would like demolished and removed. As a point of clarification, Attorney Riedel works for Chambers Bank, however, Attorney Riedel states that the property isn't owned by Chambers Bank, but a separate entity made up of the bank's stockholders. Mr. Pennycuff asked the Board to consider waiving some of the tipping fees for debris that may come over the landfill scales as an incentive to encourage the property owners to demolish the buildings. As part of that discussion the Board suggested that the property owners contact one of the local contractors that would be interested in crushing and reusing some of concrete, reducing the amount of building debris that would be deposited in the landfill. I forwarded this information to Attorney Riedel and in his response, he stated, "It is the owners hope that a resolution can be reached in partnership with the County to make the appearance and expenses associated with this property more tenable for both parties." Is the Board of the same mind that once the property owner has an approximate amount of tonnage that will be deposited in the County's landfill, there might be some waiver considerations? **Board discussion and direction.**

m. FWC Meeting: On Friday, August 13th, Commissioner Boldt and I met with Billy Sermon and BJ Jamison at the FWC Carrabelle Station to discuss the status of the Bay closure for oyster harvesting. Commissioner Boldt explained that he wanted FWC, in coordination with other agencies, to provide a status update on the progress of all studies relating to the Bay and oyster harvesting to the Board. He suggested that all agencies and partners involved in the Bay research, including scientist, meet in roundtable fashion and FWC takes on the role of facilitator. During this roundtable meeting, four key points would be agreed to that would be presented to the Board and public, perhaps at a BOCC workshop, in very plain language for all to understand. Since these agencies and partners do not fall under the jurisdiction of FWC, letters inviting them to participate and attend the roundtable should come from the BOCC. Commissioner Boldt may have additional comments on this item. **Board discussion and direction.**

Informational Items

n. \$1000 Pandemic Bonus: Sheriff Smith informed me that he was contacted by some volunteer firefighters wondering if they would receive the \$1000 Pandemic Bonus airmarked for first responders approved by Governor DeSantis. I contacted the Florida Department of Economic Opportunity who is the responsible State agency for this program and they sent documentation that states "*Employees who are employed on an*

*hourly-rate basis, who are considered auxiliary, or who work on a volunteer basis **are not eligible for this payment**, regardless of how many hours per week they may work.”* I forwarded that information to the Sheriff.

o. USDA approval of RBDG to Eastpoint: USDA notified the County that the \$71,500 Rural Business Opportunity Grant for Eastpoint Highway 98 Waterfront and Business Corridor Feasibility Study has been approved and the appropriate funds have been obligated.

p. Coastal Clean-Up Day: There will be a Franklin County Coastal Clean-Up Day on Saturday, September 18, 2021, from 8:30 - 11:30 a.m. A list of sign-up locations throughout the County are on the flyer (attached). The flyer also contains a contact number and email for additional information.

22. County Attorney - Michael Shuler

Commissioners' Comments & Adjournment

23. Commissioners' Comments

24. Adjournment

In accordance with Section 286.0105, Florida Statutes, any person who wishes to appeal a decision made by the Franklin County Board of County Commissioners, with respect to any matter considered at the meeting, must have a record of the proceedings. He or she may need to ensure that a verbatim record of the proceedings is made.

Contact: Franklin Co. Board of County (michael@franklincountyflorida.com (850) 653-9783 x 155) |
Agenda published on 08/19/2021 at 3:13 PM

August 17, 2021
Franklin County Road Department
Detail of Work Performed and Material Hauled by District
Detail from 7/28/2021 - 8/11/2021

District 1

Work Performed:

<u>Work Performed:</u>	<u>Date</u>	<u>Road</u>
Graded Road(s)	7/28/2021	Bradford Street
Box drag	7/28/2021	Quinn Street
Box drag	7/28/2021	Bledsoe Street
Box drag	7/28/2021	W 12th Street
Box drag	7/28/2021	Howell Street
Box drag	7/28/2021	E 1st Street
Box drag	7/28/2021	E 2nd Street
Box drag	7/28/2021	Gunn Street
Box drag	7/28/2021	E 4th Street
Cleaned ditches, Cut bushes back	7/28/2021	Twin Lakes Road
Graded Road(s)	7/28/2021	E Sawyer Street
Graded Road(s)	7/28/2021	W Sawyer Street
Box drag	7/28/2021	Palm Street
Graded Road(s)	7/28/2021	Brown Street
Graded Road(s)	7/28/2021	Wing Street
Graded Road(s)	7/28/2021	Porter Street
Graded Road(s)	7/28/2021	W Bay Shore Drive
Graded Road(s)	7/28/2021	Gibson Street
Graded Road(s)	7/28/2021	Randolph Street
Graded Road(s)	7/28/2021	Land Street
Graded Road(s)	7/28/2021	Buck Street, St. George Island
Graded Road(s)	7/28/2021	Patton Drive
Graded Road(s)	7/28/2021	Bruce Street
Graded Road(s)	7/28/2021	McCloud Street
Graded Road(s)	7/28/2021	Pruett Road
Pot hole Repair (Fill)	7/28/2021	Patton Street
Graded Road(s)	7/28/2021	Nedley Street
Cleaned out culverts	7/28/2021	Twin Lakes Road
Graded Road(s)	7/28/2021	W Pine Avenue
Box drag	7/28/2021	Akel Street
Sign Maintenance	7/28/2021	Bike Path (St. George Island)
Sign Maintenance	7/28/2021	W Gulf Beach Drive
Pot hole Repair (Fill)	7/28/2021	E 3rd Street
Pot hole Repair (Fill)	7/28/2021	W 1st Street
Cleaned out culverts	7/28/2021	Twin Lakes Road
Pot hole Repair (Fill)	7/28/2021	W Bay Shore Drive
Pot hole Repair (Fill)	7/28/2021	W 1st Street
Pot hole Repair (Fill)	7/28/2021	E 3rd Street
Sign Maintenance	7/28/2021	Bike Path (St. George Island)
Sign Maintenance	7/28/2021	W Gulf Beach Drive
Box drag	7/28/2021	W 5th Street
Box drag	7/28/2021	W 9th Street
Box drag	7/28/2021	Marks Street
Box drag	7/28/2021	W 10th Street

District 1**Work Performed:**

<u>Work Performed:</u>	<u>Date</u>	<u>Road</u>
Litter Pickup	7/28/2021	Carroll Street
Box drag	7/28/2021	W 6th Street
Box drag	7/28/2021	W 8th Street
Box drag	7/28/2021	W 4th Street
Box drag	7/28/2021	W 3rd Street
Litter Pickup	7/28/2021	N Bay Shore Drive
Litter Pickup, Weed Eat & Cut Grass around signs & Culverts	7/28/2021	Patton Drive
Litter Pickup	7/28/2021	Smith Street
Litter Pickup	7/28/2021	Apple Way Street
Graded Road(s)	7/29/2021	E 7th Street
Graded Road(s)	7/29/2021	E 6th Street
Graded Road(s)	7/29/2021	E 8th Street
Graded Road(s)	7/29/2021	E Pine Avenue
Graded Road(s)	7/29/2021	E 11th Street
Pot hole Repair (Fill)	7/29/2021	W 9th Street
Box drag	7/29/2021	Bell Street
Pot hole Repair (Fill)	7/29/2021	W 3rd Street
Pot hole Repair (Fill)	7/29/2021	W 10th Street
Box drag	7/29/2021	E 7th Street
Box drag	7/29/2021	Baine Street
Box drag	7/29/2021	E Bay Shore Drive
Box drag	7/29/2021	E 8th Street
Cut grass along shoulders of road on county right of way	7/29/2021	E Gulf Beach Drive
Box drag	7/29/2021	E 10th Street
Box drag	7/29/2021	Brinkley Street
Cut grass along shoulders of road on county right of way	7/29/2021	E Pine Avenue
Pot hole Repair (Fill)	7/29/2021	W 8th Street
Pot hole Repair (Fill)	7/29/2021	W 5th Street
Box drag	7/29/2021	E 9th Street
Sign Maintenance	7/29/2021	Bike Path (St. George Island)
Sign Maintenance	7/29/2021	Eastpoint Library
Pot hole Repair (Fill)	7/29/2021	W 8th Street
Sign Maintenance	7/29/2021	Twin Lakes Road
Pot hole Repair (Fill)	7/29/2021	W 7th Street
Sign Maintenance	7/29/2021	E Gulf Beach Drive
Sign Maintenance	7/29/2021	Eastpoint Library
Sign Maintenance	7/29/2021	Twin Lakes Road
Sign Maintenance	7/29/2021	Bike Path (St. George Island)
Shoulder Work	7/29/2021	Patton Street
Pot hole Repair (Fill)	7/29/2021	W 7th Street
Pot hole Repair (Fill)	7/29/2021	W 3rd Street
Pot hole Repair (Fill)	7/29/2021	W 9th Street
Pot hole Repair (Fill)	7/29/2021	W 10th Street
Pot hole Repair (Fill)	7/29/2021	Patton Street
Pot hole Repair (Fill)	7/29/2021	W 5th Street
Sign Maintenance	7/29/2021	W Gulf Beach Drive
Sign Maintenance	7/29/2021	Old Ferry Dock Road
Litter Pickup, Weed Eat & Cut Grass around signs & Culverts	7/30/2021	E Gulf Beach Drive
Pot hole Repair (Fill)	8/2/2021	Twin Lakes Road

District 1**Work Performed:**

<u>Date</u>	<u>Road</u>
8/2/2021	W 11th Street
8/2/2021	W 10th Street
8/2/2021	Twin Lakes Road
8/2/2021	E Gulf Beach Drive
8/2/2021	Bike Path (St. George Island)
8/2/2021	Twin Lakes Road
8/2/2021	W 10th Street
8/2/2021	E Gulf Beach Drive
8/2/2021	W 11th Street
8/2/2021	Bike Path (St. George Island)
8/9/2021	School Road
8/9/2021	Tip Tucker Road

0**Material HAUL To:**

<u>Date</u>	<u>Road</u>	<u>Cubic Yards</u>	<u>Tons</u>
7/28/2021	W 1st Street	2	0
7/28/2021	E 3rd Street	2	0

Cold Mix, Asphalt**TOTAL****4 0**

Dirty 89 Lime Rock	7/28/2021	Howell Street	18	0
Dirty 89 Lime Rock	7/28/2021	Randolph Street	18	0
Dirty 89 Lime Rock	7/28/2021	Wing Street	9	0
Dirty 89 Lime Rock	7/28/2021	McCloud Street	9	0
Dirty 89 Lime Rock	7/28/2021	Porter Street	18	0
Dirty 89 Lime Rock	7/28/2021	Bradford Street	18	0
Dirty 89 Lime Rock	7/29/2021	E Bay Shore Drive	18	0

Dirty 89 Lime Rock**TOTAL****108 0**

Milled Asphalt	7/29/2021	W 9th Street	1	0
Milled Asphalt	7/29/2021	W 10th Street	1	0
Milled Asphalt	7/29/2021	E 7th Street	9	0
Milled Asphalt	7/29/2021	E 8th Street	9	0
Milled Asphalt	7/29/2021	Patton Drive Parking Lot (Eastpoint)	9	0
Milled Asphalt	7/29/2021	W 5th Street	1	0
Milled Asphalt	7/29/2021	W 7th Street	1	0
Milled Asphalt	7/29/2021	W 3rd Street	1	0
Milled Asphalt	7/29/2021	W 8th Street	1	0
Milled Asphalt	8/2/2021	W 11th Street	2	0
Milled Asphalt	8/2/2021	Twin Lakes Road	4	0
Milled Asphalt	8/2/2021	W 10th Street	2	0

Milled Asphalt**TOTAL****41 0****District 2****Work Performed:**

<u>Date</u>	<u>Road</u>
7/28/2021	Florida Avenue (East)
7/28/2021	Palmetto Terrace
7/28/2021	Oleander Terrace
7/28/2021	Franklin Street
7/28/2021	Hinton Street
7/28/2021	Infeild Drive (Bluewayer Bay BLVD)
7/28/2021	Titi Street

District 2**Work Performed:**

<u>Work Performed:</u>	<u>Date</u>	<u>Road</u>
Cut grass along shoulders of road on county right of way	7/28/2021	Elder Street
Cut grass along shoulders of road on county right of way	7/28/2021	McIntyre Road
Cut grass along shoulders of road on county right of way	7/28/2021	Crooked River Road
Cut grass along shoulders of road on county right of way	7/28/2021	Putnal Street
Cut grass along shoulders of road on county right of way	7/29/2021	Rio Vista Drive
Cut grass along shoulders of road on county right of way	7/29/2021	McIntyre Road
Cut grass along shoulders of road on county right of way	8/2/2021	Alligator Drive
Weed Eat & Cut Grass around signs & Culverts, Litter Pickup	8/3/2021	Alligator Drive
Cut grass along shoulders of road on county right of way	8/3/2021	Tom Roberts Road
Weed Eat & Cut Grass around signs & Culverts, Litter Pickup	8/3/2021	Alligator Drive
Weed Eat & Cut Grass around signs & Culverts	8/3/2021	Alan Lane
Weed Eat & Cut Grass around signs & Culverts, Litter Pickup	8/3/2021	Alligator Drive
Weed Eat & Cut Grass around signs & Culverts, Litter Pickup	8/3/2021	CR 370 (Alligator Drive)
Cut grass along shoulders of road on county right of way	8/3/2021	Magnolia Street
Cut grass along shoulders of road on county right of way	8/3/2021	George Vause Road
Cut grass along shoulders of road on county right of way	8/3/2021	Harry Morrison Island Road
Cut grass along shoulders of road on county right of way	8/3/2021	Peninsula Street (circle)
Cut grass along shoulders of road on county right of way	8/3/2021	Alan Lane
Weed Eat & Cut Grass around signs & Culverts, Litter Pickup	8/3/2021	Alan Lane
Cut grass along shoulders of road on county right of way	8/3/2021	Maple Street
Cut grass along shoulders of road on county right of way	8/3/2021	Pine Street
Cut grass along shoulders of road on county right of way	8/3/2021	Sun N Sands Blvd
Cut grass along shoulders of road on county right of way	8/3/2021	Surf Drive
Cut grass along shoulders of road on county right of way	8/3/2021	Mariner Circle
Cut grass along shoulders of road on county right of way	8/3/2021	Alligator Drive
Cut grass along shoulders of road on county right of way, Weed Eat & Cut Grass around signs & Culverts	8/3/2021	Gulf Shore BLVD
Cut grass along shoulders of road on county right of way	8/3/2021	Angus Morrison
Cut grass along shoulders of road on county right of way	8/4/2021	Alligator Drive
Cut grass along shoulders of road on county right of way	8/4/2021	Lakeview Drive
Cut grass along shoulders of road on county right of way	8/4/2021	Gulf Shore BLVD
Cut grass along shoulders of road on county right of way	8/4/2021	Fernway Road
Cut grass along shoulders of road on county right of way	8/4/2021	Tarpon Street
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	Bay Front Drive
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	Sea Shell Avenue
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	CR 370 (Alligator Drive)
Cut grass along shoulders of road on county right of way	8/4/2021	Dunes Boulevard
Weed Eat & Cut Grass around signs & Culverts	8/4/2021	Bald Point Road
Cut grass along shoulders of road on county right of way	8/4/2021	Alligator Drive
Weed Eat & Cut Grass around signs & Culverts	8/4/2021	Bald Point Road
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	Fiesta Drive
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	Carnival Lane
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	Donax Place
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	Carousel Terrace
Weed Eat & Cut Grass around signs & Culverts	8/4/2021	Alligator Drive

District 2**Work Performed:**

<u>Work Performed:</u>	<u>Date</u>	<u>Road</u>
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	Donax Place
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	Sea Shell Avenue
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	CR 370 (Alligator Drive)
Cut grass along shoulders of road on county right of way	8/4/2021	Marlin Street
Cut grass along shoulders of road on county right of way	8/4/2021	Bald Point Road
Cut grass along shoulders of road on county right of way	8/4/2021	Cobia Street
Cut grass along shoulders of road on county right of way	8/4/2021	Trout Street
Cut grass along shoulders of road on county right of way	8/4/2021	Kingfish Street
Cut grass along shoulders of road on county right of way	8/4/2021	Bass Street
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	Mardi Gras Way
Cut grass along shoulders of road on county right of way	8/4/2021	Sailfish Street
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	Carousel Lane
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	Mardi Gras Way
Cut grass along shoulders of road on county right of way	8/4/2021	Bald Point Road
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	Carnival Lane
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	Fiesta Drive
Cut grass along shoulders of road on county right of way	8/4/2021	Grouper Street
Cut grass along shoulders of road on county right of way	8/4/2021	Chip Morrison Road
Weed Eat & Cut Grass around signs & Culverts	8/4/2021	Alligator Drive
Weed Eat & Cut Grass around signs & Culverts, Cut grass along shoulders of road on county right of way	8/4/2021	Bay Front Drive
Weed Eat & Cut Grass around signs & Culverts	8/5/2021	Carl King Avenue
Weed Eat & Cut Grass around signs & Culverts	8/5/2021	Newman Drive
Weed Eat & Cut Grass around signs & Culverts	8/5/2021	CR 370 (Alligator Drive)
Weed Eat & Cut Grass around signs & Culverts	8/5/2021	Bald Point Road
Weed Eat & Cut Grass around signs & Culverts	8/5/2021	Harbor Circle
Weed Eat & Cut Grass around signs & Culverts	8/5/2021	Oak Street (Louisiana Ave/Pinewood Ave)
Weed Eat & Cut Grass around signs & Culverts	8/5/2021	Harbor Circle
Weed Eat & Cut Grass around signs & Culverts	8/5/2021	Alligator Drive
Weed Eat & Cut Grass around signs & Culverts	8/5/2021	Carl King Avenue
Weed Eat & Cut Grass around signs & Culverts	8/5/2021	Newman Drive
Weed Eat & Cut Grass around signs & Culverts	8/5/2021	Bald Point Road
Cut grass along shoulders of road on county right of way	8/9/2021	Parker Avenue
Cut grass along shoulders of road on county right of way	8/9/2021	Indiana Street
Cut grass along shoulders of road on county right of way	8/9/2021	Kansas Street
Cut grass along shoulders of road on county right of way	8/9/2021	Florida Street
Cut grass along shoulders of road on county right of way	8/9/2021	Oak Street (Louisiana Ave/Pinewood Ave)
Cut grass along shoulders of road on county right of way	8/9/2021	Delaware Street
Cut grass along shoulders of road on county right of way	8/9/2021	Jubilee Street
Cut grass along shoulders of road on county right of way	8/9/2021	Spring Drive
Cut grass along shoulders of road on county right of way	8/9/2021	Carl King Avenue
Cut grass along shoulders of road on county right of way	8/9/2021	Illinois Street
Cut grass along shoulders of road on county right of way, Weed Eat & Cut Grass around signs & Culverts	8/9/2021	Carl King Avenue

District 2**Work Performed:**

<u>Date</u>	<u>Road</u>
8/9/2021	Putnal Street
8/9/2021	Idaho Street
8/9/2021	Newman Drive
8/9/2021	Spring Drive
8/9/2021	Putnal Street
8/9/2021	Oleander Terrace
8/9/2021	US HWY 98 (Lanark)
8/9/2021	Carl King Avenue
8/9/2021	Putnal Street
8/9/2021	US HWY 98 (Lanark)
8/9/2021	Newman Drive
8/9/2021	East Pine Street (Lanark)
8/9/2021	Heffernan Drive
8/9/2021	W Pine Street (Lanark)
8/9/2021	Holland Avenue
8/9/2021	Collins Avenue
8/9/2021	Carlton Avenue
8/9/2021	Warren Avenue
8/10/2021	Colorado Street
8/10/2021	Connecticut Street
8/10/2021	California Street
8/10/2021	Maryland Avenue
8/10/2021	Massachusetts Avenue
8/10/2021	Arizona Street
8/10/2021	Idaho Street
8/10/2021	Alabama Street
8/10/2021	Kentucky Ave
8/10/2021	Carolina Street
8/10/2021	Oak Street (Louisiana Ave/Pinewood Ave)
8/11/2021	Jeff Sanders Road

0

Material HAUL From:

<u>Date</u>	<u>Road</u>	<u>Cubic Yards</u>	<u>Tons</u>
8/3/2021	Alan Lane	0.5	0
8/3/2021	Alligator Drive	0.5	0

Litter**TOTAL****1****0**

Milled Asphalt

8/2/2021

CR67

54

0

Milled Asphalt

8/2/2021

CR67

18

0

Milled Asphalt**TOTAL****72****0**

Trees

8/9/2021

Carl King Avenue

9

0

Trees**TOTAL****9****0****Material HAUL To:**

<u>Date</u>	<u>Road</u>	<u>Cubic Yards</u>	<u>Tons</u>
8/11/2021	Jeff Sanders Road	54	0
8/11/2021	Jeff Sanders Road	36	0

Dirty 89 Lime Rock**TOTAL****90****0**

Sand

8/11/2021

Jeff Sanders Road

54

0

District 2**Material HAUL To:**

	<u>Date</u>	<u>Road</u>	<u>Cubic Yards</u>	<u>Tons</u>
Sand	8/11/2021	Jeff Sanders Road	144	0
Sand		TOTAL	198	0

District 3**Work Performed:**

	<u>Date</u>	<u>Road</u>		
Pot hole Repair (Fill), Cut Trees down and removed	7/28/2021	Library (Apalachicola New 2017) (City of Apa		
Pot hole Repair (Fill), Cut Trees down and removed	7/28/2021	Library (Apalachicola New 2017) (City of Apa		
			0	

Material HAUL From:

	<u>Date</u>	<u>Road</u>	<u>Cubic Yards</u>	<u>Tons</u>
Trees	7/28/2021	Library (Apalachicola New 2017) (City of Apa	9	0
Trees		TOTAL	9	0

Material HAUL To:

	<u>Date</u>	<u>Road</u>	<u>Cubic Yards</u>	<u>Tons</u>
Dirty 89 Lime Rock	7/28/2021	Library (Apalachicola New 2017) (City of Apa	18	0
Dirty 89 Lime Rock		TOTAL	18	0

District 4**Work Performed:**

	<u>Date</u>	<u>Road</u>		
Sign Maintenance	7/28/2021	Courthouse (Apalachicola)		
Cut grass along shoulders of road on county right of way	7/28/2021	Apalachee Street		
Sign Maintenance	7/28/2021	Courthouse (Apalachicola)		
Graded Road(s)	8/2/2021	Teat Road		
Graded Road(s)	8/2/2021	10 Mile		
Graded Road(s)	8/2/2021	8 Mile		
Graded Road(s)	8/2/2021	13 Mile		
Weed Eat & Cut Grass around signs & Culverts	8/9/2021	Apalachee Street		
Weed Eat & Cut Grass around signs & Culverts, Cut grass in ditches	8/9/2021	Apalachee Street		
Cut grass along shoulders of road on county right of way, Weed Eat & Cut Grass around signs & Culverts	8/9/2021	Apalachee Street		
Cut grass along shoulders of road on county right of way	8/10/2021	Emergency Management (Apalachicola)		
Cut grass in ditches, Weed Eat & Cut Grass around signs & Culverts	8/10/2021	Bayview Drive		
Weed Eat & Cut Grass around signs & Culverts, Cut grass in ditches	8/10/2021	Bayview Drive		
Cut grass along shoulders of road on county right of way, Weed Eat & Cut Grass around signs & Culverts	8/10/2021	Bayview Drive		
Weed Eat & Cut Grass around signs & Culverts	8/10/2021	Bayview Drive		
Cut grass along shoulders of road on county right of way	8/11/2021	Pal Rivers Road		
Cut grass along shoulders of road on county right of way	8/11/2021	Bluff Road		
Cut grass along shoulders of road on county right of way, Weed Eat & Cut Grass around signs & Culverts	8/11/2021	Bluff Road		
Weed Eat & Cut Grass around signs & Culverts, Litter Pickup	8/11/2021	Bluff Road		
Cut grass along shoulders of road on county right of way	8/11/2021	Bike Path (Apalachicola)		
Cut grass along shoulders of road on county right of way	8/11/2021	Bluff Road		
Weed Eat & Cut Grass around signs & Culverts, Litter Pickup	8/11/2021	Bluff Road		
			0	

Material HAUL To:

	<u>Date</u>	<u>Road</u>	<u>Cubic Yards</u>	<u>Tons</u>
Black Dirt	8/2/2021	13 Mile	36	0
Black Dirt		TOTAL	36	0

Dirty 89 Lime Rock

Dirty 89 Lime Rock	8/2/2021	Teat Road	18	0
Dirty 89 Lime Rock		TOTAL	18	0

District 5

District 5

Work Performed:

<u>Date</u>	<u>Road</u>
7/28/2021	Cook Street
8/2/2021	Otterslide Road
8/2/2021	Otterslide Road
8/2/2021	Otterslide Road
8/4/2021	Brick Yard Road (Forestry Road #129)
8/4/2021	Brick Yard Road (Forestry Road #129)
8/5/2021	Brick Yard Road (Forestry Road #129)
8/9/2021	Michael Way
8/9/2021	Wright Lake Road (Forestry Road #101)
8/9/2021	Brick Yard Road (Forestry Road #129)
8/9/2021	Hickory Landing Road (Forestry Road #101-B)
8/9/2021	Teresa Avenue
8/9/2021	Bloody Bluff Road
8/9/2021	Wylonda Avenue
8/9/2021	CC Land
8/9/2021	7th Street
8/9/2021	Jeffie Tucker Road
8/9/2021	10th Street
8/9/2021	4th Street
8/9/2021	Otterslide Road
8/9/2021	Garrett Lane
8/9/2021	Georgia Street
8/9/2021	8th Street
8/9/2021	Gardners Landing Road
8/9/2021	North Road
8/10/2021	Georgia Street
8/10/2021	Jeffie Tucker Road
8/10/2021	Chason Road
8/10/2021	Sand Beach Road
8/10/2021	Bloody Bluff Road

0

Material HAUL From:

<u>Date</u>	<u>Road</u>	<u>Cubic Yards</u>	<u>Tons</u>
8/4/2021	Brick Yard Road (Forestry Road #129)	198	0
8/5/2021	Brick Yard Road (Forestry Road #129)	216	0
8/5/2021	CC Land	18	0
Ditch Dirt		TOTAL	432 0

Material HAUL To:

<u>Date</u>	<u>Road</u>	<u>Cubic Yards</u>	<u>Tons</u>
8/9/2021	Gardners Landing Road	18	0
Black Dirt		TOTAL	18 0

Dirty 89 Lime Rock	8/5/2021	Power Line Road (Forestry Road #166)	18	0
Dirty 89 Lime Rock	8/9/2021	Bloody Bluff Road	18	0
Dirty 89 Lime Rock	8/9/2021	Hickory Landing Road (Forestry Road #101-B)	18	0
Dirty 89 Lime Rock	8/9/2021	Brick Yard Road (Forestry Road #129)	36	0
Dirty 89 Lime Rock	8/9/2021	Brick Yard Road (Forestry Road #129)	36	0
Dirty 89 Lime Rock	8/10/2021	Sand Beach Road	36	0
Dirty 89 Lime Rock	8/10/2021	Jeffie Tucker Road	18	0
Dirty 89 Lime Rock	8/10/2021	Bloody Bluff Road	18	0

District 5

Material HAUL To:

	<u>Date</u>	<u>Road</u>	<u>Cubic Yards</u>	<u>Tons</u>
Dirty 89 Lime Rock	8/10/2021	Sand Beach Road	54	0
Dirty 89 Lime Rock		TOTAL	252	0
Ditch Dirt	8/4/2021	Owl Creek Road (Forestry Road #129A)	198	0
Ditch Dirt	8/5/2021	Power Line Road (Forestry Road #166)	216	0
Ditch Dirt		TOTAL	414	0
Milled Asphalt	8/2/2021	Otterslide Road	4	0
Milled Asphalt		TOTAL	4	0
Sand	8/9/2021	Bloody Bluff Road	36	0
Sand	8/10/2021	Sand Beach Road	18	0
Sand		TOTAL	54	0



FRANKLIN COUNTY DEPARTMENT OF

Solid Waste & Recycling ❖ Animal Control ❖ Parks & Recreation
 210 State Road 65
 Eastpoint, Florida 32328
 Tel.: 850-670-8167
 Fax: 850-670-5716
 Email: fcswd@fairpoint.net

DIRECTOR'S REPORT

FOR: The Franklin County Board of County Commissioners

DATE: August 17, 2021

TIME: 9:00 A.M.

SUBJECT(S):

FOR BOARD INFORMATION:

July 27th – August 9th RIGHT-OF-WAY DEBRIS PICKUP

Apalachicola	Eastpoint	St George Island	Carrabelle	Lanark	Alligator Point
62.21 TONS	97.74 TONS	30.04 TONS	.29 TONS	-0- TONS	-0-TONS

RECYCLE MATERIAL HAULED

	Apalachicola	Eastpoint	St George Island	Carrabelle	Lanark	Alligator Point	St James
Cardboard	8.75 TONS	2.74 TONS	7.77 TONS	-0-TONS	-0- TONS	-0- TONS	.55 TONS
Plastic, Paper, Glass, Aluminum	-0-TONS	1.10 TONS	-0-TONS	-0-TONS	-0-TONS	-0-TONS	-0-TONS

REQUESTED ACTION: None



ADVISORY BOARD OF ADJUSTMENT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building.aspx

RECEIVED
OCT 13 2020

ADVISORY BOARD OF ADJUSTMENT APPLICATION

PROPERTY OWNER'S NAME: BILLY G. BLACKBURN BY: _____
MAILING ADDRESS: 340 BRUCE STREET City/State/Zip: ST. GEORGE ISLAND, FL 32328
PHONE #: 850-853-5737 CELL #: 850-653-5737 EMAIL: SGIPZAMAN@YAHOO.COM

AGENT'S NAME: _____
MAILING ADDRESS: _____ City/State/Zip: _____
PHONE #: _____ CELL #: _____ EMAIL: _____

PROPERTY DESCRIPTION: 911 Address: 355 BRUCE STREET, ST. GEORGE ISLAND, FL 32328
Lot/s: 1 Block: 57 Subdivision: ST GEORGE ISLAND GULF BEACHES Unit: 5
Parcel Identification #: 29-09S-06W-7315-0057-0010

JURISDICTION: Franklin County
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

LEGAL DESCRIPTION OF THE PROPERTY: (MUST ATTACH LEGAL DESCRIPTION)

DESCRIPTION OF REQUEST: CONSIDERATION OF A REQUEST TO CONSTRUCT A HOUSE (FOOTPRINT= 1458 SQ FT) 18 FEET INTO THE WESTERN SIDE CRITICAL HABITAT ZONE SETBACK AND 3 FEET INTO THE FRONT (SOUTH SIDE SETBACK) AND A VARIANCE TO PLACE A SWIMMING POOL 38 FEET INTO THE WESTERN SIDE CRITICAL HABITAT ZONE SETBACK ON PROPERTY DESCRIBED AS LOT 1, BLOCK 57, UNIT 5 ST GEORGE ISLAND GULF BEACHES.

ADVISORY BOARD OF ADJUSTMENT DATE: _____

RECOMMENDED APPROVAL: _____ RECOMMENDED DENIAL: _____ RECOMMENDED TO TABLE: _____
CONDITIONS: _____

BOARD OF COUNTY COMMISSION MEETING DATE: _____
APPROVED: _____ DENIED: _____ TABLED: _____
CONDITIONS: _____

Instructions: Complete application, including proof of ownership in the form of deed, detailed description of request including any necessary information supporting request (site plan/survey) and application fee of \$250.00. Return to the following address:

PAID: 10/11/2017 CK #3281
RECEIPT # 18940

Franklin County
34 Forbes Street, Suite 1
Apalachicola, FL 32320

THIS VARIANCE REQUEST WILL EXPIRE ONE YEAR FROM DATE OF APPROVAL BY THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONER.



ADVISORY BOARD OF ADJUSTMENT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building.aspx

ADVISORY BOARD OF ADJUSTMENT APPLICATION

PROPERTY OWNER'S NAME: BILLY G. BLACKBURN

MAILING ADDRESS: 340 BRUCE STREET City/State/Zip: ST. GEORGE ISLAND, FL 32328

PHONE #: 850-653-5737 CELL #: 850-653-5737 EMAIL: SGIPIZZAMAN@YAHOO.COM

AGENT'S NAME: GARY ULRICH

MAILING ADDRESS: PO BOX 536 City/State/Zip: APALACHICOLA, FL 32329

PHONE #: _____ CELL #: 850-566-2078 EMAIL: _____

PROPERTY DESCRIPTION: 911 Address: 355 BRUCE STREET, ST. GEORGE ISLAND, FL 32328

Lot/s: 1 Block: 57 Subdivision: ST GEORGE ISLAND GULF BEACHES Unit: 5

Parcel Identification #: 29-09S-06W-7315-0057-0010

JURISDICTION: Franklin County

Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

LEGAL DESCRIPTION OF THE PROPERTY: (MUST ATTACH LEGAL DESCRIPTION)

DESCRIPTION OF REQUEST: CONSIDERATION OF A REQUEST TO CONSTRUCT A HOUSE (FOOTPRINT= 1458 SQ FT) 18 FEET INTO THE WESTERN SIDE CRITICAL HABITAT ZONE SETBACK AND 3 FEET INTO THE FRONT (SOUTHSIDE SETBACK) AND A VARIANCE TO PLACE A SWIMMING POOL 38 FEET INTO THE WESTERN SIDE CRITICAL HABITAT ZONE SETBACK ON PROPERTY DESCRIBED AS LOT 1, BLOCK 57, UNIT 5 ST GEORGE ISLAND GULF BEACHES.

ADVISORY BOARD OF ADJUSTMENT DATE: WEDNESDAY, NOVEMBER 1, 2017 @ 10:00 AM (TENATIVE)

RECOMMENDED APPROVAL: _____ **RECOMMENDED DENIAL:** _____ **RECOMMENDED TO TABLE:** _____
CONDITIONS: _____

BOARD OF COUNTY COMMISSION MEETING DATE: TUESDAY, NOVEMBER 21, 2017 (TENATIVE)

APPROVED: _____ **DENIED:** _____ **TABLED:** _____
CONDITIONS: _____

Instructions: Complete application, including proof of ownership in the form of deed, detailed description of request including any necessary information supporting request (site plan/survey) and application fee of \$250.00. Return to the following address:

PAID: 10/11/2017 CK #3281
RECEIPT # 18940

Franklin County
34 Forbes Street, Suite 1
Apalachicola, FL 32320

THIS VARIANCE REQUEST WILL EXPIRE ONE YEAR FROM DATE OF APPROVAL BY THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONER.



Franklin County

Franklin County Planning & Building Department
34 Forbes Street, Suite 1, Apalachicola, FL 32320
Phone (850) 653-9783 Fax (850) 653-9799

PowerLine
Building Permit
Software

Payment Receipt

Receipt Date: 10/11/2017

Receipt Number: 18940

Receipt Total: 250.00

Permit

Permit Owner Name:

Permit Number:

Permit Fee: 0.00

Radon Fee: 0.00

Contractor

Contractor Name: NONE

Contractor Number: 10000

Contractor Registration Fee: 0.00

Other

Other Fee: 250.00

Notes: BILLY & JUDY BLACKBURN
VARIANCE REQUEST FOR NOVEMBER

Transaction

Staff: AMK

Payment Type: Check

Reference Number: CK #003281

Transaction Id: 18940

Voided: No

Print Date: 10/11/2017 7:22:06 PM



APPLICATION FOR DEVELOPMENT

FRANKLIN COUNTY BUILDING DEPARTMENT
34 Forbes Street, Suite 1, Apalachicola, Florida 32320
Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____
FEE: \$ _____
RADON: \$ _____
FLOOD: \$ 50.00
C.S.I.: \$ _____
TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:
VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:
ISSUANCE DATE: _____ EXPIRES: _____

New Construction
 Commercial
 Residential
 Substantial Improvement
 Less than Substantial

RECEIVED
SEP 08 2017

APPLICATION MUST BE COMPLETE: (We will no longer accept incomplete applications)

Property Owner/s: Bruce & Mary Blackburn
Contact Information: Home #: _____ Cell #: _____ BY: [Signature]
Mailing Address: 340 Bruce Street City/State/Zip: St. George Island FL 3232
EMAIL Address: _____

Contractor Name: Gary Ulrich Business Name: Gary Ulrich Const. Inc.
Contact Information: Office #: _____ Cell #: 850-566-2078
State License #: RB 29003418 County Registration #: 43
Mailing Address: PO Box 536 City/State/Zip: Apalachicola FL 32320
EMAIL Address: Gulru@ulrichcc.com

PROPERTY DESCRIPTION: 911 Address: 355 Bruce St. S.G.I
Lot/s: 1 Block: 57 Subdivision: S.G.I GOLF BEACHES Unit: 5
Parcel Identification #: 29-093-06W-7315-0057-0010

JURISDICTION: Franklin Coun City of Carrabelle
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

DESCRIPTION OF DEVELOPMENT: NEW CONSTRUCTION
ZONING DISTRICT: R-1 CONTRACT COST: 410,000

HEATED SQ FT: 1,556 UN-HEATED SQ FT: _____ TOTAL SQUARE FOOT: _____
ROOF MATERIAL: _____ FOUNDATION TYPE: _____ LOT DEMENSION: _____
NO. OF STORIES: _____ UNDERNEATH STORAGE SQ FOOTAGE: _____
(Requires Building or General Contractor if over 3 habitable stories including mezzanines.) (VE Zones: 299 Sq. Foot or Less and MUST be certified breakaway construction by Engineer)

SEPTIC TANK PERMIT # 19-SI-1734419 OR SEWER DISTRICT: _____
WATER DISTRICT: SGI Water District OR PRIVATE WELL: _____

WATER BODY: Apalachicola Bay
CRITICAL SHORELINE DISTRICT: YES OR NO CRITICAL HABITAT ZONE: YES OR NO

FLOOD ZONE INFORMATION: EFFECTIVE DATE: February 5, 2014
PANEL NUMBER: 1203700545 F FIRM ZONE/S: VE 14'
ELEVATION REQUIREMENTS AS PER SURVEY: _____

Requires V-Zone Certification Requires Elevation Certificates Requires Smart Vents Requires Breakaway Walls

BUILDING OFFICIAL _____ DATE _____ FLOODPLAIN ADMIN. _____ DATE _____
OWNER/CONTRACTOR [Signature] DATE 9-8-17

SUPPLEMENTAL APPLICATION

- 1- Proposed Alteration of the Land:
 - Determination of COE & DEP Wetlands: _____
 - Amount and location of Fill to be placed on property: _____
 - Percentage of land to be placed in impervious surface: _____

- 2- Critical Shoreline Inspection:
 - Construction to be a minimum of 50 feet from the mean high water or wetland: _____
(Must be indicated on submitted site plan)
 - Construction within 50 feet of the mean high water or wetlands: _____
 - Attach the Board of Adjustment Approval: Date of Approval: _____
(Expires One Year From Approval Date)

- 3- Elevation Requirements:
 - FLOOD ZONE: _____ BASE FLOOD ELEVATION: _____
 - LOWEST BASE FLOOD ELEVATION AT BUILDING SITE: _____
 - A/AE/AH/AO ZONES: Elevation of bottom of the first floor: _____
 - VE Zones: Elevation of the first floor horizontal support structure: _____

DEVELOPMENT APPLICATION CHECKLIST

RESIDENTIAL:

- Application ✓
- Supplemental Application
- Boundary Survey (Non-Flood Zones) ✓
- Site Plan ✓
- Septic Tank Permit ✓
- Energy Code Form ✓
- 2 Complete Sets of Building Plans ✓
- Wind Load Analysis Engineered
- _____ State Permits
- DEP Permits COE Permits FDOT Permits
- Structure Height & Number of Stories Affidavit
- Portable Toilet Agreement ~~_____~~
- Owner/Builder Affidavit
- Dumpster Affidavit
- Termite Affidavit
- Turtle Light Affidavit (If Applicable)
- _____ Recorded Notice of Commencement *Will do when pick up.*

FORMS REQUIRED IN FLOOD ZONES: (Additional)

- Topographical Survey ✓
- Flood Plain Management Review (Requires Permit)
- V Zone Certification (If Applicable) ✓
- Smart Vent Certification (If Applicable)
- Elevation Affidavit

COMMERCIAL: (Additional to Residential)

- _____ P&Z Approval Notice
- _____ BOA Approval Notice
- _____ BCC Approval Notice
- _____ DEP Storm Water Permit/Exemption
- _____ DBR Approval
- _____ Parking Plan
- _____ Flood Proofing Certification (If Applicable)

SUB-CONTRACTOR LIST

PLEASE BE ADVISED THAT ALL CONTRACTORS DOING WORK IN FRANKLIN COUNTY MUST BE REGISTERED IN FRANKLIN COUNTY PRIOR TO PERFORMING ANY WORK IN THIS COUNTY. ALL GENERAL, RESIDENTIAL & BUILDING, ELECTRICAL, PLUMBING, HVAC & ROOFING CONTRACTOR'S ARE REQUIRED TO PULL PERMITS ON ALL NEW, RENOVATIONS, REMODEL PROJECTS.

CONTRACTOR OR OWNER HAS CONTRACTED WITH THE FOLLOWING (OWNER/BUILDERS ARE NOT ALLOWED TO HIRE SPECIALTY FRAMING CONTRACTORS) ALL CONTRACTOR'S & SUBCONTRACTOR'S MUST BE REGISTERED WITH FRANKLIN COUNTY AND ALL APPLICABLE PERMITS MUST BE OBTAINED BEFORE COMMENCING WORK.

- | | | | |
|---------------------------------|-------------------------------------|------------------------|-------------------------------------|
| Contractor: <u>Grant Ulrich</u> | <input type="checkbox"/> Registered | Insulation: <u>TBD</u> | <input type="checkbox"/> Registered |
| Electrical: <u>CATES</u> | <input type="checkbox"/> Registered | Painting: <u>TBD</u> | <input type="checkbox"/> Registered |
| Plumbing: <u>VAENES</u> | <input type="checkbox"/> Registered | Framing: <u>Ulrich</u> | <input type="checkbox"/> Registered |
| HVAC: <u>AIR COV</u> | <input type="checkbox"/> Registered | Masonry: _____ | <input type="checkbox"/> Registered |
| Roofing: <u>BERRY JAMES</u> | <input type="checkbox"/> Registered | Tile: _____ | <input type="checkbox"/> Registered |
| Piling: <u>C&L CONST.</u> | <input type="checkbox"/> Registered | Other: _____ | <input type="checkbox"/> Registered |
| Concrete: <u>TBD</u> | <input type="checkbox"/> Registered | Other: _____ | <input type="checkbox"/> Registered |
| Siding: <u>ULRICH</u> | <input type="checkbox"/> Registered | Other: _____ | <input type="checkbox"/> Registered |

FRANKLIN COUNTY
ADVISORY BOARD OF ADJUSTMENT AGENDA

WEDNESDAY, NOVEMBER 1, 2017 10:00 AM
FRANKLIN COUNTY COURTHOUSE ANNEX
34 FORBES STREET, APALCHICOLA, FLORIDA



PLEASE NOTE: THE ADVISORY BOARD OF ADJUSTMENT MAKES RECOMMENDATIONS TO THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONERS REGARDING YOUR APPLICATION. ALL APPLICANTS ARE NOTIFIED THAT IF YOUR APPLICATION IS DENIED, IT MAY NOT BE RESUBMITTED FOR ONE YEAR. ALSO, ANY PERSON WISHING TO APPEAL THE RECOMMENDATIONS OF THE ADVISORY BOARD OF ADJUSTMENT OR THE DECISION OF THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONER BOARD ARE RESPONSIBLE TO ENSURE THAT A VERBATIM TRANSCRIPT OF THE PROCEEDINGS IS MADE.

1. Approval of the minutes of the meeting held, Wednesday, October 4, 2017, as mailed.
2. Consideration of a request for a variance from Franklin County's minimum lot size "one acre rule." Lot 7, SOUTHWEST CAPE, A REPLAT OF SOUTH SHOALS VILLAGE, according to the Plat thereof as recorded in Plat Book 10, Page 51, of the Public Records of Franklin County, Florida ("Lot 7") presently consists of a part lying South of Tom Roberts Road that is 0.394 acres +/- and a part lying North of Tom Roberts Road that is 0.708 acre +/- . Franklin county just purchased from the property owner all of the SW Cape Subdivision South of Tom Roberts Road, except for the part of Lot 7 South of that road, which is also presently a paved road known as South Shoals Court. The property owner is willing to convey to Franklin County all of that part of Lot 7 South of Tom Roberts Road, but only if the remainder of Lot 7 lying North of Tom Roberts Road (0.708 acre +/-), receives a variance from the county's minimum lot size "one acre rule" and that remainder of Lot 7 lying North of Tom Roberts Road (0.708 acre +/-) will not be deemed unbuildable as a result of being approximately 7/10s of an acre and less than one full acres as a result of this conveyance to Franklin County, Florida. The variance would be perpetual, transferable by the property owner, and would run with the land (i.e. that remainder of Lot 7 lying North of Tom Roberts Road (0.708 acre +/-).
3. Consideration of a request to construct a house (Footprint = 1458 sq ft) 18 feet into the Western side Critical Habitat Zone setback and 3 feet into the front (Southside setback) and a variance to place a swimming pool 38 feet into the Western side of Critical Habitat Zone setback on property described as Lot 1, Block 57, Unit 5, St. George Island Gulf Beaches.

THE BOARD OF COUNTY COMMISSIONERS ACTING AS THE BOARD OF ADJUSTMENT WILL ADDRESS THESE REQUESTS AT THEIR REGULAR MEETING ON NOVEMBER 21, 2017 AT 9:00 AM.


****PERSONS WISHING TO COMMENT MAY DO SO IN PERSON OR IN WRITING TO THE FRANKLIN COUNTY PLANNING & ZONING DEPARTMENT, 34 FORBES STREET, SUITE 1, APALACHICOLA, FLORIDA 32320. TRANSCRIPTS OF THIS HEARING WILL NOT BE RECORDED, PERSONS WISHING TO RECORD THE PROCEEDINGS MUST MAKE THE NECESSARY ARRANGEMENTS TO DO SO.**



- Legend
-  Parcels
 -  Roads
 -  City Labels

Parcel ID	29-095-06W-7315-0057-0010	Alternate ID	06W09529731500570010	Owner Address	BLACKBURN BILLY G & JUDY P
Sec/Twp/Rng	29-95-6W	Class	VACANT		340 BRUCE STREET
Property Address	355 BRUCE ST	Acreage	n/a		ST GEORGE ISLAND, FL 32328
District	1				
Brief Tax Description	UNIT 5 BL 57 LOT 1				
	<i>(Note: Not to be used on legal documents)</i>				

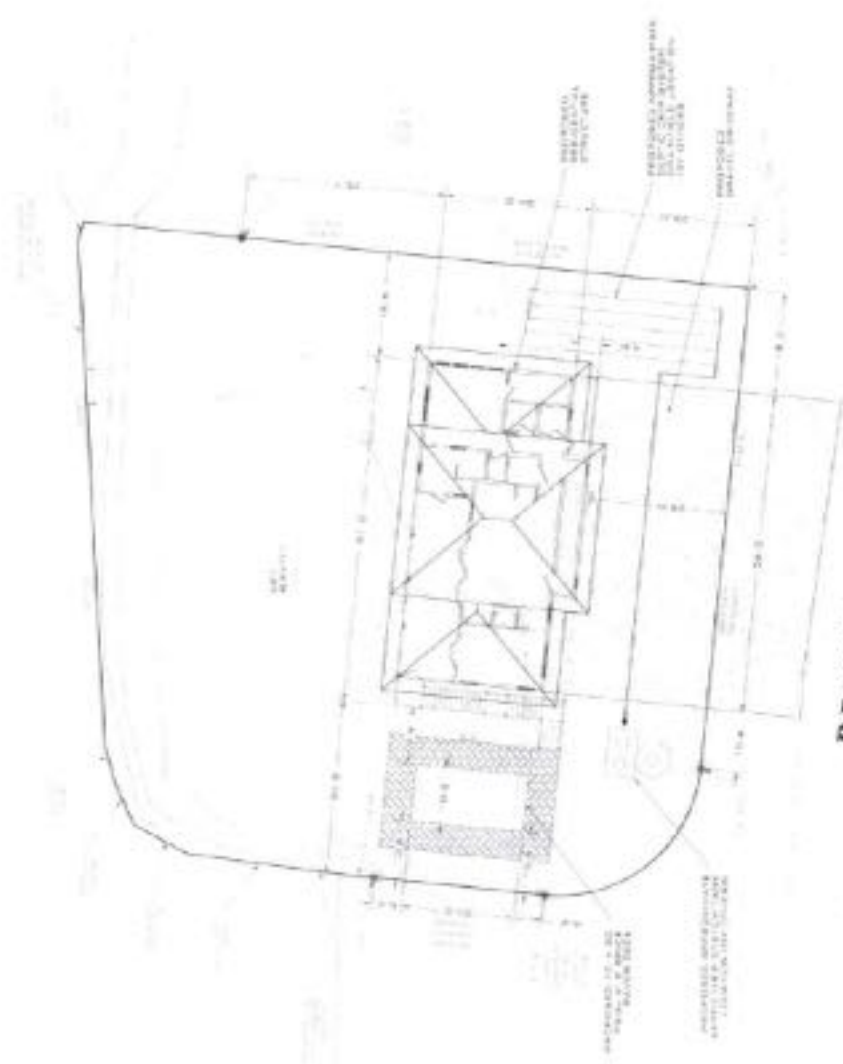
Date created: 10/18/2017
 Last Data Uploaded: 10/17/2017 9:59:04 PM

 Developed by
 The Schneider Corporation

ST. GEORGE SOUND

HOWELL STREET

BRUCE STREET



SITE PLAN
PROJECT NO. 10

LEGEND

1	EXISTING DRIVEWAY
2	EXISTING SIDEWALK
3	EXISTING DRIVEWAY
4	EXISTING DRIVEWAY
5	EXISTING DRIVEWAY
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7	EXISTING DRIVEWAY
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100	EXISTING DRIVEWAY

AREA TABLE

NO. OF AREAS	TOTAL AREA
1	100.00
2	100.00
3	100.00
4	100.00
5	100.00
6	100.00
7	100.00
8	100.00
9	100.00
10	100.00
11	100.00
12	100.00
13	100.00
14	100.00
15	100.00
16	100.00
17	100.00
18	100.00
19	100.00
20	100.00
21	100.00
22	100.00
23	100.00
24	100.00
25	100.00
26	100.00
27	100.00
28	100.00
29	100.00
30	100.00
31	100.00
32	100.00
33	100.00
34	100.00
35	100.00
36	100.00
37	100.00
38	100.00
39	100.00
40	100.00
41	100.00
42	100.00
43	100.00
44	100.00
45	100.00
46	100.00
47	100.00
48	100.00
49	100.00
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85	100.00
86	100.00
87	100.00
88	100.00
89	100.00
90	100.00
91	100.00
92	100.00
93	100.00
94	100.00
95	100.00
96	100.00
97	100.00
98	100.00
99	100.00
100	100.00

NOTES:
 1. ALL AREAS ARE TO BE CONSIDERED AS EXISTING UNLESS OTHERWISE NOTED.
 2. THE PROPOSED IMPROVEMENTS TO EXISTING DRIVEWAY AND SIDEWALK ARE TO BE CONSIDERED AS EXISTING UNLESS OTHERWISE NOTED.
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Overview




Legend

- Parcels
- Roads
- City Labels

Parcel ID	06-075-01W-1002-0000-0070	Alternate ID	01W07506100200000070	Owner Address	CAPITAL CITY BANK
Sec/Twp/Rng	--	Class	VACANT		C/O SPECIAL ASSETS DEPT.
Property Address		Acreage	0.344		PO BOX 900
					TALLAHASSEE, FL 32302

District 7
Brief Tax Description SOUTHWEST CAPE, LOT 7 PB 10/
(Note: Not to be used on legal documents)

Date created: 10/18/2017
 Last Data Uploaded: 10/17/2017 9:59:04 PM

 Developed by
 The Schneider Corporation



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
CONSTRUCTION PERMIT

PERMIT #: 19-S1-1734419
APPLICATION #: AP1272258
DATE PAID: _____
FEE PAID: _____
RECEIPT #: _____
DOCUMENT #: PR1073255

CONSTRUCTION PERMIT FOR: OSTDS New
APPLICANT: Billy Blackburn
PROPERTY ADDRESS: 355 Bruce St East Point, FL 32328
LOT: 1 BLOCK: 57 SUBDIVISION: Unit 5
PROPERTY ID #: 29-09S-08W-7315-0057-0010 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [500] GALLONS / GPD Aerobic Unit CAPACITY
A [] GALLONS / GPD N/A CAPACITY
N [] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK:1250 GALLONS]
K [] GALLONS DOSING TANK CAPACITY [] GALLONS @ [] DOSES PER 24 HRS #Pumps []

D [282] SQUARE FEET Trench SYSTEM
R [] SQUARE FEET N/A SYSTEM
A TYPE SYSTEM: [] STANDARD [] FILLED [X] MOUND []
I CONFIGURATION: [X] TRENCH [] BED []

F LOCATION OF BENCHMARK: Nail with pink ribbon in pine tree West of system

I ELEVATION OF PROPOSED SYSTEM SITE [34.00] [INCHES / FT] [] ABOVE / [] BELOW BENCHMARK/REFERENCE POINT

E BOTTOM OF DRAINFIELD TO BE [33.00] [INCHES / FT] [] ABOVE / [] BELOW BENCHMARK/REFERENCE POINT

D FILL REQUIRED: [19.00] INCHES EXCAVATION REQUIRED: [25.00] INCHES

O The system is sized for 3 bedrooms with a maximum occupancy of 6 persons (2 per bedroom), for a total estimated flow of 300 gpd.
T The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), FAC.
E Excavate to a depth of at least 25" below existing grade and replace with slightly limited soil. Utilize 2:1 slopes on mound and stabilize with sod due to space limitations.
R If gravity flow cannot be achieved, a minimum 225 gallon pump tank is required.

SPECIFICATIONS BY: Melissa Durkin TITLE: _____


APPROVED BY: [Signature] TITLE: Environmental Manager Franklin CHD

DATE ISSUED: 08/21/2017 EXPIRATION DATE: 02/21/2019

DH 4016, 08/09 (Obsoletes all previous editions which may not be used)
Incorporated: 64E-6.003, FAC

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Business and Professional Regulation - Residential Performance Method

<p>Project Name: Blackburn Residence Street: 355 Bruce Street City, State, Zip: St. George Island, FL, 32328 Owner: Design Location: FL, Panama City</p>	<p>Builder Name: Gary Ulrich Permit Office: Permit Number: Jurisdiction: County: Franklin (Florida Climate Zone 2)</p>																																																																																																																											
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Glass/Floor Area: 0.183		Total Proposed Modified Loads: 72.75 Total Baseline Loads: 74.90	PASS																																																																																																																									
<p>I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.</p> <p>PREPARED BY: <u><i>Andrew Broughan (SCE)</i></u> DATE: <u>6/29/17</u></p> <p>I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.</p> <p>OWNER/AGENT: <u><i>Gary Ulrich</i></u> DATE: <u>9-6-17</u></p>	<p>Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.</p> <div style="text-align: center;">  <p>GREAT SEAL OF THE STATE OF FLORIDA IN GOD WE TRUST</p> </div> <p>BUILDING OFFICIAL: _____ DATE: _____</p>																																																																																																																											

- Compliance requires certification by the air handler unit manufacturer that the air handler enclosure qualifies as certified factory-sealed in accordance with R403.2.2.1.
- Compliance requires an Air Barrier and Insulation Inspection Checklist in accordance with R402.4.1.1 and an envelope leakage test report in accordance with R402.4.1.2.
- Compliance with a proposed duct leakage Qn requires a Duct Leakage Test Report confirming duct leakage to outdoors, tested in accordance with Section 803 of RESNET Standards, is not greater than 0.030 Qn for whole house.

PROJECT												
Title:	Blackburn Residence	Bedrooms:	2	Address Type:	Street Address							
Building Type:	User	Conditioned Area:	1923	Lot #								
Owner:		Total Stories:	2	Block/SubDivision:								
# of Units:	1	Worst Case:	No	PlotBook:								
Builder Name:	Gary Ulrich	Rotate Angle:	0	Street:	355 Bruce Street							
Permit Office:		Cross Ventilation:		County:	Franklin							
Jurisdiction:		Whole House Fan:		City, State, Zip:	St. George Island, FL, 32328							
Family Type:	Single-family											
New/Existing:	New (From Plans)											
Comment:												
CLIMATE												
<input checked="" type="checkbox"/>	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	2.5 %	Int Design Temp Winter	Summer	Heating Degree Days	Design Moisture	Daily Temp Range		
	FL, Panama City	FL_PANAMA_CITY_BAY	2	32	91	70	75	1260	56	Low		
BLOCKS												
	Number	Name	Area	Volume								
	1	Block1	1962	17658								
SPACES												
	Number	Name	Area	Volume	Kitchen	Occupants	Bedrooms	Infil ID	Finished	Cooled	Heated	
	1	1st Floor	1227	11043	Yes	2	1	1	Yes	Yes	Yes	
	2	2nd Floor	735	6615	Yes	1	1	1	Yes	Yes	Yes	
FLOORS												
<input checked="" type="checkbox"/>	#	Floor Type	Space	Perimeter	Perimeter R-Value	Area	Joist R-Value	Tile	Wood	Carpet		
	1	Raised Floor	1st Floor	----	----	1227 ft ²	19	0.33	0.33	0.34		
	2	Floor Over Other Space	2nd Floor	----	----	735 ft ²	0	0.33	0.33	0.34		
ROOF												
<input checked="" type="checkbox"/>	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	SA Tested	Emit	Emit	Deck	Pitch
	1	Hip	Metal	1372 ft ²	0 ft ²	Light	0.96	No	0.9	No	0.6299	26.6
ATTIC												
<input checked="" type="checkbox"/>	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC					
	1	Full attic	Vented	300	1227 ft ²	N	N					

CEILING								
✓ #	Ceiling Type	Space	R-Value	Ins Type	Area	Framing Frac	Truss Type	
1	Under Attic (Vented)	1st Floor	38	Blown	1227 ft²	0.11	Wood	
2	Under Attic (Vented)	2nd Floor	38	Blown	735 ft²	0.11	Wood	

WALLS														
✓ #	Ornt	Adjacent To	Wall Type	Space	Cavity R-Value	Width Ft	In	Height Ft	In	Area	Sheathing R-Value	Framing Fraction	Solar Absor.	Brow. Grade%
1	N	Exterior	Frame - Wood	1st Floor	19	32	8	9	0	294.0 ft²	0.63	0.23	0.75	0
2	W	Exterior	Frame - Wood	1st Floor	19	10	0	9	0	90.0 ft²	0.63	0.23	0.75	0
3	N	Exterior	Frame - Wood	1st Floor	19	23	4	9	0	210.0 ft²	0.63	0.23	0.75	0
4	E	Exterior	Frame - Wood	1st Floor	19	26	0	9	0	234.0 ft²	0.63	0.23	0.75	0
5	S	Exterior	Frame - Wood	1st Floor	19	14	0	9	0	126.0 ft²	0.63	0.23	0.75	0
6	E	Exterior	Frame - Wood	1st Floor	19	4	0	9	0	36.0 ft²	0.63	0.23	0.75	0
7	S	Exterior	Frame - Wood	1st Floor	19	25	0	9	0	225.0 ft²	0.63	0.23	0.75	0
8	E	Exterior	Frame - Wood	1st Floor	19	4	0	9	0	36.0 ft²	0.63	0.23	0.75	0
9	S	Exterior	Frame - Wood	1st Floor	19	17	0	9	0	153.0 ft²	0.63	0.23	0.75	0
10	E	Exterior	Frame - Wood	1st Floor	19	16	9	0	0	144.0 ft²	0.63	0.23	0.75	0
11	N	Exterior	Frame - Wood	2nd Floor	19	24	6	9	0	220.5 ft²	0.63	0.23	0.75	0
12	E	Exterior	Frame - Wood	2nd Floor	19	30	0	9	0	270.0 ft²	0.63	0.23	0.75	0
13	S	Exterior	Frame - Wood	2nd Floor	19	25	0	9	0	225.0 ft²	0.63	0.23	0.75	0
14	W	Exterior	Frame - Wood	2nd Floor	19	30	9	9	0	276.8 ft²	0.63	0.23	0.75	0

WINDOWS
Orientation shown is the entered, Proposed orientation.

✓ #	Ornt	Wall ID	Frame	Panies	NFRC	U-Factor	SHGC	Area	Overhang Depth	Overhang Separation	Int Shade	Screening
1	N	1	Vinyl	Low-E Single	Yes	0.4	0.25	48.0 ft²	1 ft 4 in	12 ft 3 in	None	None
2	N	1	Vinyl	Low-E Single	Yes	0.4	0.25	9.0 ft²	1 ft 4 in	12 ft 3 in	None	None
3	W	2	Vinyl	Low-E Single	Yes	0.4	0.25	16.0 ft²	1 ft 4 in	12 ft 3 in	None	None
4	N	3	Vinyl	Low-E Single	Yes	0.4	0.25	3.0 ft²	1 ft 4 in	12 ft 3 in	None	None
5	N	3	Vinyl	Low-E Single	Yes	0.4	0.25	33.0 ft²	1 ft 4 in	12 ft 3 in	None	None
6	E	4	Vinyl	Low-E Single	Yes	0.4	0.25	12.5 ft²	1 ft 4 in	12 ft 3 in	None	None
7	S	5	Vinyl	Low-E Single	Yes	0.4	0.25	11.0 ft²	1 ft 4 in	12 ft 3 in	None	None
8	S	7	Vinyl	Low-E Single	Yes	0.4	0.25	22.0 ft²	1 ft 4 in	12 ft 3 in	None	None
9	S	9	Vinyl	Low-E Single	Yes	0.4	0.25	49.5 ft²	1 ft 4 in	12 ft 3 in	None	None
10	E	10	Vinyl	Low-E Single	Yes	0.4	0.25	33.0 ft²	1 ft 4 in	12 ft 3 in	None	None
11	N	11	Vinyl	Low-E Single	Yes	0.4	0.25	66.0 ft²	1 ft 4 in	1 ft 4 in	None	None
12	E	12	Vinyl	Low-E Single	Yes	0.4	0.25	6.0 ft²	1 ft 4 in	1 ft 4 in	None	None
13	S	13	Vinyl	Low-E Single	Yes	0.4	0.25	33.0 ft²	1 ft 4 in	1 ft 4 in	None	None
14	W	14	Vinyl	Low-E Single	Yes	0.4	0.25	16.0 ft²	1 ft 4 in	1 ft 4 in	None	None

INFILTRATION																								
#	Scope	Method	SLA	CFM 50	ELA	EqLA	ACH	ACH 50																
1	Wholehouse	Best Guess	.0005	2573.2	141.26	265.67	.3878	8.7434																
HEATING SYSTEM																								
<input checked="" type="checkbox"/>	#	System Type	Subtype	Efficiency	Capacity	Block	Ducts																	
<input type="checkbox"/>	1	Electric Heat Pump	None	HSPF:8.2	29.87 kBtu/hr	1	sys#1																	
COOLING SYSTEM																								
<input checked="" type="checkbox"/>	#	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Block	Ducts															
<input type="checkbox"/>	1	Central Unit	None	SEER: 14	34.21 kBtu/hr	1020 cfm	0.75	1	sys#1															
HOT WATER SYSTEM																								
<input checked="" type="checkbox"/>	#	System Type	SubType	Location	EF	Cap	Use	SetPnt	Conservation															
<input type="checkbox"/>	1	Electric	None	1st Floor	0.92	40 gal	50 gal	120 deg	None															
SOLAR HOT WATER SYSTEM																								
<input checked="" type="checkbox"/>	FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF																	
<input type="checkbox"/>	None	None			#'																			
DUCTS																								
<input checked="" type="checkbox"/>	#	--- Supply ---		--- Return ---		Leakage Type	Air Handler	CFM 25 TOT	CFM25 OUT	QN	RLF	HVAC # Heat Cool												
<input type="checkbox"/>	1	Attic	6	392.4 ft	Attic	98.1 ft ²	Prop. Leak Free	Attic	-- cfm	58.9 cfm	0.03	0.50	1	1										
TEMPERATURES																								
Programable Thermostat: None						Ceiling Fans:																		
Cooling	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input type="checkbox"/>	Mar	<input checked="" type="checkbox"/>	Apr	<input checked="" type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input checked="" type="checkbox"/>	Jul	<input checked="" type="checkbox"/>	Aug	<input checked="" type="checkbox"/>	Sep	<input type="checkbox"/>	Oct	<input type="checkbox"/>	Nov	<input type="checkbox"/>	Dec
Heating	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input type="checkbox"/>	Mar	<input checked="" type="checkbox"/>	Apr	<input checked="" type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input type="checkbox"/>	Jul	<input type="checkbox"/>	Aug	<input type="checkbox"/>	Sep	<input type="checkbox"/>	Oct	<input checked="" type="checkbox"/>	Nov	<input checked="" type="checkbox"/>	Dec
Venting	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input type="checkbox"/>	Mar	<input checked="" type="checkbox"/>	Apr	<input checked="" type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input type="checkbox"/>	Jul	<input type="checkbox"/>	Aug	<input type="checkbox"/>	Sep	<input type="checkbox"/>	Oct	<input checked="" type="checkbox"/>	Nov	<input checked="" type="checkbox"/>	Dec

FORM R405-2014

Thermostat Schedule: HERS 2006 Reference		Hours											
Schedule Type		1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Cooling (VEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	68	68	68	68	68	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	68	68
Heating (VEH)	AM	68	68	68	68	68	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	68	68

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 97

The lower the Energy Performance Index, the more efficient the home.

355 Bruce Street, St. George Island, FL, 32328

<p>1. New construction or existing 2. Single family or multiple family 3. Number of units, if multiple family 4. Number of Bedrooms 5. Is this a worst case? 6. Conditioned floor area (ft²)</p>	<p>New (From Plans) Single-family 1 2 No 1923</p>	<p>9. Wall Types a. Frame - Wood, Exterior b. N/A c. N/A d. N/A</p> <p>10. Ceiling Types a. Under Attic (Vented) b. N/A c. N/A</p> <p>11. Ducts a. Sup. Attic, Ret. Attic, Attic</p>	<table border="0" style="width: 100%;"> <tr> <td style="text-align: right;">Insulation</td> <td style="text-align: right;">Area</td> </tr> <tr> <td>R=19.0</td> <td>2540.30 ft²</td> </tr> <tr> <td>R=</td> <td>ft²</td> </tr> <tr> <td>R=</td> <td>ft²</td> </tr> <tr> <td>R=</td> <td>ft²</td> </tr> </table> <table border="0" style="width: 100%;"> <tr> <td style="text-align: right;">Insulation</td> <td style="text-align: right;">Area</td> </tr> <tr> <td>R=38.0</td> <td>1962.00 ft²</td> </tr> <tr> <td>R=</td> <td>ft²</td> </tr> <tr> <td>R=</td> <td>ft²</td> </tr> </table> <table border="0" style="width: 100%;"> <tr> <td style="text-align: right;">R</td> <td style="text-align: right;">ft²</td> </tr> <tr> <td>6</td> <td>392.4</td> </tr> </table>	Insulation	Area	R=19.0	2540.30 ft ²	R=	ft ²	R=	ft ²	R=	ft ²	Insulation	Area	R=38.0	1962.00 ft ²	R=	ft ²	R=	ft ²	R	ft ²	6	392.4																																							
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<p>7. Windows**</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 15%;">a. U-Factor:</td> <td style="width: 35%;">Description</td> <td style="width: 50%;">Area</td> </tr> <tr> <td>SHGC:</td> <td>Sgl, U=0.40</td> <td>360.00 ft²</td> </tr> <tr> <td></td> <td>SHGC=0.25</td> <td></td> </tr> <tr> <td>b. U-Factor:</td> <td>N/A</td> <td>ft²</td> </tr> <tr> <td>SHGC:</td> <td></td> <td></td> </tr> <tr> <td>c. U-Factor:</td> <td>N/A</td> <td>ft²</td> </tr> <tr> <td>SHGC:</td> <td></td> <td></td> </tr> <tr> <td>d. U-Factor:</td> <td>N/A</td> <td>ft²</td> </tr> <tr> <td>SHGC:</td> <td></td> <td></td> </tr> <tr> <td colspan="2">Area Weighted Average Overhang Depth:</td> <td>1.333 ft.</td> </tr> <tr> <td colspan="2">Area Weighted Average SHGC:</td> <td>0.250</td> </tr> </table> <p>8. Floor Types</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 15%;">a. Raised Floor</td> <td style="width: 35%;">Insulation</td> <td style="width: 50%;">Area</td> </tr> <tr> <td>b. Floor Over Other Space</td> <td>R=19.0</td> <td>1227.00 ft²</td> </tr> <tr> <td>c. N/A</td> <td>R=0.0</td> <td>735.00 ft²</td> </tr> <tr> <td></td> <td>R=</td> <td>ft²</td> </tr> </table>	a. U-Factor:	Description	Area	SHGC:	Sgl, U=0.40	360.00 ft ²		SHGC=0.25		b. U-Factor:	N/A	ft ²	SHGC:			c. U-Factor:	N/A	ft ²	SHGC:			d. U-Factor:	N/A	ft ²	SHGC:			Area Weighted Average Overhang Depth:		1.333 ft.	Area Weighted Average SHGC:		0.250	a. Raised Floor	Insulation	Area	b. Floor Over Other Space	R=19.0	1227.00 ft ²	c. N/A	R=0.0	735.00 ft ²		R=	ft ²	<p>12. Cooling systems</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 60%;">a. Central Unit</td> <td style="width: 20%;">kBtu/hr</td> <td style="width: 20%;">Efficiency</td> </tr> <tr> <td></td> <td>34.2</td> <td>SEER: 14.00</td> </tr> </table> <p>13. Heating systems</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 60%;">a. Electric Heat Pump</td> <td style="width: 20%;">kBtu/hr</td> <td style="width: 20%;">Efficiency</td> </tr> <tr> <td></td> <td>29.9</td> <td>HSPF: 8.20</td> </tr> </table> <p>14. Hot water systems</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 60%;">a. Electric</td> <td style="width: 20%;">Cap: 40 gallons</td> <td style="width: 20%;">EF: 0.92</td> </tr> <tr> <td>b. Conservation features</td> <td colspan="2">None</td> </tr> </table>	a. Central Unit	kBtu/hr	Efficiency		34.2	SEER: 14.00	a. Electric Heat Pump	kBtu/hr	Efficiency		29.9	HSPF: 8.20	a. Electric	Cap: 40 gallons	EF: 0.92	b. Conservation features	None	
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		15. Credits	None																																																													

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____



*Note: This is not a Building Energy Rating. If your Index is below 70, your home may qualify for energy efficient mortgage (EEM) incentives if you obtain a Florida EnergyGauge Rating. Contact the EnergyGauge Hotline at (321) 638-1492 or see the EnergyGauge web site at energygauge.com for information and a list of certified Raters. For information about the Florida Building Code, Energy Conservation, contact the Florida Building Commission's support staff.

**Label required by Section R303.1.3 of the Florida Building Code, Energy Conservation, if not DEFAULT.

TABLE 402.4.1.1

AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA

Project Name:	Blackburn Residence	Builder Name:	Gary Ulrich
Street:	355 Bruce Street	Permit Office:	
City, State, Zip:	St. George Island, FL, 32328	Permit Number:	
Owner:		Jurisdiction:	
Design Location:	FL, Panama City		
COMPONENT	CRITERIA	CHECK	
Air barrier and thermal barrier	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous barrier. Breaks or joints in the air barrier shall be sealed. Air-permeable insulation shall not be used as a sealing material.		
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.		
Walls	Corners and headers shall be insulated and the junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top or exterior walls shall be sealed. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier. Knee walls shall be sealed.		
Windows, skylights and doors	The space between window/door jambs and framing and skylights and framing shall be sealed.		
Rim joists	Rim joists are insulated and include an air barrier.		
Floors (including above-garage and cantilevered floors)	Insulation shall be installed to maintain permanent contact with underside of subfloor decking. The air barrier shall be installed at any exposed edge of insulation.		
Crawl space walls	Where provided in lieu of floor insulation, insulation shall be permanently attached to the crawlspace walls. Exposed earth in unvented crawl spaces shall be covered with a Class 1 vapor retarder with overlapping joints taped.		
Shafts, penetrations	Duct shafts, utility penetrations, and flue shaft openings to exterior or unconditioned space shall be sealed.		
Narrow cavities	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity spaces.		
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.		
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be air tight, IC rated, and sealed to the drywall.		
Plumbing and wiring	Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.		
Shower/tub on exterior wall	Exterior walls adjacent to showers and tubs shall be insulated and the air barrier installed separating them from the showers and tubs.		
Electrical/phone box on	The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.		
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the sub-floor or drywall.		
Fireplace	An air barrier shall be installed on fireplace walls. Fireplaces shall have gasketed doors.		

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Envelope Leakage Test Report Prescriptive and Performance Method

Project Name: Blackburn Residence Street: 355 Bruce Street City, State, Zip: St. George Island, FL, 32328 Design Location: FL, Panama City Cond. Floor Area: 1962 sq.ft.	Builder Name: Gary Ulrich Permit Office: Permit Number: Jurisdiction: Cond. Volume: 17658 cu.ft.
--	--

Envelope Leakage Test Results

Regression Data:

C: _____ n: _____ R: _____

Single or Multi Point Test Data

	HOUSE PRESSURE	FLOW:
1	Pa	cfm
2	Pa	cfm
3	Pa	cfm
4	Pa	cfm
5	Pa	cfm
6	Pa	cfm

Leakage Characteristics

CFM(50): _____
 ELA: _____
 EqLA: _____
 ACH: _____
 ACH(50): _____
 SLA: _____

R402.4.1.2 Testing. The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 5 air changes per hour in Climate Zones 1 and 2, 3 air changes per hour in Climate Zones 3 through 8. Testing shall be conducted with a blower door at a pressure of 0.2 inches w.g. (50 Pascals). Where required by the code official, testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope.

During testing:

1. Exterior windows and doors, fireplace and stove doors shall be closed, but not sealed, beyond the intended weatherstripping or other infiltration control measures;
2. Dampers including exhaust, intake, makeup air, backdraft and flue dampers shall be closed, but not sealed beyond intended infiltration control measures;
3. Interior doors, if installed at the time of the test, shall be open;
4. Exterior doors for continuous ventilation systems and heat recovery ventilators shall be closed and sealed;
5. Heating and cooling systems, if installed at the time of the test, shall be turned off; and
6. Supply and return registers, if installed at the time of the test, shall be fully open.

I hereby certify that the above envelope leakage performance results demonstrate compliance with Florida Energy Code requirements in accordance with Section R402.4.1.2.

SIGNATURE: _____

PRINTED NAME: _____

DATE: _____

Where required by the code official, testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the third party conducting the test and provided to the code official.



BUILDING OFFICIAL: _____
 DATE: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Form R405 Duct Leakage Test Report Performance Method

Project Name: Blackburn Residence Street: 355 Bruce Street City, State, Zip: St. George Island, FL, 32328 Design Location: FL, Panama City	Builder Name: Gary Ulrich Permit Office: Permit Number: Jurisdiction: Duct Test Time: Post Construction
---	---

Duct Leakage Test Results

CFM25 Duct Leakage Test Values		
Line	System	Outside Duct Leakage
1	System 1	_____ cfm25(Out)
2	System 2	_____ cfm25(Out)
3	System 3	_____ cfm25(Out)
4	System 4	_____ cfm25(Out)
5	Total House Duct System Leakage	Sum lines 1-4 _____ Divide by _____ (Total Conditioned Floor Area) = _____ (Q _{n,Out})

I certify the tested duct leakage to outside, Q_n, is not greater than the proposed duct leakage Q_n specified on Form R405-2014.

SIGNATURE: _____

PRINTED NAME: _____

DATE: _____

Duct tightness shall be verified by testing to Section 803 of the RESNET Standards by an energy rater certified in accordance with Section 553.99, Florida Statutes.



BUILDING OFFICIAL: _____
DATE: _____

Residential System Sizing Calculation

Summary

355 Bruce Street
St. George Island, FL 32328

Project Title:
Blackburn Residence

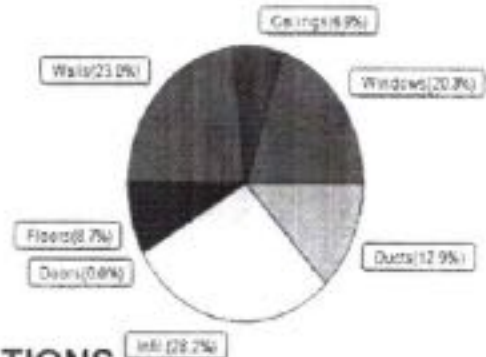
6/29/2017

Location for weather data: Panama City, FL - Defaults: Latitude(30.2) Altitude(18 ft.) Temp Range(L)			
Humidity data: Interior RH (50%) Outdoor wet bulb (78F) Humidity difference(56gr.)			
Winter design temperature(TMY3 99%)	28 F	Summer design temperature(TMY3 99%)	93 F
Winter setpoint	70 F	Summer setpoint	75 F
Winter temperature difference	42 F	Summer temperature difference	18 F
Total heating load calculation	29865 Btuh	Total cooling load calculation	34212 Btuh
Submitted heating capacity	% of calc Btuh	Submitted cooling capacity	% of calc Btuh
Total (Electric Heat Pump)	100.0 29865	Sensible (SHR = 0.75)	111.2 25659
Heat Pump + Auxiliary(0.0kW)	100.0 29865	Latent	76.8 8553
		Total (Electric Heat Pump)	100.0 34212

WINTER CALCULATIONS

Winter Heating Load (for 1962 sqft)

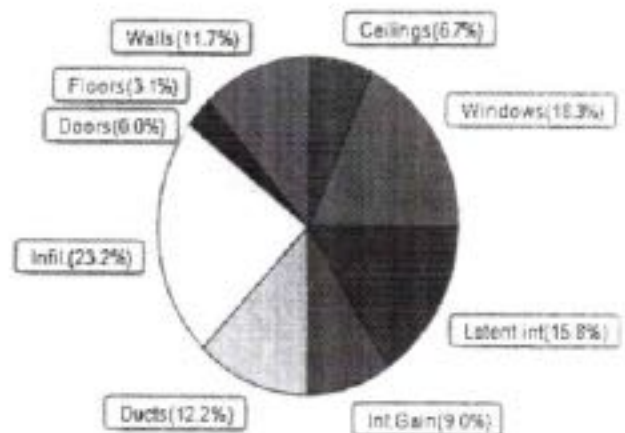
Load component		Load	
Window total	360 sqft	6048	Btuh
Wall total	2180 sqft	6879	Btuh
Door total	0 sqft	1	Btuh
Ceiling total	1962 sqft	2062	Btuh
Floor total	See detail report	2584	Btuh
Infiltration	183 cfm	8432	Btuh
Duct loss		3880	Btuh
Subtotal		29865	Btuh
Ventilation	0 cfm	0	Btuh
TOTAL HEAT LOSS		29865	Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 1962 sqft)

Load component		Load	
Window total	360 sqft	6261	Btuh
Wall total	2180 sqft	3996	Btuh
Door total	0 sqft	1	Btuh
Ceiling total	1962 sqft	2307	Btuh
Floor total		1046	Btuh
Infiltration	137 cfm	2710	Btuh
Internal gain		3090	Btuh
Duct gain		3659	Btuh
Sens. Ventilation	0 cfm	0	Btuh
Blower Load		0	Btuh
Total sensible gain		23071	Btuh
Latent gain(ducts)		529	Btuh
Latent gain(infiltration)		5212	Btuh
Latent gain(ventilation)		0	Btuh
Latent gain(internal/occupants/other)		5400	Btuh
Total latent gain		11141	Btuh
TOTAL HEAT GAIN		34212	Btuh



8th Edition

EnergyGauge® System Sizing

PREPARED BY: *John Taylor (SCE)*

DATE: *6/29/17*

V ZONE DESIGN CERTIFICATE

Name BILLY + JUDY BLACK BURN Policy Number (Insurance Co. Use) _____
 Building Address or Other Description 355 BRUCE ST, FRANKLIN PARCEL 29-095-06W-7315-0057-0010
 Permit No. _____ City FRANKLIN CO. State FL Zip Code 32328

SECTION I: Flood Insurance Rate Map (FIRM) Information

Community No. 120088 Panel No. 0545 Suffix F FIRM Date 2/5/14 FIRM Zone(s) VE(14')

SECTION II: Elevation Information Used for Design

[NOTE: This section documents elevations used in the design – it does not substitute for an as-built Elevation Certificate.]

- | | | | |
|--|---|--|--------------------------------|
| 1. Datum..... | <input type="checkbox"/> NGVD | <input checked="" type="checkbox"/> NAVD | <input type="checkbox"/> Other |
| 2. Elevation of the Bottom of Lowest Horizontal Structural Member | <u>16</u> feet above datum | | |
| 3. Base Flood Elevation (BFE)..... | <u>14</u> feet above datum | | |
| 4. Elevation of Lowest Adjacent Grade | <u>4</u> feet above datum | | |
| 5. Approximate <u>Depth</u> of Anticipated Scour/Erosion used for Foundation Design..... | <u>2</u> feet above datum | | |
| 6. Embedment <u>Depth</u> of Piling or Foundation Below Lowest Adjacent Grade..... | <u>(1)</u> feet above datum
↳ <u>25' @ HOUSE</u>
<u>16' @ PORCH</u> | | |

SECTION III: V Zone Design Certification Statement

[NOTE: This section must be certified by a Florida licensed engineer or architect.]

I certify: (1) that I have developed or reviewed the structural design, plans, and specifications for construction and (2) that the design and methods of construction to be used are in accordance with accepted standards of practice for meeting the following provisions:

- The bottom of the lowest horizontal structural member of the lowest floor (with the exception of mat or raft foundations, piling, pile caps, columns, grade beams and bracing) is elevated to or above the BFE in accordance with the requirements of the *Florida Building Code* and local floodplain management regulations; and
- The pile and column foundation and building or structure to be attached thereto is designed in accordance with the *Florida Building Code* to be anchored to resist flotation, collapse, and lateral movement due to the effects of the wind and flood loads acting simultaneously on all building components, and other load requirements of the *Florida Building Code*. The potential for scour and erosion at the foundation has been anticipated for conditions associated with the base flood, including wave action.

SECTION IV: Breakaway Wall Design Certification Statement

[NOTE: This section must also be certified by a Florida licensed engineer or architect when breakaway walls exceed a design safe loading resistance of 20 pounds per square foot. This requirement does not apply to open wood/plastic lattice/slats/louvers or insect screening.]

I certify: (1) that I have developed or reviewed the structural design, plans, and specifications for construction and (2) that the design and methods of construction to be used for the breakaway walls are in accordance with the *Florida Building Code, Building (ASCE 24)* or *Florida Building Code, Residential*, as applicable, and accepted standards of practice.

SECTION V: Certification and Seal

This certification is to be signed and sealed by a Florida licensed professional engineer or architect authorized by law to certify structural designs. *I certify the V Zone Design Certification Statement in Section III and the Breakaway Wall Design Certification Statement in Section IV (if applicable).*

<u>L. JACK HUSBAND III</u>	<u>69169</u>
Certifier's Name	License Number
<u>PRESIDENT</u>	<u>SOUTHEASTERN CONSULTING ENGINEERS, INC.</u>
Title	Company Name
<u>P.O. BOX 141</u>	<u>NEW HITCHKA</u>
Address	City
<u>[Signature]</u>	<u>FL</u>
Signature	State
	<u>32465</u>
	ZIP
	<u>6/29/17</u>
	<u>(850) 639-3860</u>
	Date Telephone



Digitally signed by L. Jack Husband III
 Date: 2017.06.29 14:12:01 -05'00'



DUMPSTER AGREEMENT AFFIDAVIT

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building.aspx

DUMPSTER AGREEMENT AFFIDAVIT

I, Gary Ulrich, said Contractor/Owner, agree to have an on-site dumpster or some type of debris container to store debris material to contain all scrap building materials.

- Cubic Yard Dumpster
- Trailer Dumpster
- Dump Truck
- LIST: _____

[Signature] 9-8-17
Contractor's Signature: Date

Gary Ulrich
Contractor's Printed Name:

Owner's Signature: Date

Owner's Printed Name:

State of Florida
County of Franklin

I, Gary Ulrich, who is personally known or provided the following identification _____, on this day 8 of Sept., 2017 understand that I have read and understood the above statement and will comply or the Final Certificate of Occupancy will be held up until the above has been documented.

NOTARY: Whitney Cheyenne Cruson SEAL:
Whitney Cheyenne Cruson
Printed Name





ELEVATION CERTIFICATION NOTICE
FRANKLIN COUNTY BUILDING DEPARTMENT
 34 Forbes Street, Suite 1, Apalachicola, Florida 32320
 Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

EFFECTIVE DATE:
July 2, 2013

ELEVATION CERTIFICATION NOTICE

TO CONTRACTORS AND/OR OWNER-BUILDERS

I understand that: As part of the inspection process, it is necessary for the Building Department to inspect the foundation installation **PRIOR** to any of the floor system being installed. This inspection applies to any new structure being built in a flood zone (i.e. A, AE and VE Zones). This is necessary to ensure that the county flood requirements are met. **INTIAL: GU**

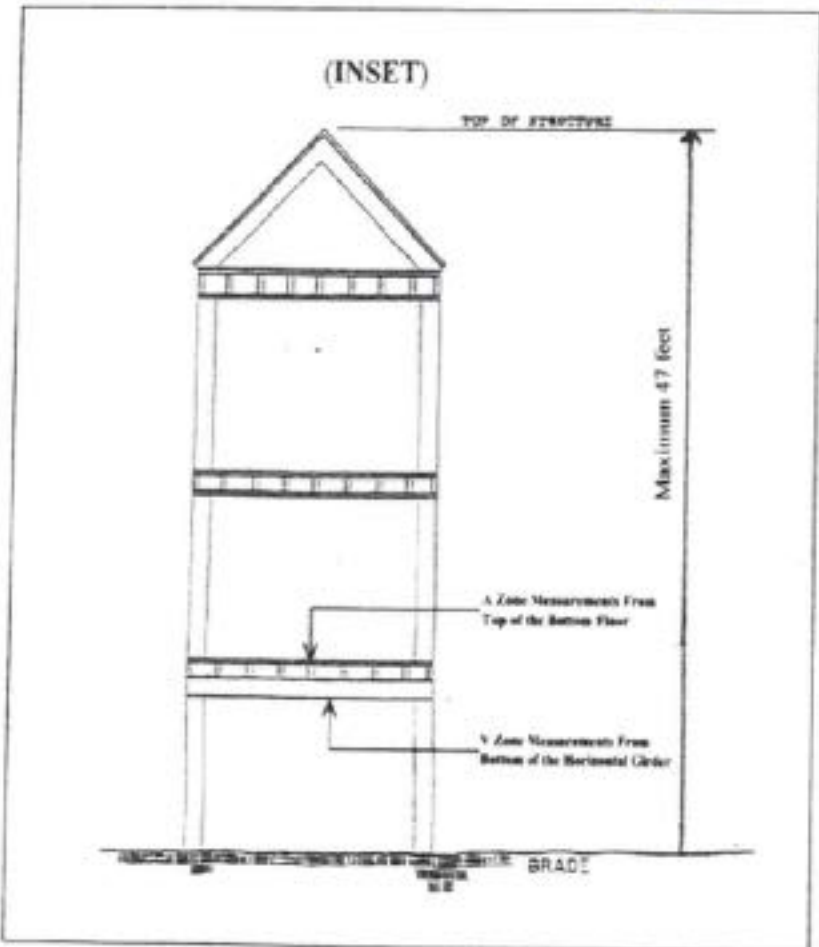
I understand that: The height of a structure is measured from natural grade. The structure can not exceed 47 feet from natural grade or exceed three habitable stories in height. **INTIAL: GU**

I understand that: Should I fail to call for this inspection, a Stop Work Order will be placed on the job site and could result in the structure being dismantled to a point where it can be brought into compliance. **INTIAL: GU**

I understand that: This inspection does not exempt the need for the required elevation certificates. **INTIAL: GU**

I understand that: The first elevation certificate is required when the first floor is established, after the first floor, floor joists and sub-floor is installed or the slab has been poured. Construction should not go beyond this point until the elevations have been shot and the elevation certificate has been provided and reviewed by this department. **INTIAL: GU**

I understand that: The second elevation certificate is required at the completion of the structure, and is required prior to the Certificate of Occupancy being issued. **INTIAL: GU**



Contractor's Signature: [Signature]
 Contractor's Printed Name: Gary Ulrich
 Owner's Signature: _____
 Owner's Printed Name: _____

State of Florida
 County of Franklin

I, Gary Ulrich, who is personally known or provided the following identification _____, on this day 8 of Sept, 2017 understand that I have read and understood the above statement and will comply or the Final Certificate of Occupancy will be held up until the above has been documented.

NOTARY [Signature]





TERMITE TREATMENT AFFIDAVIT
FRANKLIN COUNTY BUILDING DEPARTMENT
 34 Forbes Street, Suite 1, Apalachicola, Florida 32320
 Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountytvflorida.com/cleaning_buildings.asp

EFFECTIVE DATE:

FEBRUARY 1, 2006

TERMITE TREATMENT NOTICE

According to the Florida Building Code, Section **104.2.6 Certificate of Protective Treatment for prevention of termites**: A weather resistant jobsite posting board shall be provided to receive duplicate Treatment Certificates as each required protective treatment is completed, providing a copy for the person the permit is issued to and another copy for the Building Department Permit Files. The Treatment Certificate shall provide to establish a verifiable record of protective treatment:

- Product Used
- Identity of the Applicator
- Time and Date of the Treatment
- Site Location
- Area Treated
- Chemical Used
- Percent Concentration
- Number of Gallons Used

If the soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED A PRE-TREATMENT CERTIFICATE AND A FINAL (POST) TERMITE TREATMENT CERTIFICATE MUST BE PRESENTED TO THE BUILDING DEPARTMENT.

[Signature] 9-8-17
 Contractor's Signature: Date

Gary Ulrich
 Contractor's Printed Name:

 Owner's Signature: Date

 Owner's Printed Name:

State of Florida
County of Franklin

I, Gary Ulrich, who is personally known or provided the following identification _____, on this day 8 of Sept, 2017 understand that I have read and understood the above statement and will comply or the Final Certificate of Occupancy will be held up until the above has been documented.

NOTARY: Whitney Cheyenne Cruson SEAL:
Whitney Cheyenne Cruson
 Printed Name





TURTLE LIGHTING AFFIDAVIT
FRANKLIN COUNTY BUILDING DEPARTMENT
 34 Forbes Street, Suite 1, Apalachicola, Florida 32320
 Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PERMIT
 # _____
 ORDINANCE
 No. 2015-1 Turtle Lighting

TURTLE LIGHTING AFFIDAVIT

I/We, the property owners and/or contractor of record, acknowledge that construction permitted by the attached application must adhere to the requirements of County Ordinance 2015-1 LIGHTING ORDINANCE FOR MARINE TURTLE PROTECTION OF FRANKLIN COUNTY, FLORIDA.

I have received a copy of this ordinance and understand the requirements for exterior lighting and window/door tinting.

PHYSICAL ADDRESS OF NEW CONSTRUCTION:

Property Owner Signature: _____

Contractor of Record Signature: Gary Ulrich

Contractor's Signature: Gary Ulrich Date: 9-8-17

Contractor's Printed Name: Gary Ulrich

Owner's Signature: _____ Date: _____

Owner's Printed Name: _____

State of Florida
 County of Franklin

I, Gary Ulrich, who is personally known or provided the following identification _____, on this day 8 of Sept, 2017 understand that I have read and understood the above statement and will comply or the Final Certificate of Occupancy will be held up until the above has been documented.

NOTARY: Whitney Cheyenne Cruson SEAL:
Whitney Cheyenne Cruson
 Printed Name





STRUCTURE HEIGHT & NUMBER OF STORIES AFFIDAVIT

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building_services.aspx?sid=building

20
REGISTRATION

FEE: \$ _____

APPLICATION MUST BE COMPLETE

Please Place My Registration As In-Active Status

Contractor's Name: Gracy Urick
 Business Name: Gracy Urick Const. Inc.
 Office #: _____ Cell #: 850-546-2078
 Mailing Address: P.O. Box 534 City/State/Zip: APALACHICOLA
 EMAIL Address: gracy@gracyurickcc.com
 Authorized Agents: (Please Submit Notarized Authorization) [Signature]

STATE LICENSE

State License #: _____

- General Contractor
- Building
- Residential

1. Number of Stories including mezzanines: 2 (not to exceed 3 stories)
2. Height of Structure: 45 +/- (not to exceed 47 feet from highest adjacent grade)

I, Gracy Urick, licensed as Builder, as listed above can only construct up to the following number of habitable stories 3. I understand that if the structure exceeds 2 stories I will be required to provide a Registered or Certified General Contractor's License with the State of Florida.

The aforementioned is true and correct to the best of my knowledge:

[Signature] 9-8-17 Gracy Urick
 Contractor Date Printed Name:

**STATE OF FLORIDA
COUNTY OF FRANKLIN**

The foregoing instrument was acknowledged before me on this 8th of Sept, 2017, by Gracy Urick, who is personally known/or produced _____ as identification.

[Signature] SEAL:

Whitney Cheyenne Cruson
PRINTED NAME:



July 17, 2020
My Commission Expires:

Mize Plumbing Services and Supply, Inc.

520 First Street – Port St. Joe, FL 32456
Phone 850-229-6821 – Fax 850-227-9413
CFC057220 CFC1426594 ERO011618 C0C1508814

September 8, 2017

Franklin County Building Dept.
34 Forbes Street, Suite 1
Apalachicola, FL 32320
Phone: 850-653-9783
Fax: 850-653-9799

Dear Sir or Ma'am,

The following business, Gary Ulrich Construction, has contracted for one portable restroom to be delivered to 355 Bruce St, St George Is., FL. Rental includes once a week pump out. Regular Route/Delivery Date is: Weekly, on Monday.

Thank You,

Sarah Mize
Mize Plumbing Services & Supply, Inc

_____ (authorized signature)

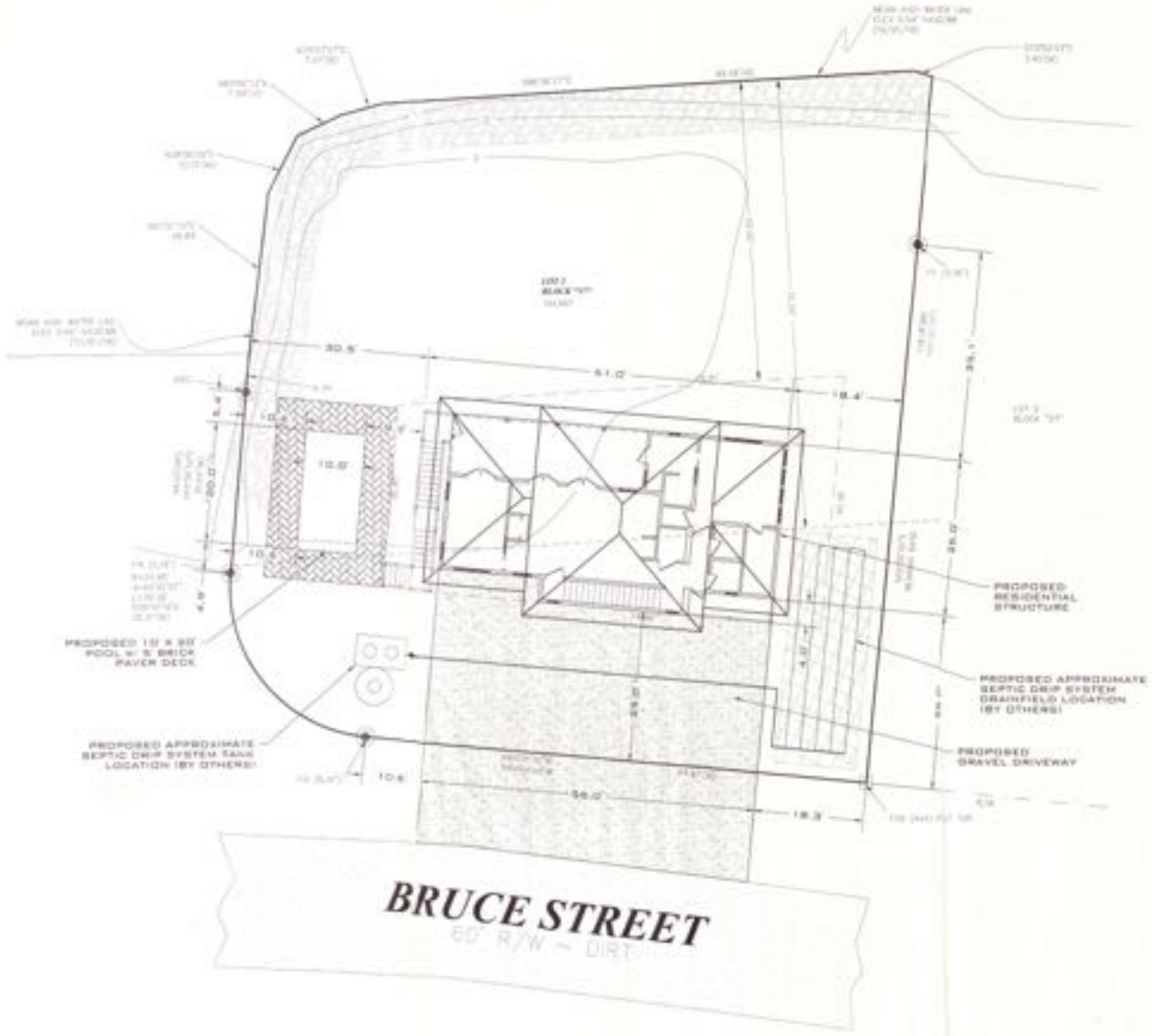
Joel
Gary Ulrich Construction
PO Box 536
Apalachicola, FL
Phone: 653-5114
Fax: 653-2999

ST. GEORGE SOUND

LEGEND

1/4" = 1' (CONCRETE) ADJUSTMENT	
1/4" = 1' (WOOD) ADJUSTMENT	
1/4" = 1' (BRICK) ADJUSTMENT	
1/4" = 1' (ASPH) ADJUSTMENT	
1/4" = 1' (CONCRETE) ADJUSTMENT	
1/4" = 1' (WOOD) ADJUSTMENT	
1/4" = 1' (BRICK) ADJUSTMENT	
1/4" = 1' (ASPH) ADJUSTMENT	
1/4" = 1' (CONCRETE) ADJUSTMENT	
1/4" = 1' (WOOD) ADJUSTMENT	
1/4" = 1' (BRICK) ADJUSTMENT	
1/4" = 1' (ASPH) ADJUSTMENT	
1/4" = 1' (CONCRETE) ADJUSTMENT	
1/4" = 1' (WOOD) ADJUSTMENT	
1/4" = 1' (BRICK) ADJUSTMENT	
1/4" = 1' (ASPH) ADJUSTMENT	

HOWELL STREET
90' R/W ~ NOT CONSTRUCTED



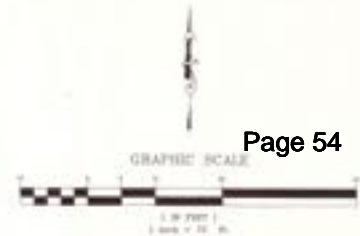
AREA TABLE

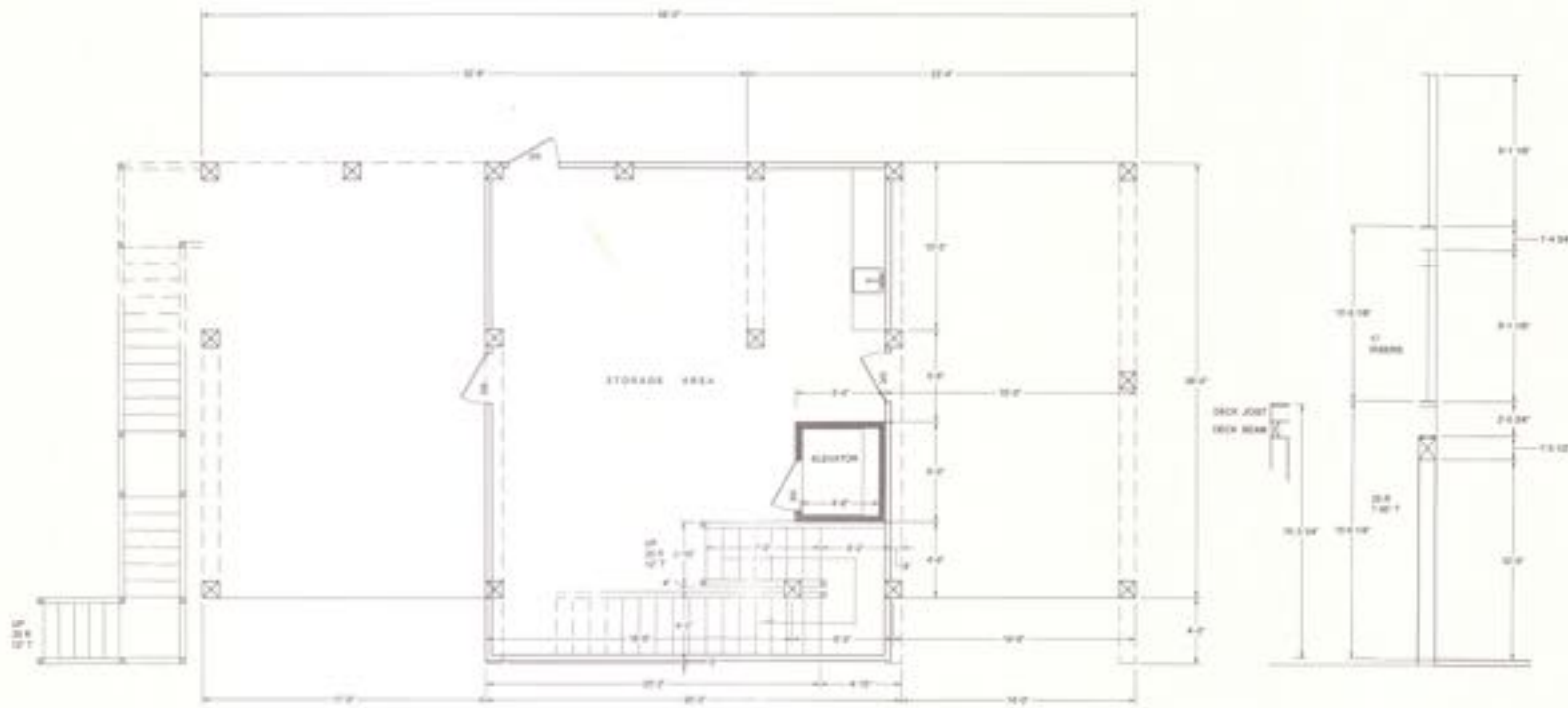
PROPOSED RES. STRUCTURE	1,558.0	SF
PROPOSED GRAVEL DRIVEWAY	1,254.8	SF
PROPOSED POOL & POOL DECK	600.00	SF
TOTAL IMPERVIOUS AREA	3,412.80	SF
TOTAL PARCEL AREA	4,248.79	SF
IMPERVIOUS AREA PERCENT	79.84	%

- NOTES:**
1. REFER TO ARCHITECTURAL PLANS FOR ALL FINAL HOUSE DIMENSIONS PRIOR TO ANY SITE WORK.
 2. THE OWNER/CONTRACTOR SHALL VERIFY THE HOUSE LOCATION PRIOR TO CONSTRUCTION.
 3. THIS SITE PLAN IS BASED ON INFORMATION AVAILABLE AT THE TIME OF THE DESIGN. NO WETLAND DELINEATION OR TITLE COMMITMENT WAS PROVIDED TO SEE FOR THE PURPOSES OF THIS DESIGN.
 4. THE OWNER/CONTRACTOR SHALL VERIFY THE LOCATION OF THE POOL TO COMPLY WITH LOCAL SETBACK REQUIREMENTS PRIOR TO CONSTRUCTION.
 5. SEPTIC DWP SYSTEM SHOWN ON THIS SITE PLAN SHALL BE CONSIDERED CONCEPTUAL. THE EXACT SEPTIC SYSTEM SIZE & LOCATION SHALL BE VERIFIED PRIOR TO ANY WORK.

BRUCE STREET
60' R/W ~ DIRT

SITE PLAN
SCALE: 1" = 10'





GROUND FLOOR PLAN
SCALE: 1/8"=1'-0"

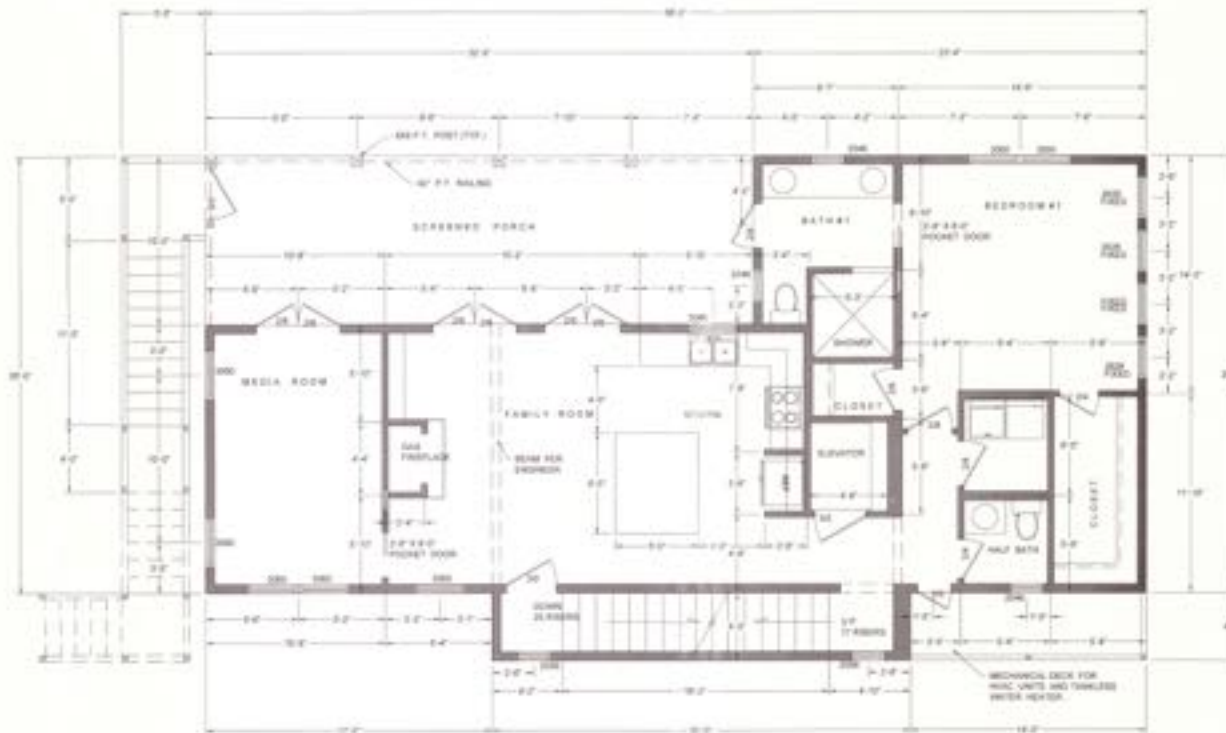


SRK DRAFTING
PANAMA CITY, FL.
SRKDRAFTING@GMAIL.COM

GROUND FLOOR PLAN
BLACKBURN RESIDENCE
355 BRUCE STREET

PROJECT NUMBER: 17-03-03 DRAWN BY: SHAWN WY. (CHECKED BY: DANA ST.) DATE: 08-17 PROJECT: 355 BRUCE STREET, ALABAMA	REVISIONS: NO. DATE BY DESCRIPTION

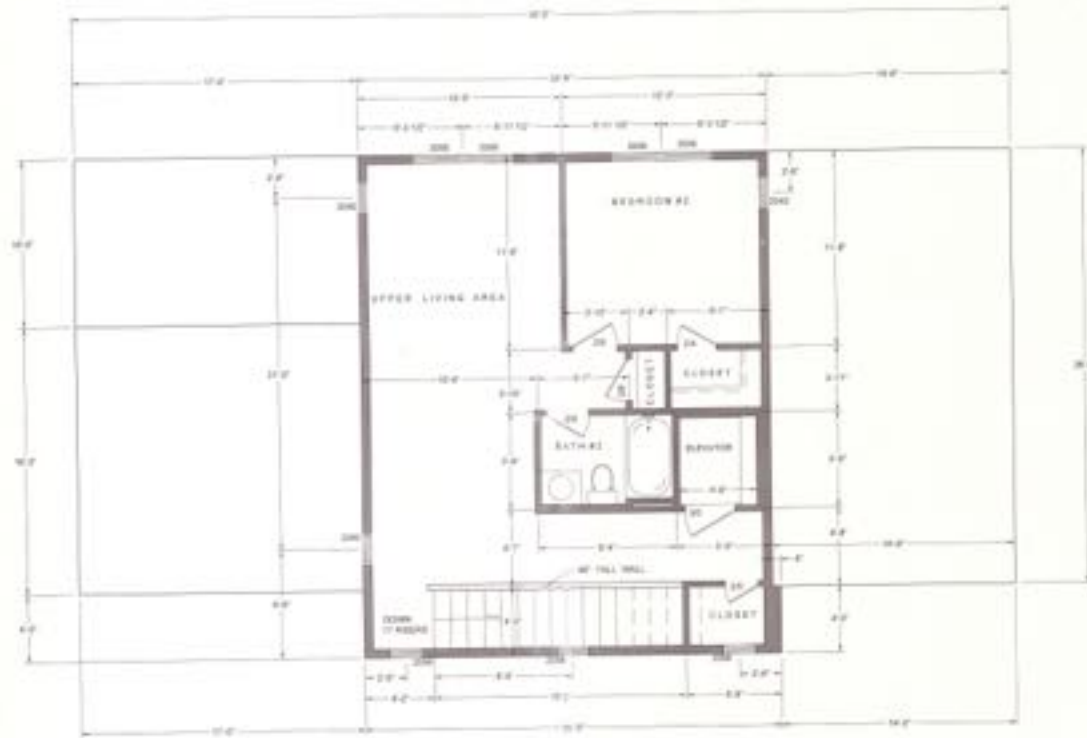
A1



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

ALL INTERIOR AND EXTERIOR DOORS SHALL
BE 6'-8" TALL.
ALL WINDOW HEADERS HEIGHTS SHALL MATCH
DOOR HEADER HEIGHTS.

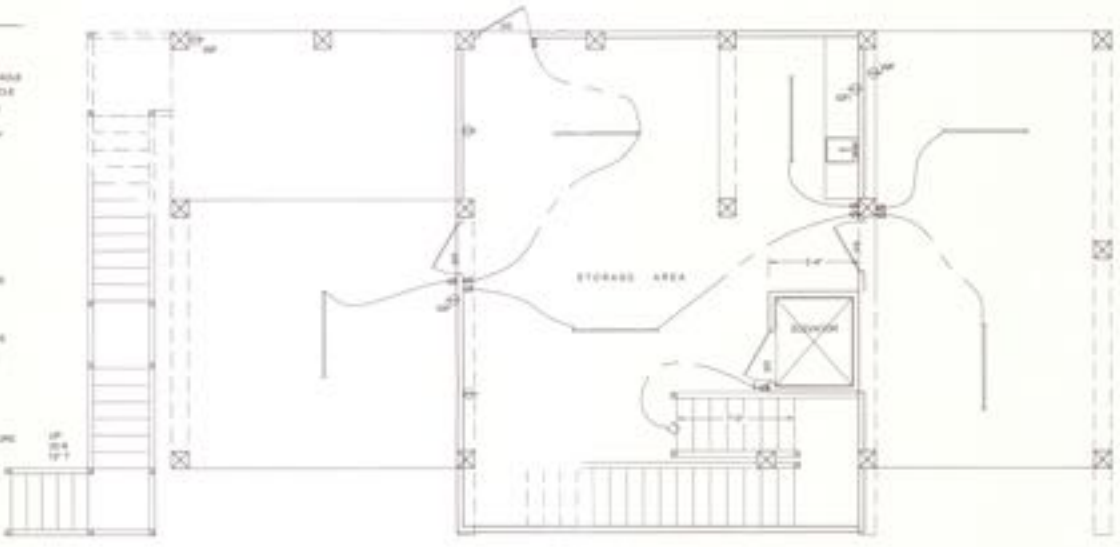
FIRST FLOOR LIVING AREA 1027 SQ. FT.
SECOND FLOOR LIVING AREA 731 SQ. FT.
TOTAL LIVING AREA 1758 SQ. FT.
SCREENED PORCH AREA 327 SQ. FT.



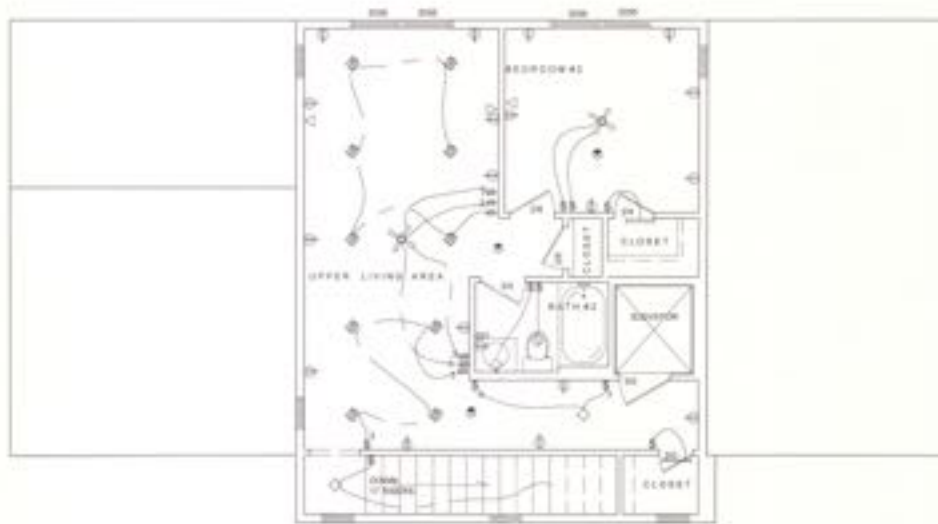
SECOND FLOOR PLAN

Scale: 1/8" = 1'-0"

- ELECTRICAL LEGEND**
- ⊕ 1/2" DUPLEX RECEPTACLE
 - ⊕ 20" RECEPTACLE
 - ⊕ SPECIAL PURPOSE RECEPTACLE
 - ⊕ WEATHERPROOF RECEPTACLE
 - ⊕ GROUND FAULT INTERRUPT RECEPTACLE
 - ⊕ 1/2" DUPLEX RECEPTACLE w/ SWITCH
 - ⊕ 1/2" FLOOR RECEPTACLE
 - ⊕ WALL SWITCH
 - ⊕ 3-WAY WALL SWITCH
 - ⊕ 4-WAY WALL SWITCH
 - ⊕ DIMMER SWITCH
 - ⊕ WEATHERPROOF SWITCH
 - ⊕ CEILING LIGHT FIXTURE
 - ⊕ RECESSED CEILING LIGHT FIXTURE
 - ⊕ LIGHT FIXTURE
 - ⊕ COMBINATION FIXTURE
 - ⊕ CEILING BRACKET FIX
 - ⊕ WALL MOUNT LIGHT FIXTURE
 - ⊕ POLE CORE LIGHT FIXTURE
 - ⊕ EXTERIOR FLOOR LIGHTS
 - ⊕ TRACK LIGHT FIXTURE
 - ⊕ FLUORESCENT LIGHT
 - ⊕ CEILING FIX
 - ⊕ CEILING FIX w/ LIGHT FIXTURE
 - ⊕ DOOR BELL
 - ⊕ DOOR BELL CHIMB
 - ⊕ SMOKE DETECTOR
 - ⊕ THERMISTOR
 - ⊕ TV CABLE CONNECTOR
 - ⊕ TELEPHONE CONNECTOR
 - ⊕ PANEL BOX
 - ⊕ WIRE RISE
 - ⊕ WORKING DOOR OPENER

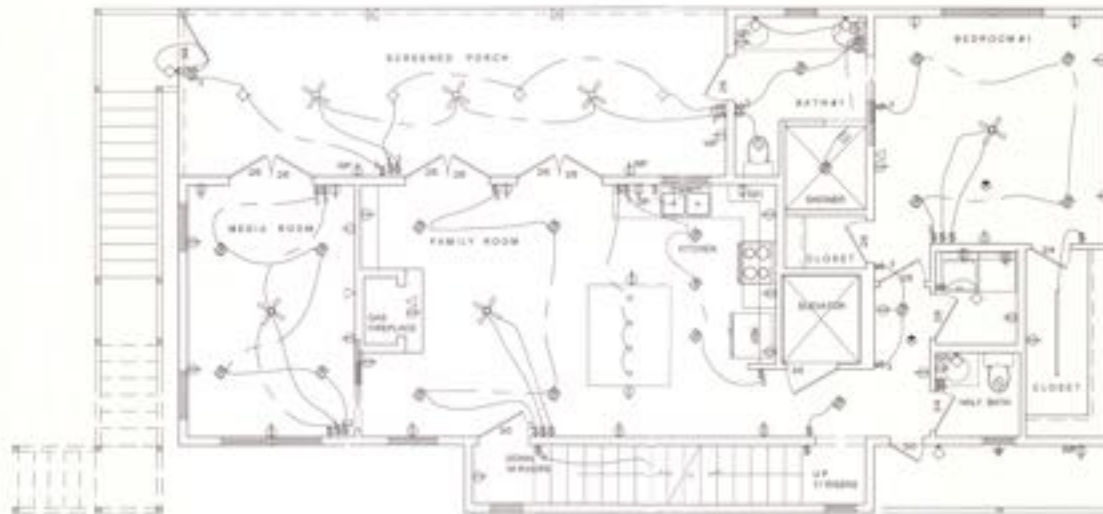


GROUND FLOOR ELECTRICAL PLAN
SCALE: 1/8"=1'-0"



SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/8"=1'-0"



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/8"=1'-0"

ELECTRICAL LEGEND

- ⊕ 1/2" DUPLEX RECEPTACLE
- ⊕ 3/4" RECEPTACLE
- ⊕ SPECIAL PURPOSE RECEPTACLE
- ⊕ WEATHERPROOF RECEPTACLE
- ⊕ GROUND FAULT INTERRUPTER RECEPTACLE
- ⊕ 1/2" DUPLEX RECEPTACLE w/ SWITCH
- ⊕ 1/2" FLOOR RECEPTACLE
- ⊕ WALL SWITCH
- ⊕ 3 WAY WALL SWITCH
- ⊕ 4 WAY WALL SWITCH
- ⊕ DIMMER SWITCH
- ⊕ WEATHERPROOF SWITCH
- ⊕ CEILING LIGHT FIXTURE
- ⊕ RECESSED CEILING FIXTURE
- ⊕ LIGHT, FAN & HEATER COMBINATION FIXTURE
- ⊕ CEILING EXHAUST FAN
- ⊕ WALL MOUNT LIGHT FIXTURE
- ⊕ HALL CORID-LIGHT FIXTURE
- ⊕ EXTERIOR FLOOD LIGHT
- ⊕ TRACK LIGHT FIXTURE
- ⊕ FLUORESCENT LIGHT
- ⊕ CEILING FAN
- ⊕ CEILING FAN w/ LIGHT FIXTURE
- ⊕ DOOR BELL
- ⊕ DOOR BELL CHIMBER
- ⊕ SMOKE DETECTOR
- ⊕ THERMISTAT
- ⊕ TV CABLE CONNECTION
- ⊕ TELEPHONE CONNECTION
- ⊕ PANEL BOX
- ⊕ HOSE BIBB
- ⊕ GARAGE DOOR OPENER
- ⊕ PERIMETER LIGHT



LEFT ELEVATION
SCALE 3/4" = 1'-0"



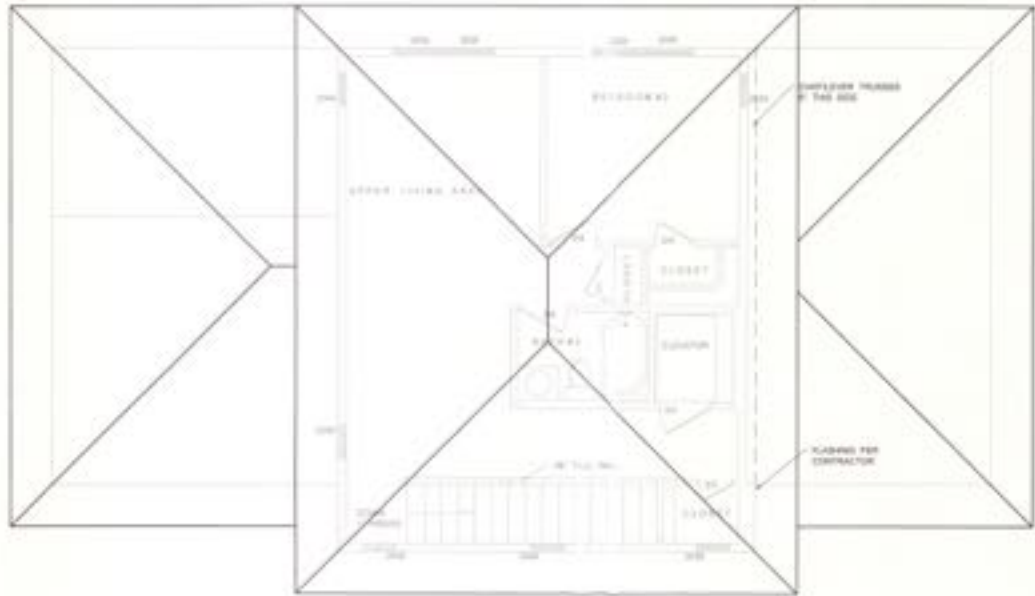
FRONT ELEVATION
SCALE 3/4" = 1'-0"



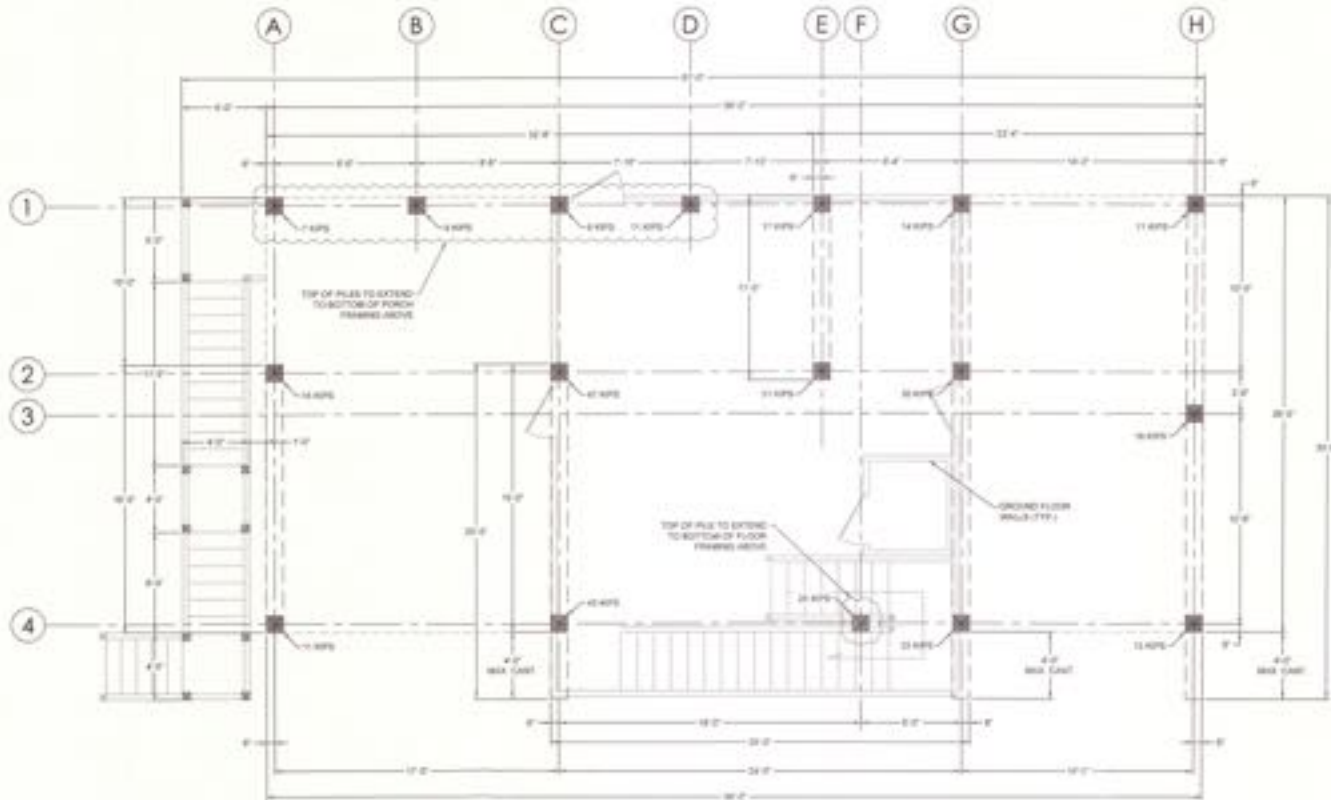
REAR ELEVATION
SCALE 3/4"=1'-0"



RIGHT ELEVATION
SCALE 3/4"=1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

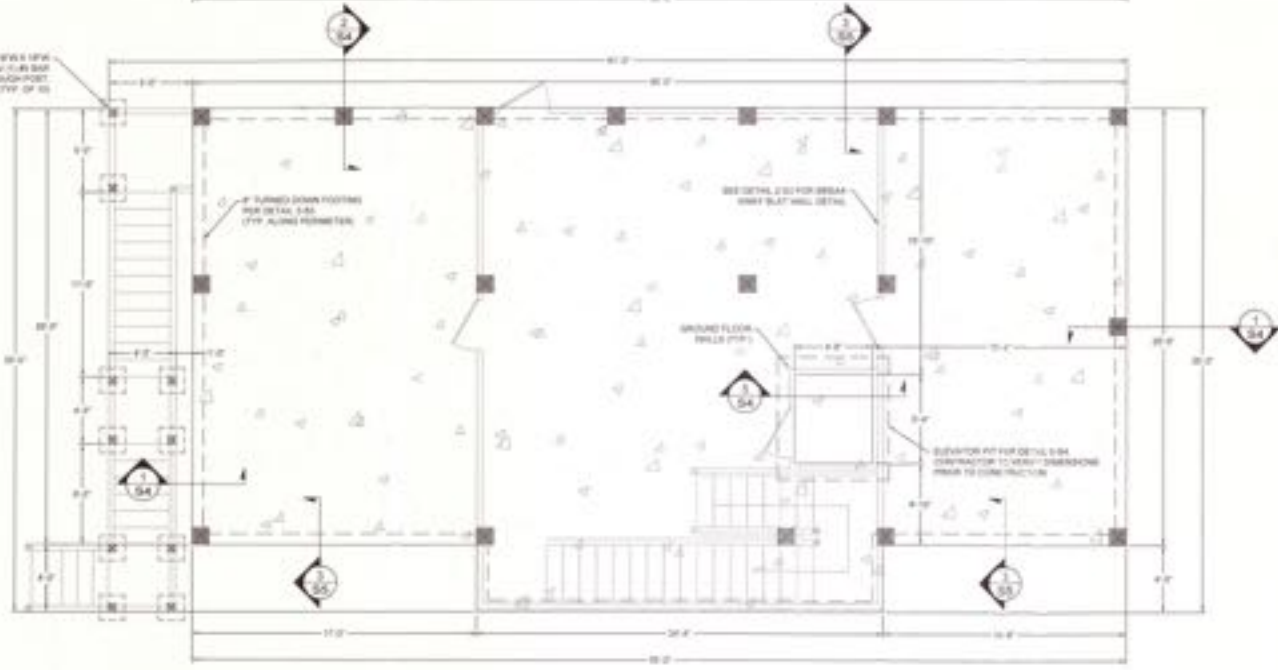


1 PILING & GIRDER PLAN
SCALE 3/4" = 1'-0"

- PILING PLAN NOTES**
- 1 ■ INDICATES LOCATION OF 12 X 12 PRE-ENGINEERED CONCRETE PRECAST PILE BY OTHERS. PILE COUNT = 11
 - 2 - - - INDICATES LOCATION OF 12 X 4 PRE-ENGINEERED CONCRETE PRECAST GIRDER BY OTHERS
 - 3 □ INDICATES LOCATION OF 12 X 42 P.T. PILE OR 8X8 SCHEDULE PILE COULD BE
 - 4 2X4 SIPS INDICATED FACTORED PILE LOADS

NOTE:
NO GEOTECHNICAL REPORT PROVIDED FOR PILING PLACEMENT AND DEPTH. PILING SHALL BE DESIGNED TO THE DEPTH SHOWN OR UNTIL PILE LOADS SHOWN ON THE PLAN SET ARE ACHIEVED BY PILING CONTRACTOR. PILING SHALL BE DESIGNED TO THE SPECIFIED DEPTH AT A MINIMUM. PILING LOADS SHALL BE PROVIDED TO E.C.R. IMMEDIATELY UPON FINAL INSTALLATION.

3 X 3 P.T. POSTS ARE 14' HIGH & 12" DIA. 2 X 4 SIPS EACH WAY THROUGH POST. SEE DETAIL 2-46. TYP. OF 10.



2 FOUNDATION PLAN
SCALE 3/4" = 1'-0"

- FOUNDATION PLAN NOTES**
- 1 SEE ARCH. DRAWING FOR SLOTTED, GRADE OPENINGS AND FLOOR RECESSES
 - 2 SEE ARCH. DRAWING FOR DIMENSIONS NOT SHOWN. IF A CONFLICT EXISTS, THE ARCH. DIMENSIONS SHALL PREVAIL. BOTH ENGINEER AND ARCHITECT OF RECORD SHALL BE NOTIFIED IN WRITING OF ALL CONFLICTS.
 - 3 CONCRETE SLAB REQUIREMENTS:
 - a1 INTERIOR LOCATIONS, 11" THICK CONCRETE SLAB REINFORCED WITH 8# 11" SECTIONS AT 4" MAX. VERTICAL BARRER OVER REBAR. JOINTS TO BE CLEAN-FILL.
 - a2 EXTERIOR LOCATIONS, 11" THICK CONCRETE SLAB REINFORCED WITH 8# 11" SECTIONS OVER TREATED, COMPACTED CLEAR-FILL.
 - 4 ■ INDICATES LOCATION OF 12 X 12 PRE-ENGINEERED CONCRETE PRECAST PILE BY OTHERS. PILE COUNT = 11

NOTE:
FOR CONSTRUCTION BELOW THE 0.500 FLOOR ELEVATION.

- 1 ALL WOOD, INCLUDING FLOOR JOISTING, SHALL BE PRESERVE TREATED.
- 2 ALL WALL CONSTRUCTION EXCLUDING BLOCK FOR WALLS MUST BE BRICKMAYER AS SPECIFIED IN THE PERM. DESIGN AND CONSTRUCTION SUBSTANCE FOR BRICKMAYER STYLE, TECHNICAL, SCHEDULE B.
- 3 RAFTERS AND CONNECTIONS MADE OF GALVANIZED STEEL AND NOT GALV. END-COATED GALVANIZED STEEL, ARE REQUIREMENT.
- 4 SOFFIT AND WINDOW OPENINGS SHALL BE IN ACCORDANCE WITH SECTION 2-13 OF THE PERM. BUILDING CODE WITH SECTION 2-13.10. MAXIMUM ALLOWABLE ENCLOSURE SPACE ON THE GROUND-FLOOR FINISH SURFACE SHALL BE 10% OF ENCLOSURE SPACE.
- 5 LARGEST HORIZONTAL STRUCTURAL MEMBER SHALL BE SET A MINIMUM OF 1" ABOVE THE BASE FLOOD ELEVATION.

1 FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

FRAMING PLAN NOTES:

1. [Symbol] INDICATES LOCATION OF GIRDERS TRUSS OR ENGINEERED BEAM
2. [Symbol] INDICATES LOCATION OF 12" x 12" PRE-ENGINEERED CONCRETE PRECAST PILE BELOW
3. [Symbol] INDICATES LOCATION OF 12" x 4" PRE-ENGINEERED CONCRETE GIRDERS BELOW
4. [Symbol] INDICATES 2 x 8 OR 2 x 4 LONG BEARING WALL w/ STUDS @ 16" O.C. AND 2x HORIZONTAL BLOCKING BETWEEN EACH STUD NO. UNLESS NOTED OTHERWISE (SMALL)
5. [Symbol] INDICATES EXTENTS OF BREAKAWALL w/ 1" PL WOOD OR METAL ON 400 LB TO EXTERIOR WALL. BRUSHING INSTALL W/ 1/2" DIA. @ 2' O.C. ON DOOR & 4' O.C. IN WALLS
6. [Symbol] INDICATES LOCATION OF TRUSS OR STUD/ROOF BEARING LOCATION OR AS REQ'D TO ACHIEVE FULL BEARING

- GENERAL NOTES:**
1. MULTIPLE STUD/COLUMNS (IF APPLICABLE) SHALL BE CONTINUOUS THROUGH ONE OR FLOOR NUMBER VIA BRUSHING BLOCKING.
 2. ALL LAMBER EXPOSED TO WEATHER TO BE PRESSURE TREATED (PT) UNLESS NOTED OTHERWISE.

FRAMING LEGEND:

GT16	16" PRE-ENGINEERED FLOOR GIRDERS TRUSS
GT24	24" PRE-ENGINEERED FLOOR GIRDERS TRUSS
FT1616	16" FLOOR TRUSS w/ SOLID BLOCKED END @ 16" O.C. BY TRUSS MANUFACTURER
FT2424	24" FLOOR TRUSS w/ SOLID BLOCKED END @ 16" O.C. BY TRUSS MANUFACTURER
GL1212R	12" x 12" x 12' PL LVL BEAM RIPPED TO 12" (SMALL)
GL1212S	12" x 12" x 12' PL LVL BEAM
GL1212M	12" x 12" x 12' PL LVL BEAM
GL1212L	12" x 12" x 12' PL LVL BEAM - SEE DETAIL 1-10 FOR FLITCH CONNECTION DETAIL
GL1212C	12" x 12" x 12' PL LVL BEAM
BT16	16" x 16" x 8' x 7' BEAM (P.T.) @ EXTERIOR
BT24	24" x 24" x 8' x 7' BEAM (P.T.) @ EXTERIOR
BT12	12" x 12" x 8' x 7' BEAM (P.T.) @ EXTERIOR
BT10	10" x 10" x 8' x 7' LAMBER w/ 1" PL WOOD BRUSHING (STANDARD) @ TOP & BOTTOM @ 16" O.C.
BT20	10" x 10" x 8' x 7' LAMBER w/ 1" PL WOOD BRUSHING @ TOP END
PT16	16" x 16" x 7' POST
PT24	24" x 24" x 7' POST
RT	PRE-ENGINEERED ROOF TRUSS @ 16" O.C. (SMALL)
RT	PRE-ENGINEERED ROOF GIRDERS TRUSS

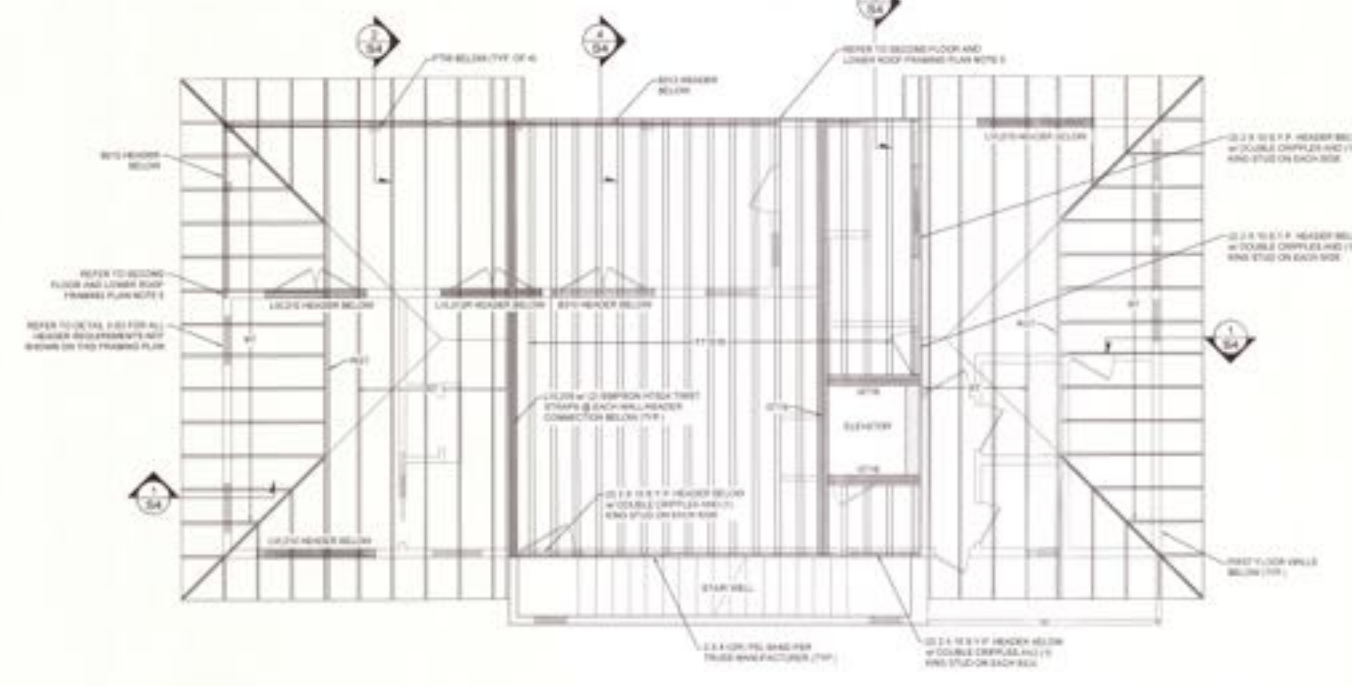
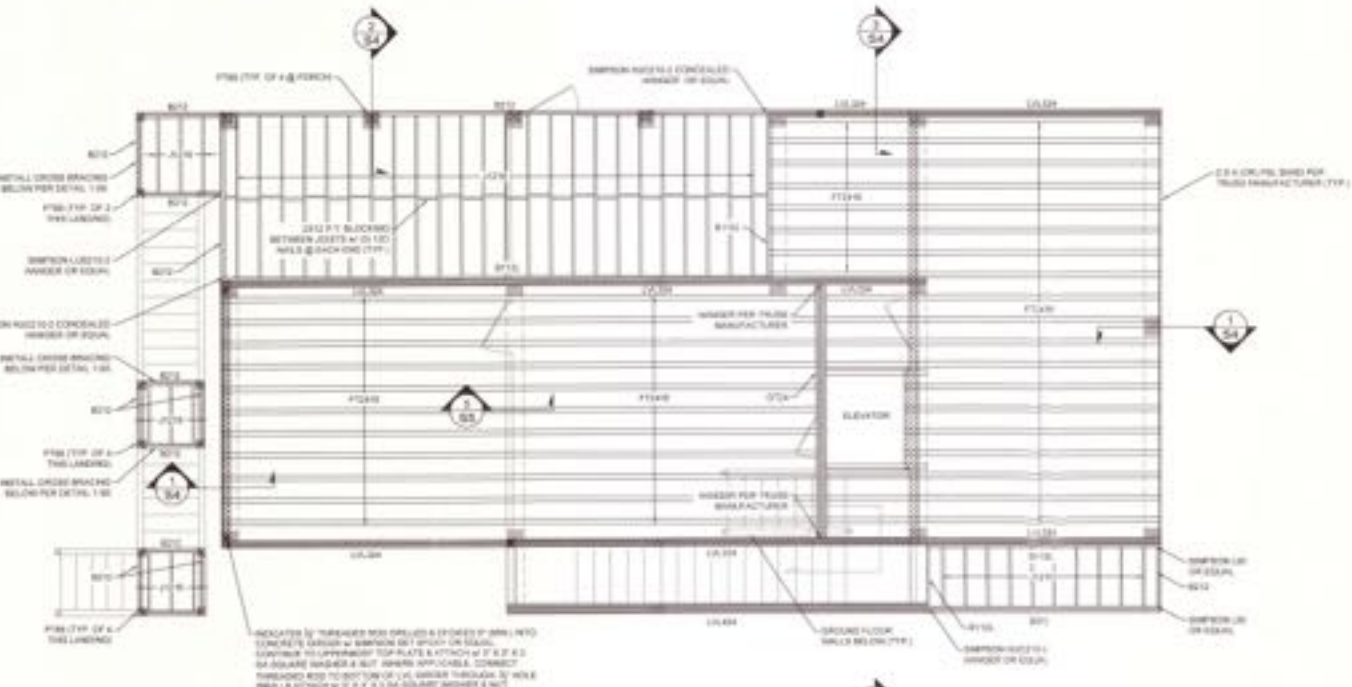
2 SECOND FLOOR & LOWER ROOF FRAMING PLAN

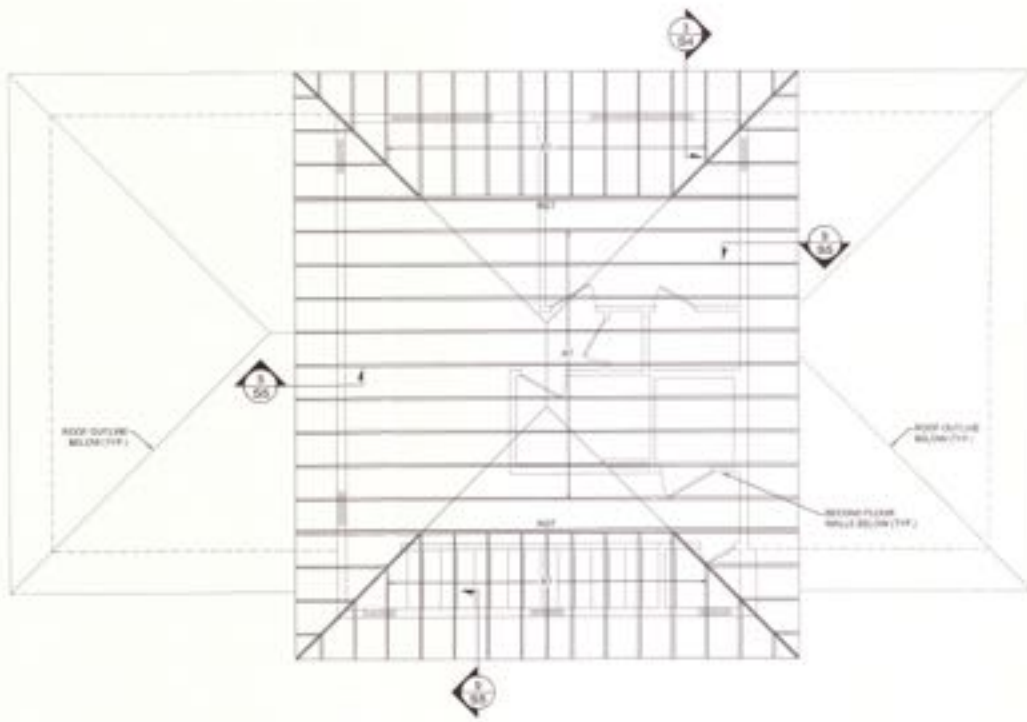
SCALE: 1/4" = 1'-0"

FRAMING PLAN NOTES:

1. [Symbol] INDICATES LOCATION OF GIRDERS TRUSS OR ENGINEERED BEAM
2. [Symbol] INDICATES 2 x 4 OR 2 x 4 LONG BEARING WALL w/ STUDS @ 16" O.C. AND 2x HORIZONTAL BLOCKING BETWEEN EACH STUD NO. UNLESS NOTED OTHERWISE (SMALL)
3. [Symbol] INDICATES 2 x 4 OR 2 x 4 LONG BEARING WALL BELOW w/ STUDS @ 16" O.C. AND 2x HORIZONTAL BLOCKING BETWEEN EACH STUD NO. UNLESS NOTED OTHERWISE (SMALL)
4. ATTENTION ALL BEARING & ROOF TRUSSES TO TOP PLATE LAMBS. BRUSHING w/ 1" PL WOOD OR 1" BRUSHING w/ 1/2" DIA. @ 2' O.C. ON DOOR & 4' O.C. IN WALLS
5. GROUND ANCHORAGE: METAL BRUSHING & 1" PL WOOD BRUSHING w/ 1/2" DIA. @ 2' O.C. AS REQUIRED TO ACHIEVE FULL BEARING AND 2x HORIZONTAL BLOCKING TO BEAM USING 2x 1" PL WOOD BRUSHING AND TO FLOOR FRAMING BELOW USING 2x 1" PL WOOD BRUSHING w/ 1/2" DIA.
6. ALL TRUSS TO TRUSS CONNECTIONS PER TRUSS MFG. (PT)
7. METAL BRUSHING w/ 1" PL WOOD BRUSHING TO LOAD BEARING WALL/ROOF BEAM

- TRUSS PLAN NOTES:**
1. IT IS THE RESPONSIBILITY OF THE TRUSS MFG. TO REPORT ANY DISCREPANCIES TO THE ENGINEER AND CONTRACTOR.
 2. TRUSS MFG. TO PROVIDE READY LAMBS FROM TO CONSTRUCTION.
 3. ALL TRUSS TO TRUSS CONNECTIONS SHALL BE MADE BY TRUSS MANUFACTURER.
 4. METAL TRUSS TO TRUSS CONNECTIONS AT ALL BRASS TRUSS BEARING LOCATIONS AND 1" TRUSS BRUSHING AND 1/2" DIA. BRUSHING (1" DIA. BRUSHING) WITH AN ALLOWABLE UPLIFT CAPACITY EQUAL TO OR GREATER THAN THE UPLIFT SHOWN ON THE TRUSS SHOP DRAWINGS.





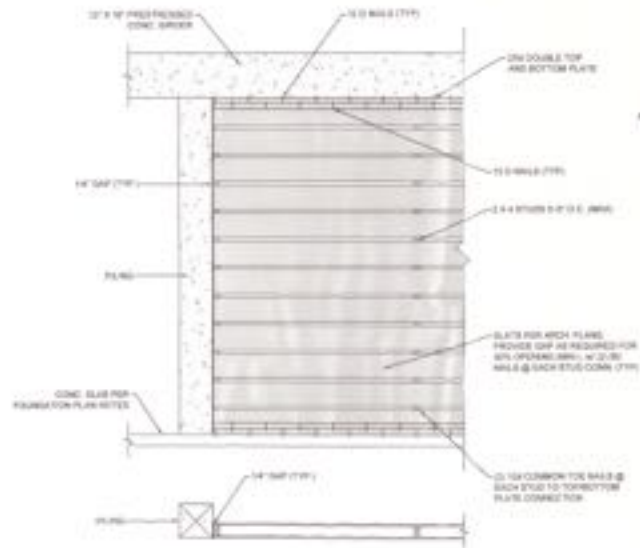
1/35 UPPER ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

FRAMING PLAN NOTES:

- ATTACH ALL RAFTERS & ROOF TRUSSES TO TOP PLATE (2X6) EMPLOYING 6X12 (2X6) P SCAMMED 4" RAFTER TAIL RUNCHES PER
- ALL TRUSS TO TRUSS CONNECTIONS PER FRAMING PLAN (TYP.)

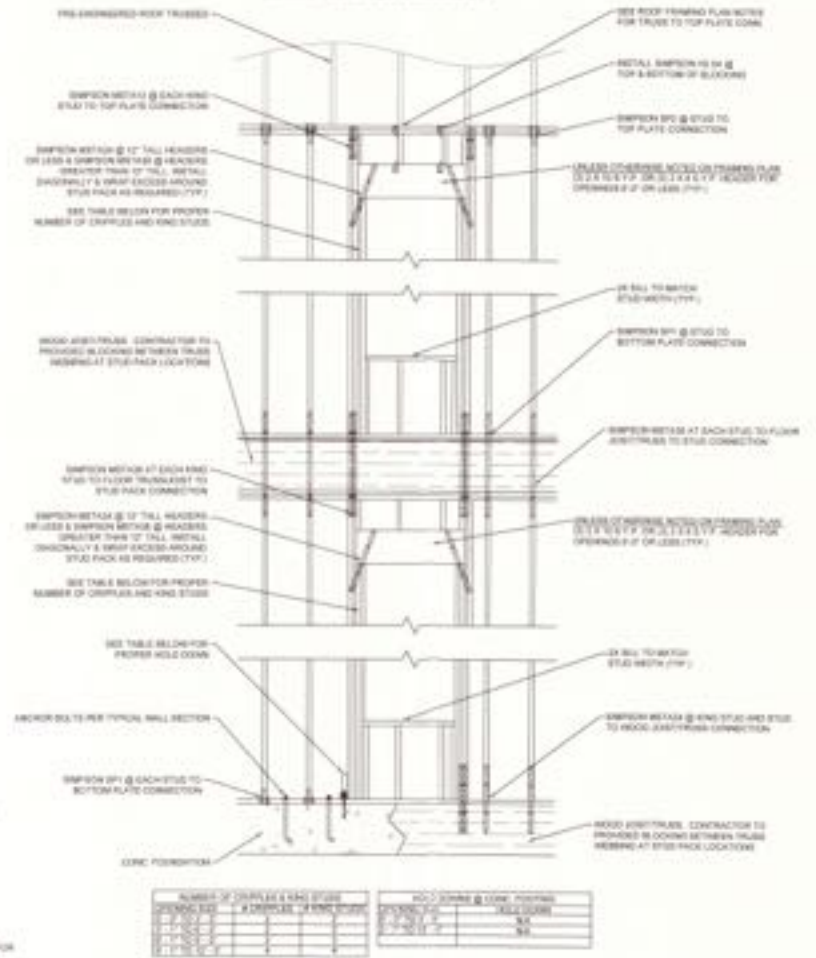
ROOF FRAMING (USERS)	
RT	PRE-ENGINEERED ROOF TRUSS @ 24" O.C. (W/4")
RFT	PRE-ENGINEERED ROOF RAMP TRUSS

- TRUSS PLAN NOTES:**
- IT IS THE RESPONSIBILITY OF THE TRUSS MFG. TO REPORT ANY DISCREPANCIES TO THE OWNER AND CONTRACTOR
 - TRUSS MFG. TO PROVIDE EXACT LAYOUT PRIOR TO CONSTRUCTION
 - ALL TRUSS TO TRUSS OR TRUSS CONNECTIONS BY TRUSS MANUFACTURER
 - METAL TRAP TO STUD HOOKS SHALL BE AT ALL STUD TRUSS BEAMS LOCATIONS AND STRAP ABOVE AND BELOW USING IMPROV. STRAPS (OF EQUAL) WITH ALLOWABLE LIFT CAPACITY EQUAL TO OR GREATER THAN THE SLIFT SHOWN ON THE TRUSS SHOP DRAWINGS



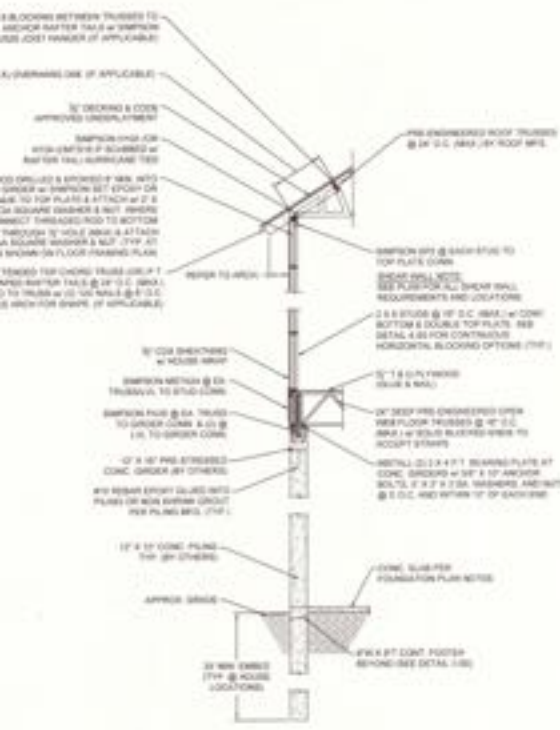
2/35 TYPICAL BREAKAWAY SLAT WALL DETAIL
SCALE: 3/4" = 1'-0"

- NOTES:**
- WOOD OPENING SHALL BE BUILT IN THE SAME MANNER AS THE APPROX. (PROVIDE) TRUSS BEAMS WITH THE EXCEPT FLOOR OF THE BOTTOM TELL AND CHANGES
 - ALL MEMBERS SHALL BE BUILT AS SPECIFIED IN THE METAL FLOOR (PROVIDE) TRUSS PLAN

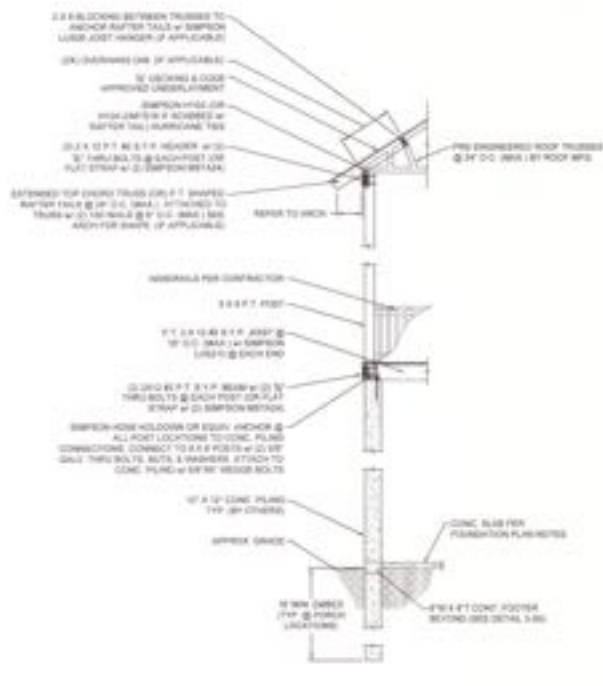


NUMBER OF CORUS/MS AND STUDS		W/4 @ CORNERS & CORN. HEADERS	
STUDS	W/4 @ CORNERS	W/4 @ CORNERS	W/4 @ CORN. HEADERS
1	1	1	1
2	2	2	2
3	3	3	3
4	4	4	4
5	5	5	5
6	6	6	6
7	7	7	7
8	8	8	8
9	9	9	9
10	10	10	10

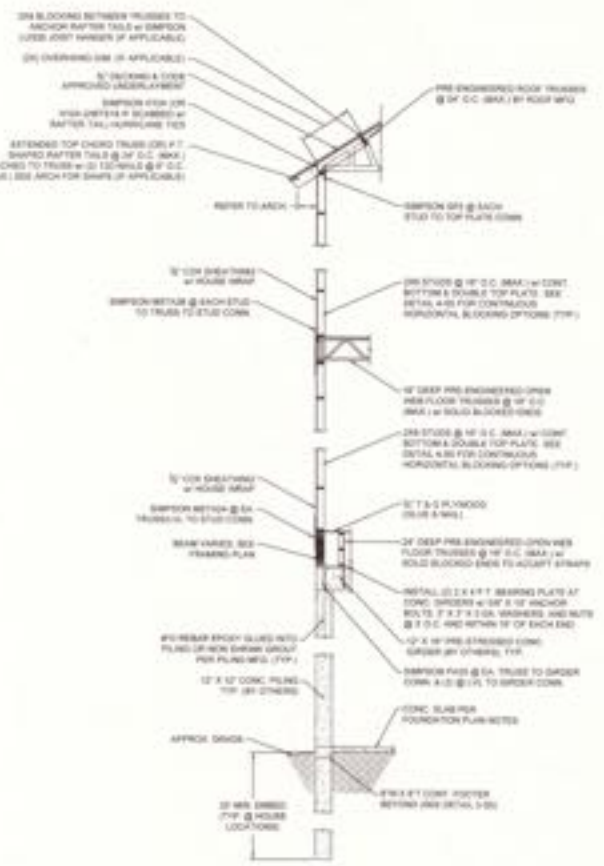
3/35 TYPICAL WALL OPENING DETAIL
SCALE: 3/4" = 1'-0"



1 TYP. EXT. WALL SECTION
SCALE: N.T.S.

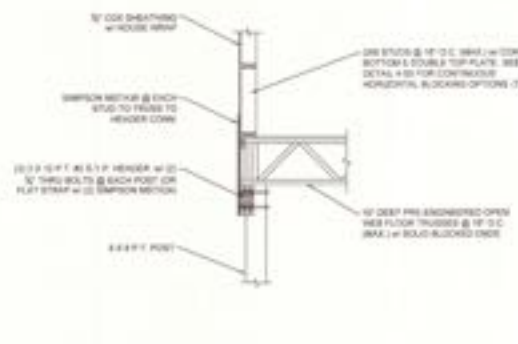


2 TYP. SINGLE STORY PORCH SECTION
SCALE: N.T.S.

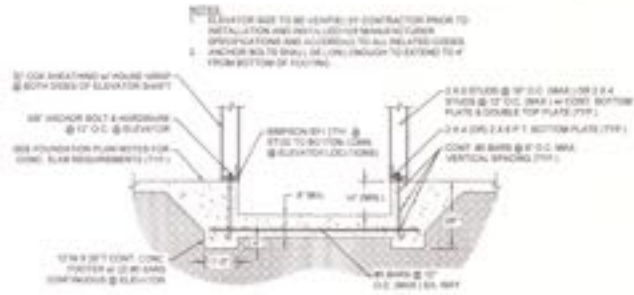


3 TYP. TWO STORY WALL SECTION
SCALE: N.T.S.

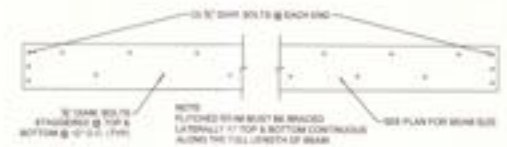
- NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
 - ALL FLASHING & GUTTER PROTECTING BY CONTRACTOR
 - DO NOT NOTCH MORE THAN 25% OF PROTECT IF MORE THAN 10% OF JOIST & NOTCHED METAL DECK SIMPSON METAL DECK TO BEAM CONNECTION
 - ADJACENT GRACES SHALL SLOPE AWAY FROM RESIDENCE
 - ALL NEW TRIM/WOOD SHALL BE PROTECTED FROM THE ELEMENTS BY CONTRACTOR
 - CONTRACTOR TO INSTALL EXTERIOR SHEATHING & INSULATION AS NOTED TO COMPLY WITH ALL APPLICABLE CODES
 - FASTEN TOP AND BOTTOM PLATES TO EACH STUD & TO FRAMING ABOVE & BELOW (RMS 01 20 PAUL)
 - ST MUST BEAR ON PRE-COMRESSED CONCRETE GRADE, NOTCHES & BOLTED TO 2.4 @ 12\"/>



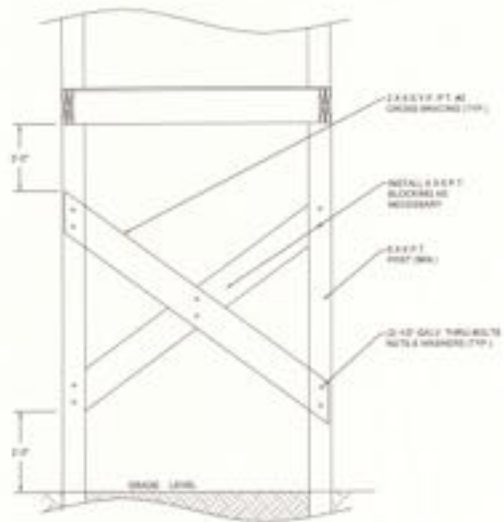
4 TYP. EXTERIOR PORCH/WALL CONN. DETAIL
SCALE: N.T.S.



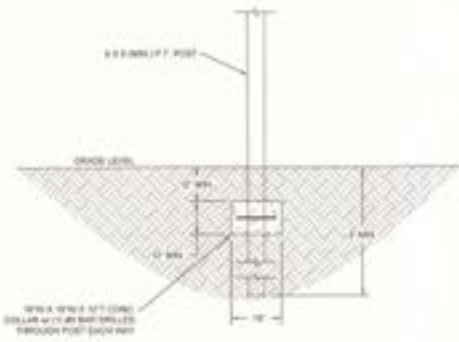
5 ELEVATOR PIT DETAIL
SCALE: N.T.S.



6 FLITCHED BOLTING DETAIL
SCALE: N.T.S.



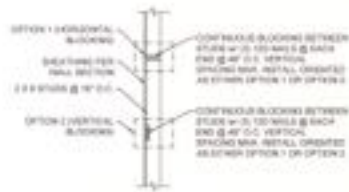
1 TYP. CROSS BRACING DETAIL
SCALE: N.T.S.



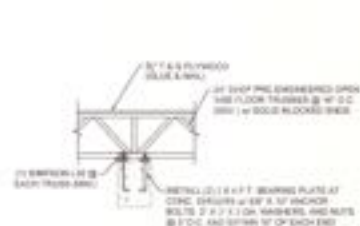
2 TYP. CONC. COLLAR DETAIL
SCALE: N.T.S.



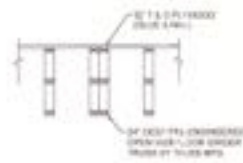
3 8" TURNED DOWN FOOTING DETAIL
SCALE: N.T.S.



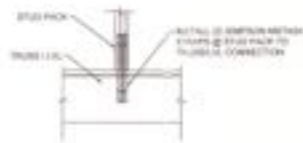
4 STUD BLOCKING OPTIONS
SCALE: N.T.S.



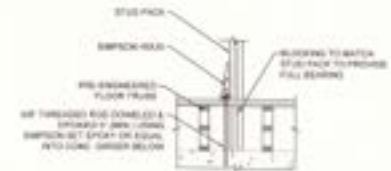
5 TYP. INTERIOR GIRDER CONN. DETAIL
SCALE: N.T.S.



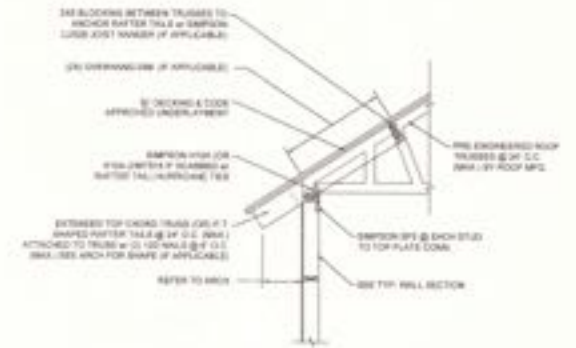
6 ELEVATED FRAMING DETAIL
SCALE: N.T.S.



7 TYP. STUD TO STUD PACK/LVL CONN.
SCALE: N.T.S.



8 TYP. STUD PACK TO GIRDER CONN. DETAIL
SCALE: N.T.S.



9 TYP. ROOF FRAMING & CONN. DETAIL
SCALE: N.T.S.

- NOTES:
1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
 2. ALL FLASHING & WEATHERPROOFING BY CONTRACTOR
 3. DO NOT NOTCH MORE THAN 50% OF POSTS. IF MORE THAN 50% OF POST IS NOTCHED, INSTALL IN OPTION METHOD OF JOIST TO GIRDER CONNECTION
 4. VERTICAL DRILLED SHALL SLOPE AWAY FROM RESIDENCE
 5. ALL NON TREATED WOOD SHALL BE PROTECTED FROM THE ENVIRONMENT BY CONTRACTOR
 6. CONTRACTOR TO INSTALL EXTERIOR WEATHERING & INSULATION AS NECESSARY TO COMPLY WITH ALL APPLICABLE CODES
 7. RAFTER TOP AND BOTTOM PLATES TO EACH STUD & TOP PLATING ABOVE & BELOW CORNER L-SPACERS
 8. 4# T POST TO REST ON PRE-STRESSED CONCRETE GIRDER, NOTCHED & BOLTED TO 2x4 LVL JOINT



ADVISORY BOARD OF ADJUSTMENT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building.aspx

RECEIVED
JUN 14 2021

ADVISORY BOARD OF ADJUSTMENT APPLICATION

BY:

PROPERTY OWNER'S NAME: GARY R. Rhineheart
MAILING ADDRESS: 2640 Peachtree Rd City/State/Zip: ATLANTA, GA 30305
PHONE #: _____ CELL #: 404-556-1448 EMAIL: grhineheart@gmail.com

AGENT'S NAME: CALVIN DUNN
MAILING ADDRESS: 7933 Strawberry Ln City/State/Zip: Belmont, MI 49306
PHONE #: _____ CELL #: 616-915-0300 EMAIL: dunnecalvin01@gmail.com

PROPERTY DESCRIPTION: 911 Address: 219 W. GORRIE DR, ST George Island 32328
Lot/s: 11 Block: 9W Subdivision: ST GEORGE ISLAND GOLF BEACH Unit: 1
Parcel Identification #: 29-095-06W-7311-009W-0110

JURISDICTION: Franklin County C-4
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

LEGAL DESCRIPTION OF THE PROPERTY: (MUST ATTACH LEGAL DESCRIPTION)

DESCRIPTION OF REQUEST: Side SET BACK VARIANCE from 10' to 5.5' to Allow
for a 15' x 50' STORAGE BUILDING

Calvin Dunn (AGENT) needs variance APPROVED before closing on the Purchase
of the lot.

ADVISORY BOARD OF ADJUSTMENT DATE: Wednesday, August 11, 2021

RECOMMENDED APPROVAL: _____ RECOMMENDED DENIAL: _____ RECOMMENDED TO TABLE: _____
CONDITIONS: _____

BOARD OF COUNTY COMMISSION MEETING DATE: Tuesday, August 17, 2021

APPROVED: _____ DENIED: _____ TABLED: _____
CONDITIONS: _____

Instructions: Complete application, including proof of ownership in the form of deed, detailed description of request including any necessary information supporting request (site plan/survey) and application fee of \$250.00. Return to the following address:

Franklin County
34 Forbes Street, Suite 1
Apalachicola, FL 32320

THIS VARIANCE REQUEST WILL EXPIRE ONE YEAR FROM DATE OF APPROVAL BY THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONER. Page 69



SITE PLAN

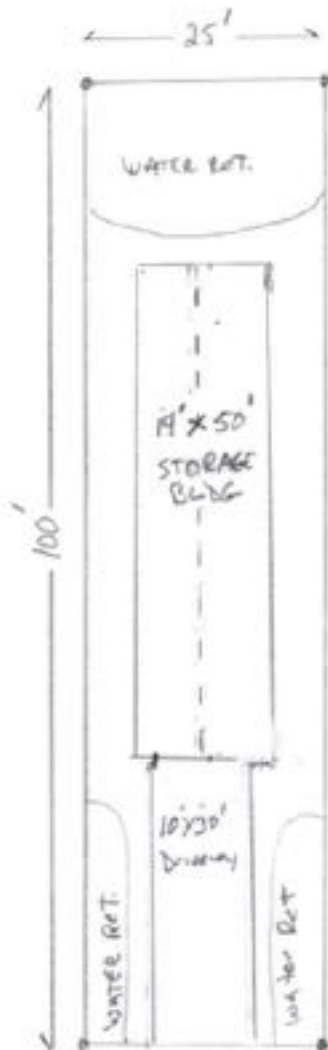
FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building_services.aspx?sid=building

PERMIT



SCALE: 1" = 20'

DATE: 6-4-21

ADDRESS:

219 W GORRIE DR

ST George Island, FL 32328

DRAWN BY:

CALVIN DUNN

Record Deed: \$18.50
Deed Documentary Stamps: \$420.00
Total Paid: \$438.50

THIS INSTRUMENT PREPARED BY AND RETURN TO
Burke Williams, PLLC
60 Clayton Lane, Suite B
Santa Rosa Beach, FL 32450
TITLE SEARCH WAS NOT CONDUCTED.

**COUNTY OF FRANKLIN
STATE OF FLORIDA**

Property Appraisers Parcel ID (Folio) No.: 29-09S-06W-7311-009W-0110

QUIT CLAIM DEED

KNOW ALL MEN BY THESE PRESENTS, that **James O. Cotton**, whose mailing address is 3005 E. Pine Valley Road NW, Atlanta, Georgia 30305, **Grantor**, for and in consideration of Ten (\$10.00) Dollars and all other good and valuable considerations, the receipt whereof is acknowledged, do remise, release, and quit claim unto **Gary R. Rhinheart, a married man**, whose mailing address is 2440 Peachtree Road NW #1 Atlanta, Georgia 30305, hereinafter called the **Grantee**, Grantee's successors and assigns, forever, all of its interest in the following described property, situated, lying and being in Franklin County, Florida:

Lot 11, Block 9 West, ST GEORGE ISLAND GULF BEACH UNIT NO. 1, as per MAP or Plat of said subdivision recorded in Plat Book 2, Page 7, of the Public Records in the Office of the Clerk of the Circuit Court of Franklin County, Florida.

Subject to easements, restrictions and reservations of record and taxes for the current and subsequent years.

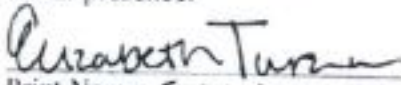
Subject property IS NOT the homestead of the Grantor.

To have and to hold, the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of Grantor, either in law or in equity, to the use, benefit and profit of Grantee forever.

"Grantor" and "Grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set his hand and seal effective the 12 day of March, 2020.

Signed, sealed and delivered
in our presence:


Print Name: Elizabeth Turner


Print Name: Jack McEntyre

GRANTOR


James O. Cotton

STATE OF GEORGIA

COUNTY OF DEKALB

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 12 day of March, 2020, by James O. Cotton who is personally known to me or () has shown me _____ as identification.

[Notary Seal:]



[Signature]
NOTARY PUBLIC

Print Name: MICHAEL TACHE

My Commission Expires: 11/7/2021

My Commission Number: _____

SCRIVENER'S NOTE: The scrivener has acted as scrivener only and makes no representation or warranty regarding title to the property herein conveyed. There was not title search performed or title insurance issued in connection with this transaction.




Owner



Overview



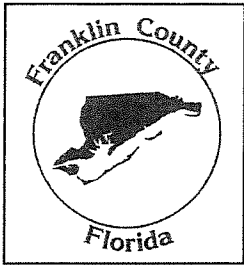
Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	06-075-01W-1042-000L-0040	Alternate ID	01W075061042000L0040	Owner Address	WILSON JOHN TRACY & JODI C
Sec/Twp/Rng	6-75-1W	Class	SINGLE FAM		3951-8 HIGHWAY 93 SOUTH
Property Address	1490 ALLIGATOR DR DR	Acreage	0.268		THOMASVILLE, GA 31792
District	7				
Brief Tax Description	UNIT 2 BL L LOT 4 PENN POINT				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 4/14/2021
 Last Data Uploaded: 4/14/2021 7:41:33 AM

Developed by  **Schneider**
 GEOSPATIAL



DOCK PERMIT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320
Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____
FEE: \$ _____
C.S.I : \$ _____
TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:
VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:
ISSUANCE DATE: _____ EXPIRES: _____

EXISTING HOUSE: Yes No
DEP PERMIT: Yes No
ARMY COE PERMIT: Yes No
APPROVED: Yes No

APPLICATION MUST BE COMPLETE:

Property Owner/s: Jay Briland
Contact Information: Home #: _____ Cell #: 850-510-0747
Mailing Address: 1490 Alligator Drive City/State/Zip: Alligator Point, FL 32346
EMAIL Address: jay@brilandcompanies.com
Contractor Name: _____ Business Name: _____
Contact Information: Office #: _____ Cell #: _____
State License #: _____ County Registration #: _____
Mailing Address: _____ City/State/Zip: _____
EMAIL Address: _____ @ _____

PROPERTY DESCRIPTION::

Lot/s: 4 Block: Block L Penn Point _____ Unit: 2
Parcel Identification #: 06-07S-01W-1042-000L-0040

JURISDICTION: Franklin County Cit of Apalachicola City of Carrabelle
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

SINGLE FAMILY DOCK/PIER **MULTI-FAMILY DOCK/PIER** **COMMERCIAL**

DESCRIPTION: Single Family Residential Dock w- 2 Boat Lifts

ZONING DISTRICT: _____ CONTRACT COST: _____

TOTAL SQUARE FOOT: _____ FOUNDATION TYPE: _____

ROOF MATERIAL: _____

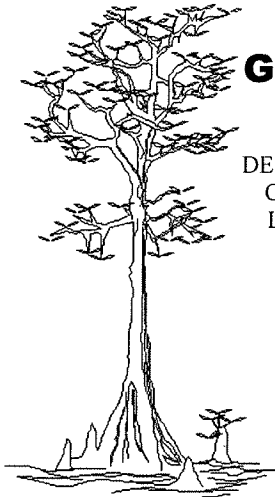
APPROVED BY: **Planning & Zoning Date:** _____ **County Commissioners Date:** _____
 City of Carrabelle Date: _____ **City of Apalachicola Date:** _____

WATER BODY: East Bay

CRITICAL SHORELINE DISTRICT: YES OR NO CRITICAL HABITAT ZONE: YES OR NO

BUILDING OFFICIAL **Date** **OWNER (Required)** **Date** **CONTRACTOR (Required)** **Date**

FRANKLIN COUNTY DOCK CHECKLIST & FEE SCHEDULE



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS • CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE MARINA, DOCK, AND SUBDIVISION DESIGN

LETTER OF TRANSMITTAL

July 27, 2021

Cortni Bankston
Franklin County Planning and Zoning
33 Commerce Street
Apalachicola, FL 32320

Re: Planning and Zoning Agenda
GEA File No. 21-101
Jay Briland

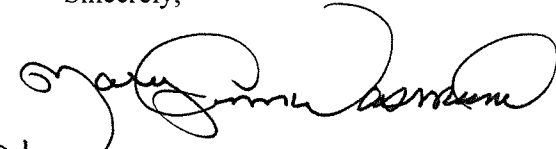
Please find attached an Application for the construction of a Single Family Dock for the referenced project.

Attached are the following information sheets:

- 1) Dock Permit Application;
- 2) Drawings for a Single Family Dock w/2 boat lifts;
- 3) Proof of Ownership in the form of a Warranty Deed;
- 4) Property Appraiser Sheet for Owner;
- 5) Property Appraiser Sheets for Adjacent Neighbors.

If you have any questions or need any additional assistance, please do not hesitate to call us at (805) 653-8899 or email us dan@garlickenv.com or maryann@garlickenv.com.

Sincerely,



For Kevin Burdette, PhD
Garlick Environmental Associates, Inc.

Attachments

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Brilland Construction Company
WATERBODY/CLASS: Alligator Point / Class II / OFW / AP
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Alligator Point / Franklin County
LATITUDE: 29° 53' 57.6"
LONGITUDE: 84° 23' 37.65"
SECTION: 6 TOWNSHIP: 7 South RANG: 1 West

JOB: 21-101
DEP:
COE:
OTHER:
DATE: June 8, 2021
SHEET: 1/4



NOT TO SCALE

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Briland Construction Company

WATERBODY/CLASS: Alligator Point / Class II / OFW / AP

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Alligator Point / Franklin County

LATITUDE: 29° 53' 57.6"

LONGITUDE: 84° 23' 37.63"

SECTION: 6 TWSHP: 7 South RNG: 1 West

JOB: 21-101

DEP:

COE:

OTHER:

DATE: June 8, 2021

SHEET: 2/4



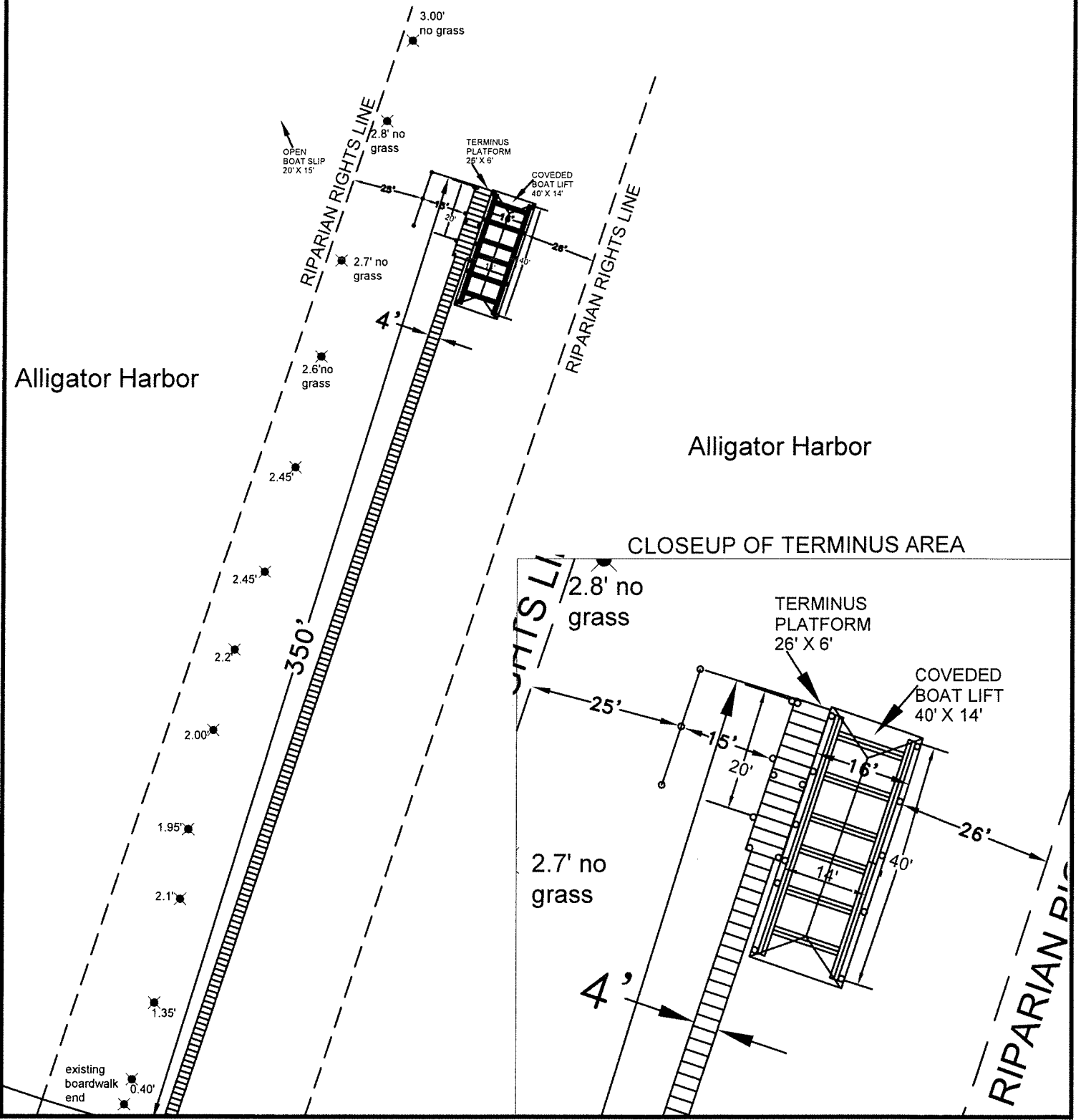
PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Briland Construction Company
 WATERBODY/CLASS: Alligator Poin CLASS II / OFW / AP
 PURPOSE: Environmental Permitting
 PROJECT LOCATION / USGS: Alligator Point / Franklin County
 LATITUDE: 29° 53' 57.6"
 LONGITUDE: 84° 23' 37.65"

JOB: 21-101
 DEP:
 COE:
 OTHER:
 DATE: June 8, 2021
 SHEET: 3/4

SECTION: 6 TWSHP: 7 South RNG: 1 West



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Briland Construction Company

WATERBODY/CLASS: Alligator Harbor / ClassII / OFW / AP

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Alligator Harbor / Franklin County

LATITUDE: 29° 53' 57.6"

LONGITUDE: 84° 23' 37.63"

SECTION: 6 TOWNSHIP: 7 South RANG: 1 West

JOB: 21-101

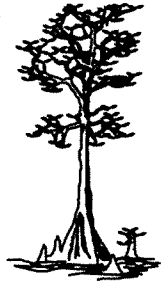
DEP:

COE:

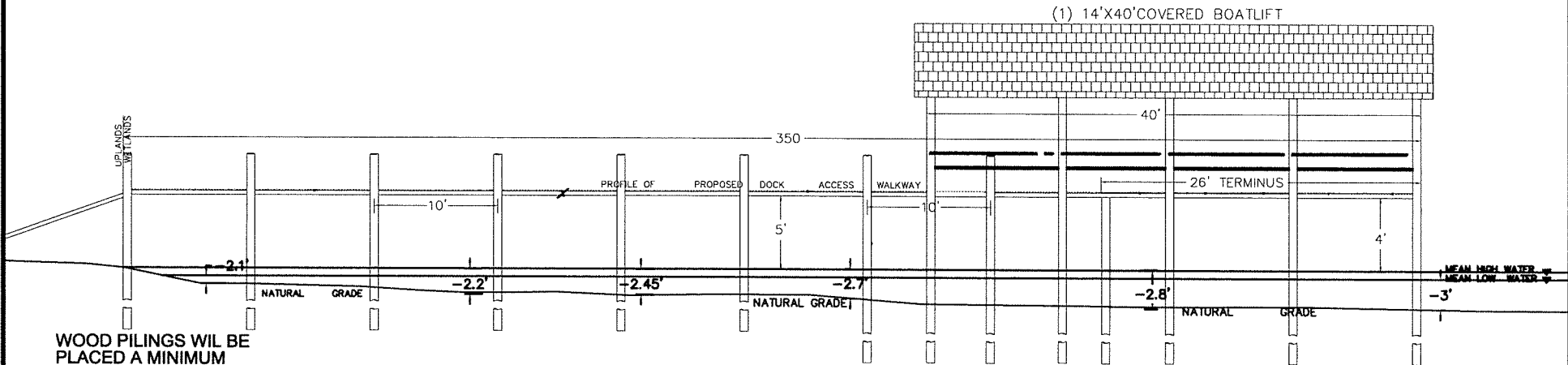
OTHER:

DATE: June 8, 2021

SHEET: 4/4



CROSS SECTION OF PROPOSED DOCK Not To Scale



WOOD PILINGs WILL BE PLACED A MINIMUM OF 10' APART

PILLINGS SIZE WILL BE 6 INCHES

ANY DONUTS/HALOS FORMED DURING LOW PRESSURE JETTING OF PILES WILL BE REMOVED BY HAND

WOOD DECKING WILL BE NO GREATER THAN 8" IN WIDTH AND SPACED NO LESS THAN ONE-HALF INCH APART AFTER SHRINKAGE.

These drawings are for permitting purposes only. Not intended for construction purposes

Parcel Summary

Parcel ID 06-075-01W-1042-000L-0040
Location Address 1490 ALLIGATOR DR DR
 32346
Brief Tax Description* UNIT 2 BL L LOT 4 PENN POINT OR 217/520 355/112 451/320 OR/460/138 1285/773
*The Description above is not to be used on legal documents.
Property Use Code SINGLE FAM (000100)
Sec/Twp/Rng 6-7S-1W
Tax District Alligator Point (District 7)
Millage Rate 13.022
Acreage 0.268
Homestead N

[View Map](#)
Owner Information

Primary Owner
 Wilson John Tracy & Jodi C
 3951-8 Highway 93 South
 Thomasville, GA 31792

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
011103	APT BAY FRONT	11,700.00	SF	90	130

Residential Buildings

Building 1
Type SINGLE FAM
Total Area 1,920
Heated Area 1,155
Exterior Walls CONC BLOCK
Roof Cover MODULAR MT
Interior Walls DRYWALL
Frame Type N/A
Floor Cover SHT VINYL; CARPET
Heat AIR DUCTED
Air Conditioning CENTRAL
Bathrooms 2
Bedrooms 0
Stories 1
Effective Year Built 1955

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0080	DECK	1	0 x 0 x 0	40	SF	1982
0665	STEPS W/RAILS	1	0 x 0 x 0	164	SF	1982
0570	CON WALK	1	2 x 25 x 0	50	SF	1982
0170	FPLC BELOW AVERAGE	1	0 x 0 x 0	1	UT	1982
0300	STEPS	1	0 x 0 x 0	120	SF	2008

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	12/21/2020	\$225,000	WD	1285	773	Qualified (Q)	Improved	DOONAN ANNETTE	WILSON/WILSON
N	07/08/1994	\$89,900	WD	460	138	Qualified (Q)	Improved	BRYSON WALTER	DOONAN ANNETTE
N	08/29/1991	\$44,625	WD	355	112	Qualified (Q)	Improved	DRAKE	BRYSON

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$77,813	\$78,484	\$68,422	\$68,422	\$69,572
Extra Features Value	\$2,655	\$2,655	\$2,655	\$2,655	\$2,655
Land Value	\$93,600	\$117,000	\$93,600	\$93,600	\$81,900
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$174,068	\$198,139	\$164,677	\$164,677	\$154,127
Assessed Value	\$152,655	\$149,223	\$146,441	\$143,429	\$140,479
Exempt Value	\$50,000	\$50,000	\$50,000	\$50,000	\$50,000
Taxable Value	\$102,655	\$99,223	\$96,441	\$93,429	\$90,479
Maximum Save Our Homes Portability	\$21,413	\$48,916	\$18,236	\$21,248	\$13,648

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2020

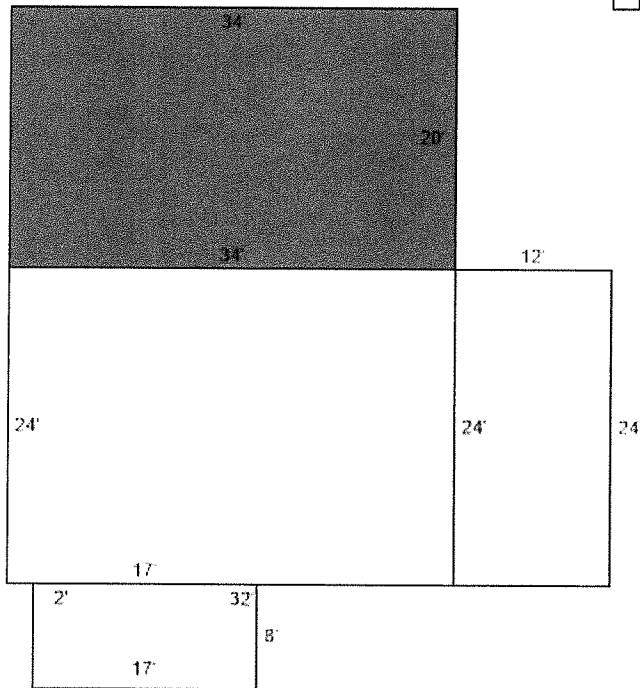


TRIM Notice 2019



Sketches

SFB	SEM F BASE	288	1955
FEP	F ENC PRCH	136	1955
FSP	F SCR N PCH	580	1955
BAS	BASE AREA	816	1955



No data available for the following modules: Commercial Buildings.

Adjacent Neighbor



- Legend**
-  Parcels
 -  Roads
 -  City Labels

Parcel ID	06-075-01W-1042-000L-0050	Alternate ID	01W075061042000L0050	Owner Address	KORST ERNEST B JR TRUSTEE
Sec/Twp/Rng	6-7S-1W	Class	VACANT		KORST CHARLES B & LEE ANN
Property Address	1488 ALLIGATOR DR DR	Acreage	0.272		1489 ALLIGATOR DRIVE
					PANACEA, FL 32346

District 7
 Brief Tax Description UNIT 2 BL L LOT 5 PENN POINT
 [Note: Not to be used on legal documents]

Date created: 4/15/2021
 Last Data Uploaded: 4/15/2021 7:41:41 AM

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Parcel Summary

Parcel ID 06-075-01W-1042-000L-0050
 Location Address 1488 ALLIGATOR DR DR
 32346
 Brief UNIT 2 BL L LOT 5 PENN POINT OR 107/320 149/166-68 362/256 OR 392/281 578/784 766/187
 Tax Description* 1177/733
 *The Description above is not to be used on legal documents.
 Property Use Code VACANT (000000)
 Sec/Twp/Rng 6-75-1W
 Tax District Alligator Point (District 7)
 Millage Rate 13.022
 Acreage 0.272
 Homestead N

[View Map](#)

Owner Information

Primary Owner
[Korst Ernest B Jr Trustee](#)
 Korst Charles B & Lee Ann
 1489 Alligator Drive
 Panacea, FL 32346

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
011103	APT BAYFRONT	11,880.00	SF	90	132

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0530	WD SEAWALL	1	0x0x0	1	UT	2002
0430	DOCK	1	0x0x0	1,576	UT	2002
1000	BOATLIFT	1	0x0x0	1	UT	2002
0357	TERMINUS	1	0x0x0	448	UT	2002

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	09/29/2016	\$129,000	WD	1177	733	Unqualified (U)	Vacant	MCCOY TERENCE P & ANTOINETTE M 1/2 INT	KORST CHARLES B & LEE ANN
N	12/03/2003	\$130,000	WD	766	187	Qualified (Q)	Vacant	KORST	KORST & MCCOY
N	10/23/1992	\$17,000	WD	392	281	Qualified (Q)	Vacant	BRYSON ET AL	MCCOY

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$20,401	\$20,401	\$20,401	\$20,401	\$20,401
Land Value	\$95,040	\$118,800	\$95,040	\$95,040	\$83,160
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$115,441	\$139,201	\$115,441	\$115,441	\$103,561
Assessed Value	\$115,441	\$126,985	\$115,441	\$115,441	\$97,582
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$115,441	\$126,985	\$115,441	\$115,441	\$97,582
Maximum Save Our Homes Portability	\$0	\$12,216	\$0	\$0	\$5,979

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)

TRIM Notice 2019

[2019 TRIM Notice \(PDF\)](#)

No data available for the following modules: Residential Buildings, Commercial Buildings, Sketches.

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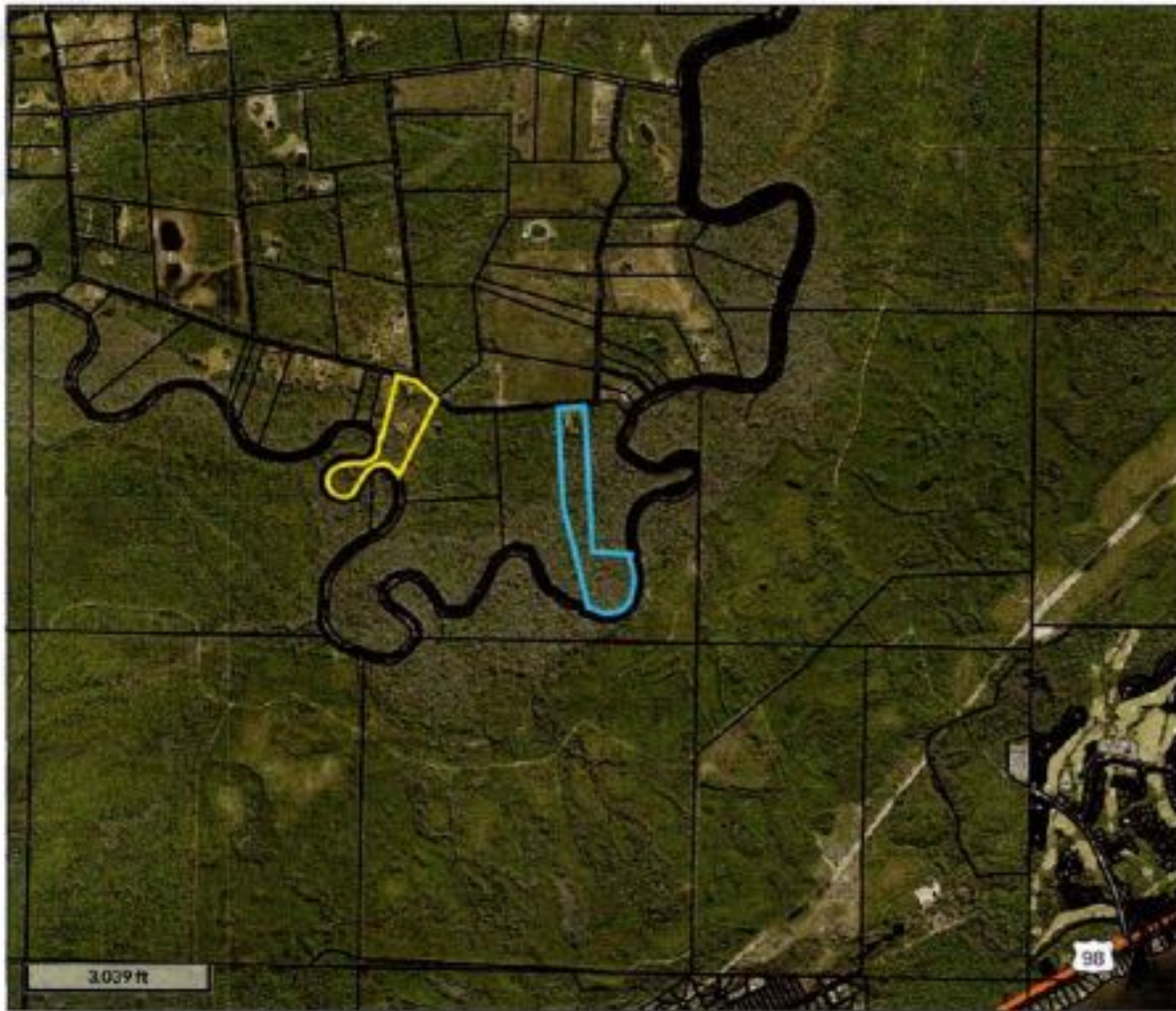
Version 2.3.116

CHECKLIST:

- X** Application
- X** DEP
- Army CORPS
- X** Site Plan
- Drawings (Approved by all entities)
- Approvals from local jurisdictions

FEE SCHEDULE:

DOCKS	SQUARE FOOT		X	\$5.00	=	\$
BOAT LIFTS	SQUARE FOOT		X	\$5.00	=	\$
TOTAL VALUATION:						\$
Critical Shoreline Fee:						\$ 100.00
PERMIT FEE:						\$



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	25-06S-04W-0000-0100-0010	Alternate ID	04W06S25000001000010	Owner Address	MATHRE AL BYRNE & MARY LYNN
Sec/Twp/Rng	--	Class	VACANT		1472 FISH POND RD
Property Address		Acreage	37		HOWARDSVILLE, VA 24562
District	1				
Brief Tax Description	A PARCEL IN SECTION 25-06S-04W				
	<i>(Note: Not to be used on legal documents)</i>				

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APPLICATION FOR RE-ZONING & LAND USE CHANGE

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building.aspx

PROPERTY OWNER'S NAME: Al Byrne and Mary Lynn Mathre
MAILING ADDRESS: P.O. Box 1181 City/State/Zip: Carrabelle FL 32322
PHONE #: 850-591-2905 CELL #: 850-591-2905 EMAIL: albyrne@hughes.net

AGENT'S NAME: Wanda Prose
MAILING ADDRESS: P.O. Box 867 City/State/Zip: Carrabelle, FL 32322
PHONE #: _____ CELL #: 850-545-5852 EMAIL: wblessings@gmail.com

PROPERTY DESCRIPTION: 911 Address: 780 Hickory Hammock Rd
Lot/s: _____ Block: _____ Subdivision: _____ Unit: _____
Parcel Identification #: 25-065-04W-0000-0100-0010

JURISDICTION: Franklin County
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

ACREAGE: 38.54

CURRENT ZONING: A-2 Forestry Agriculture CURRENT LAND USE: _____

REQUESTED ZONING: R-6 Rural Residential REQUESTED LAND USE: _____

LEGAL DESCRIPTION OF THE PROPERTY: (Must Attach Legal Description)

PLANNING & ZONING DATE: _____

RECOMMENDED APPROVAL: _____ RECOMMENDED DENIAL: _____ RECOMMENDED TO TABLE: _____
CONDITIONS: _____

BOARD OF COUNTY DATE: _____
RECOMMENDED APPROVAL: _____ RECOMMENDED DENIAL: _____ RECOMMENDED TO TABLE: _____
CONDITIONS: _____

PUBLIC HEARING DATE: _____
 APPROVED DENIED TABLED
CONDITIONS: _____

Instructions: Complete application, including proof of ownership in the form of deed, detailed description of request including any necessary information supporting request (site plan/survey) and application fee of \$250.00 for Re-Zoning and \$250.00 for Land Use Change. Return to the following address:

Franklin County
34 Forbes Street, Suite 1
Apalachicola, FL 32320

NOTICE OF LAND USE CHANGE

The Franklin County Board of County Commissioners proposes to adopt the following by ordinance: An Ordinance changing the Land Use on the following parcel of land in Franklin County:

A 23.98+/- acre parcel lying in Section 25, Township 6 South, Range 4 West, Carrabelle, Franklin County, Florida, as shown on the attached map, be changed from Agriculture to Rural Residential.

A public hearing on the proposed change to the Land Use Map series will be held on Tuesday, March 19, 2019 at 10:00 a.m., in Courthouse Annex Board Room, 34 Forbes Street, Apalachicola, Florida. More information can be obtained and the proposed change may be inspected at the Franklin County Planning Department, 34 Forbes Street, Suite 1, Apalachicola, Florida 32320. Contact Amy Ham-Kelly at: 850-653-9783, Ext. 167.

Persons wishing to comment may do so in person at the public hearing or in writing to the Franklin County Board of County Commissioners, 33 Market Street, Suite 203, Apalachicola, Florida 32320. Transactions of this public hearing will not be recorded. Persons who wish to appeal any action resulting from this public hearing should make the necessary arrangements to assure that a verbatim record is made, including testimony and evidence, if any, upon which the appeal is to be based.

LAND USE CHANGE FROM AGRICULTURE TO RURAL RESIDENTIAL



NOTICE OF ZONING CHANGE

The Franklin County Board of County Commissioners proposes to adopt the following by ordinance: An Ordinance changing the Zoning on the following parcel of land in Franklin County:

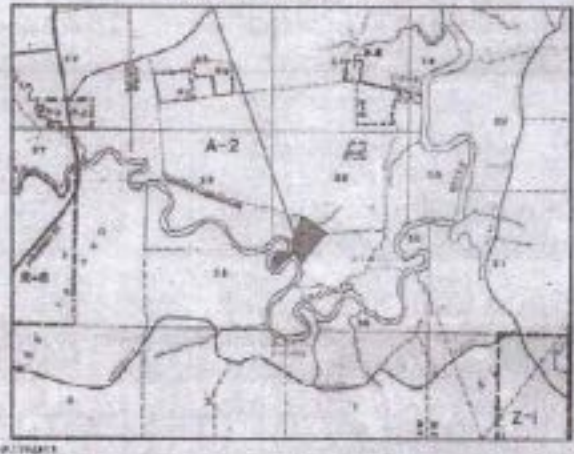
A 23.98+/- acre parcel lying in Section 25, Township 6 South, Range 4 West, Carrabelle, Franklin County, Florida, as shown on the attached map, be changed from A-2 Forestry Agriculture to R-6 Rural Residential.

A public hearing on the proposed change to the Zoning Map series will be held on Tuesday, March 19, 2019 at 10:00 a.m., in Courthouse Annex Board Room, 34 Forbes Street, Apalachicola, Florida. More information can be obtained and the proposed change may be inspected at the Franklin County Planning Department, 34 Forbes Street, Suite 1, Apalachicola, Florida 32320. Contact Amy Ham-Kelly at: 850-653-9783, Ext. 167.

Persons wishing to comment may do so in person at the public hearing or in writing to the Franklin County Board of County Commissioners, 33 Market Street, Suite 203, Apalachicola, Florida 32320. Transactions of this public hearing will not be recorded. Persons who wish to appeal any action resulting from this public hearing should make the necessary arrangements to assure that a verbatim record is made, including testimony and evidence, if any, upon which the appeal is to be based.

PUBLISH DATES: Thursday, March 7, 2019
Thursday, March 14, 2019

RE-ZONING FROM A-2 FORESTRY AGRICULTURE TO R-6 RURAL RESIDENTIAL



Thursday 3/14/2019

Previous zoning change
of 23.98 acres



Parcel Summary

Parcel ID 25-06S-04W-0000-0100-0010
Location Address 32323
Brief Tax Description* A PARCEL IN SECTION 25-06S-04W CONTAINING 38.51 AC +/- OR 409/227 647/325 837/46
**The Description above is not to be used on legal documents.*
Property Use Code VACANT (000000)
Sec/Twp/Rng --
Tax District County (District I)
Millage Rate 11.2322
Acres 37.000
Homestead N

[View Map](#)

Owner Information

Primary Owner
 Mathre AL, Byron & Mary Lynn
 1472 Fish Pond Rd
 Howardsville, VA 24562

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000000	VAC RES	1.00	UT	0	0
999999	UNBUILDABLE	37.00	AC	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	03/02/2005	\$260,000	PR	807	46	Qualified (Q)	Vacant	CAUSEY AS IN THE ESTATE OF CLIFFORD CAUSEY	MATHRE
N	04/16/1993	\$15,980	WD	409	227	Qualified (Q)	Vacant	SOUTHEAST TIMBER	CAUSEY

Valuation

	2020 Certified	2019 Certified	2018 Certified
Building Value	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0
Land Value	\$127,500	\$127,500	\$127,500
Land Agricultural Value	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0
Just (Market) Value	\$127,500	\$127,500	\$127,500
Assessed Value	\$127,500	\$127,500	\$127,500
Exempt Value	\$0	\$0	\$0
Taxable Value	\$127,500	\$127,500	\$127,500
Maximum Save Our Homes Portability	\$0	\$0	\$0

Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)

TRIM Notice 2019

[2019 TRIM Notice \(PDF\)](#)

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

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Developed by
 Schneider
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Parcel Summary

Parcel ID 25-06S-04W-0000-0100-0000
 Location Address 780 HICKORY HAMMOCK RD
 32323
 Brief Tax Description* A PARCEL IN SECTION 25-06S-04W CONTAINING 23.98 AC +/- OR 409/227 647/325 837/46
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng --
 Tax District County (District #)
 Millage Rate 11.2322
 Acreage 62.000
 Homestead Y

[View Map](#)

Owner Information

Primary Owner
[Byrne AL & Mary Lynn Mathre](#)
 P.O. Box 1181
 Carrabelle, FL 32322

*Previous Property
 zone change*

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000000	VAC RES	1.00	UT	0	0
000000	VAC RES	42.00	AC	0	0
009630	SWAMP	20.00	AC	0	0

Residential Buildings

Building 1
 Type SINGLE FAM
 Total Area 3,300
 Heated Area 1,938
 Exterior Walls AVERAGE
 Roof Cover MODULAR MT
 Interior Walls DRYWALL
 Frame Type WOOD FRAME
 Floor Cover CLAY TILE
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 3
 Bedrooms 3
 Stories 2
 Effective Year Built 2017

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0330	STORAGE, UTILITY	1	12 x 24 x 0	288	SF	0
0300	STEPS	1	0 x 0 x 0	24	SF	2017
0180	FPLC AVERAGE	1	0 x 0 x 0	1	UT	2017

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	03/02/2005	\$260,000	PR	837	46	Qualified (C)	Vacant	CAUSEY AS IN THE ESTATE OF CLIFFORD CAUSEY	BYRNE/MATHRE
N	04/16/1993	\$15,980	WD	409	227	Qualified (C)	Vacant	SOUTHEAST TIMBER	CAUSEY

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$203,545	\$205,115	\$175,813	\$0	\$0
Extra Features Value	\$5,848	\$5,848	\$5,848	\$0	\$0
Land Value	\$85,900	\$85,900	\$98,500	\$96,520	\$96,520
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$295,313	\$296,863	\$280,161	\$96,520	\$96,520
Assessed Value	\$295,313	\$296,863	\$280,161	\$96,520	\$96,520
Exempt Value	\$50,000	\$50,000	\$0	\$0	\$0
Taxable Value	\$245,313	\$246,863	\$280,161	\$96,520	\$96,520
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

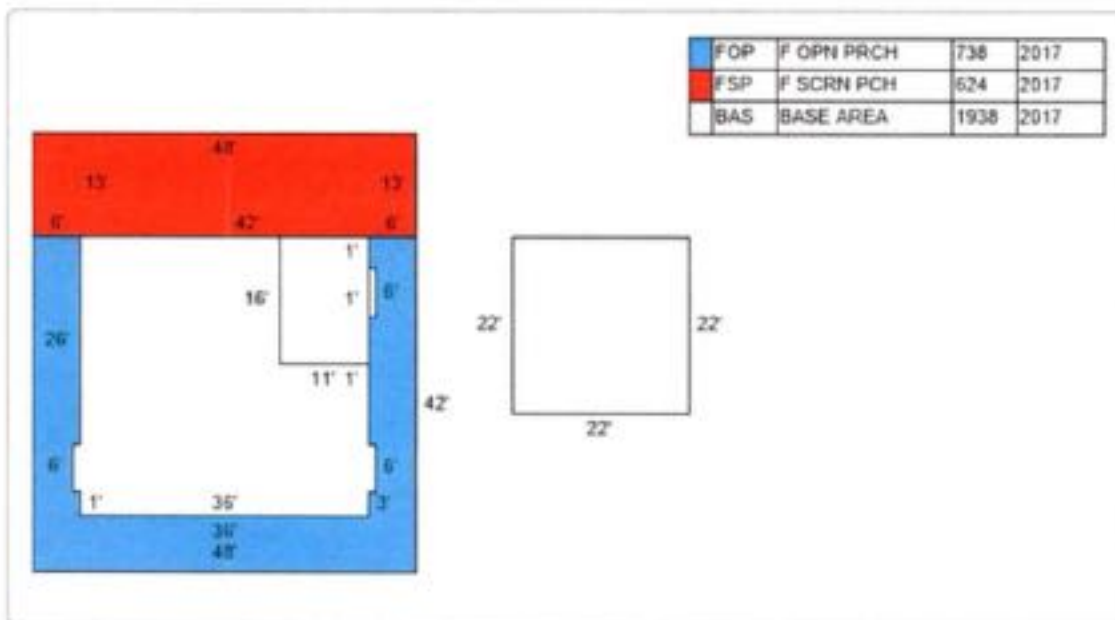
TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)

TRIM Notice 2019

[2019 TRIM Notice \(PDF\)](#)

Sketches



No data available for the following modules: Commercial Buildings

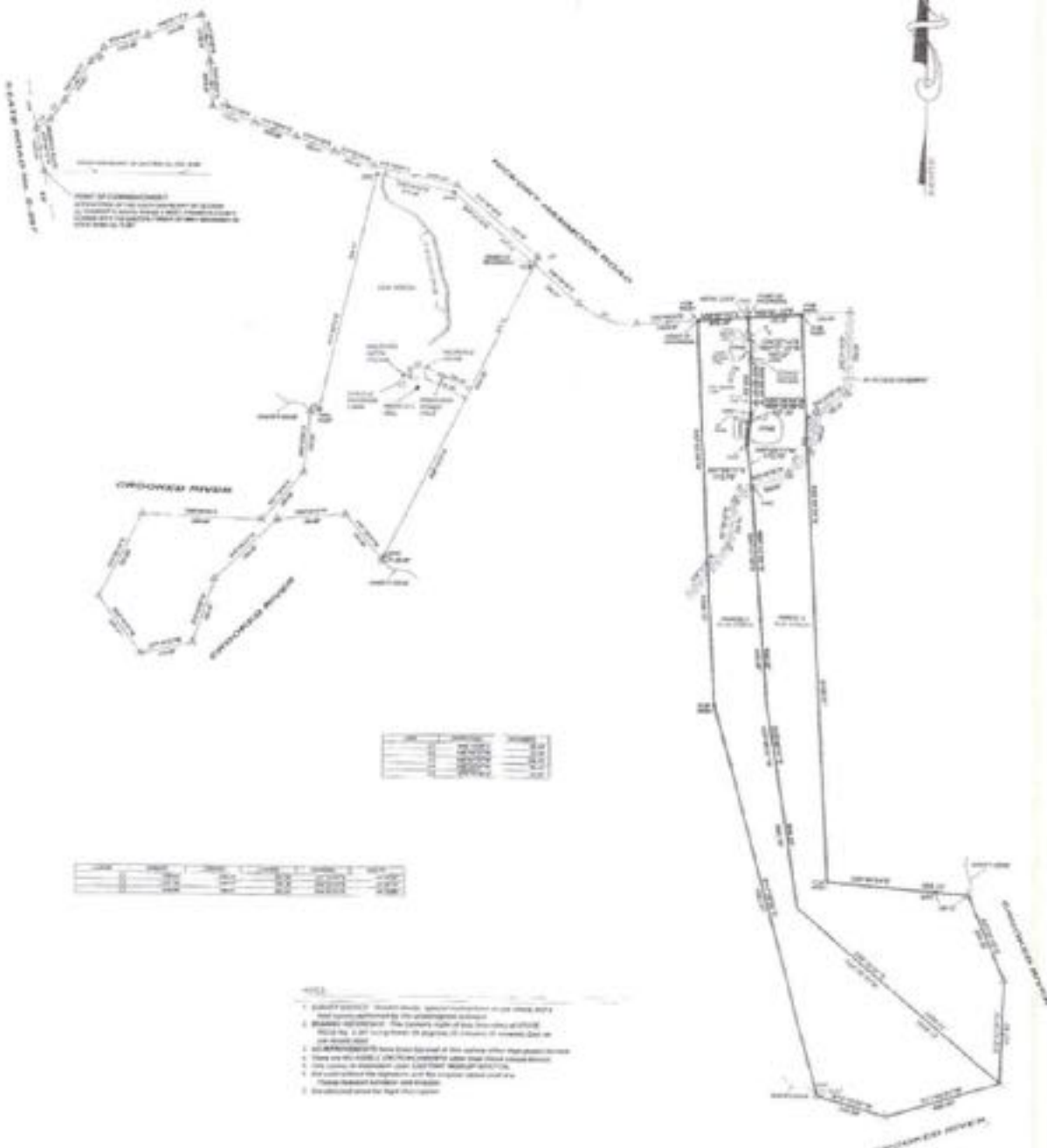
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Version 3.1.128





NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (AC.)
1	LOT 1	10,000	0.23
2	LOT 2	10,000	0.23
3	LOT 3	10,000	0.23
4	LOT 4	10,000	0.23
5	LOT 5	10,000	0.23
6	LOT 6	10,000	0.23
7	LOT 7	10,000	0.23
8	LOT 8	10,000	0.23
9	LOT 9	10,000	0.23
10	LOT 10	10,000	0.23

NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (AC.)
1	LOT 11	10,000	0.23
2	LOT 12	10,000	0.23
3	LOT 13	10,000	0.23
4	LOT 14	10,000	0.23
5	LOT 15	10,000	0.23
6	LOT 16	10,000	0.23
7	LOT 17	10,000	0.23
8	LOT 18	10,000	0.23
9	LOT 19	10,000	0.23
10	LOT 20	10,000	0.23

- NOTES:
1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
 2. ALL BEARINGS ARE TRUE BEARINGS.
 3. ALL CORNERS ARE MARKED WITH IRON PIPES OR IRON NAILS.
 4. ALL DISTANCES ARE MEASURED ALONG THE CENTER LINE OF THE ROAD OR EASEMENT.
 5. ALL DISTANCES ARE MEASURED ALONG THE CENTER LINE OF THE ROAD OR EASEMENT.
 6. ALL DISTANCES ARE MEASURED ALONG THE CENTER LINE OF THE ROAD OR EASEMENT.
 7. ALL DISTANCES ARE MEASURED ALONG THE CENTER LINE OF THE ROAD OR EASEMENT.
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 9. ALL DISTANCES ARE MEASURED ALONG THE CENTER LINE OF THE ROAD OR EASEMENT.
 10. ALL DISTANCES ARE MEASURED ALONG THE CENTER LINE OF THE ROAD OR EASEMENT.

STATE OF MISSISSIPPI

COUNTY OF HANTS

THURMAN RODDENBERRY & ASSOCIATES, INC.

Professional Surveyors and Mappers

NO.	DESCRIPTION
1	LOT 1
2	LOT 2
3	LOT 3
4	LOT 4
5	LOT 5
6	LOT 6
7	LOT 7
8	LOT 8
9	LOT 9
10	LOT 10

I, THURMAN RODDENBERRY, Surveyor, do hereby certify that the foregoing is a true and correct copy of the original survey as shown to me by the client.

THURMAN RODDENBERRY

Surveyor

THURMAN RODDENBERRY & ASSOCIATES, INC.
 Professional Surveyors and Mappers

1000 N. GULF BLVD., SUITE 100, MEMPHIS, TN 38103

MEMPHIS, TN 38103

DATE: 01/15/2014

FILE NUMBER: 2014-001

DATE OF LAST REVISION: 01/15/2014

JOB NUMBER: 100-100

EXHIBIT "A"

Thurman Roddenberry and Associates, Inc.
Professional Surveyors and Mappers

PO Box 100
125 Sheldon Street
Sopchoppy, Florida 32358
USA

Phone: 850-962-2538
Fax: 850-962-4103

April 13, 2004

Legal Description of a 62.54 Acre Tract
Certified To: Mary Linn Mathre and A. L. Byrne,
Dodd Title Company, Inc.
Stewart Title Guaranty Co.

I hereby certify that this is a true and correct representation of the following described property and that this description meets the minimum technical standards for land surveying (Chapter 61G17-6, Florida Administrative Code).

Commence at the intersection of the South boundary of Section 22, Township 6 South, Range 4 West, Franklin County, Florida with the Easterly right-of-way boundary of State Road No: 267, thence run North 10 degrees 24 minutes 18 seconds West along said right-of-way boundary 1040.43 feet to the intersection of said Easterly right-of-way boundary with the centerline of Hickory Hammock Road, thence run Northeasterly and Southeasterly along said centerline as follows: North 54 degrees 19 minutes 06 seconds East 66.84 feet to a point of curve to the left, with a radius of 450.00 feet, through a central angle of 39 degrees 16 minutes 06 seconds, for an arc distance of 308.41 feet, chord being North 34 degrees 41 minutes 03 seconds East 302.41 feet, North 33 degrees 30 minutes 52 seconds East 679.81 feet to a point of curve to the right, with a radius of 687.50 feet, through a central angle of 20 degrees 48 minutes 14 seconds, for an arc distance of 249.63 feet, chord being North 43 degrees 54 minutes 59 seconds East 248.26 feet, North 72 degrees 46 minutes 57 seconds East 2131.26 feet, North 68 degrees 17 minutes 12 seconds East 233.94 feet, South 10 degrees 29 minutes 58 seconds East 1739.30 feet, South 04 degrees 10 minutes 27 seconds East 2609.50 feet, South 70 degrees 47 minutes 25 seconds East 753.81 feet, South 70 degrees 16 minutes 00 seconds East 869.06 feet, South 70 degrees 54 minutes 20 seconds East 505.61 feet, South 70 degrees 05 minutes 08 seconds East 704.76 feet, South 76 degrees 19 minutes 03 seconds East 2825.41 feet, South 48 degrees 29 minutes 18 seconds East 436.59 feet, thence leaving said centerline run South 26 degrees 19 minutes 23 seconds West 31.09 feet to a concrete monument lying on the Southwesterly right-of-way boundary of Hickory Hammock Road marking the POINT OF BEGINNING. From said POINT OF BEGINNING and leaving said right-of-way boundary run South 26 degrees 19 minutes 23 seconds West 1361.00 feet to the edge of Crooked River, thence run Northwesterly, Southwesterly, Northeasterly and Southeasterly along said river's edge as follows: North 38 degrees 35 minutes 37 seconds West 240.00 feet, South 85 degrees 54 minutes 23 seconds West 290.00 feet, South 44 degrees 44 minutes 23 seconds West 350.00 feet, South 18 degrees 29 minutes 23 seconds West 280.00 feet, South 77 degrees 14 minutes 23 seconds West 215.00 feet, North 36 degrees 16 minutes 41 seconds West 287.97 feet, North 26 degrees 50 minutes 60 seconds East 385.00 feet, South 88 degrees 00 minutes 00 seconds East 430.00 feet, North 41 degrees 15 minutes 00 seconds East 260.00 feet, North 06 degrees 15 minutes 00 seconds East

Page: 3 of 5

EXHIBIT "A"

EXHIBIT "A"

62.54 ac. (Con't)

250.00 feet, thence leaving said river's edge run North 76 degrees 10 minutes 00 seconds East 37.67 feet to an iron rod and cap (marked #426), thence run North 13 degrees 44 minutes 32 seconds East 995.41 feet to an iron rod and cap (marked #7160) lying on the Southwesterly right-of-way boundary of Hickory Hammock Road, thence run Southeasterly along said right-of-way boundary as follows: South 76 degrees 19 minutes 03 seconds East 314.08 feet to an iron rod and cap (marked #7160), South 48 degrees 28 minutes 18 seconds East 437.30 feet to the POINT OF BEGINNING containing 23.98 acres more or less.

Said Lands lying on and being situate in Section 25, Township 6 South, Range 4 West, Franklin County, Florida.

AND ALSO:

Commence at the intersection of the South boundary of Section 22, Township 6 South, Range 4 West, Franklin County, Florida with the Easterly right-of-way boundary of State Road # seconds-267, thence run North 10 degrees 28 minutes 18 seconds West along said right-of-way boundary 1040.43 feet to the intersection of said Easterly right-of-way boundary with the centerline of Hickory Hammock Road, thence run Northeasterly and Southeasterly along said centerline as follows: North 54 degrees 19 minutes 06 seconds East 66.84 feet to a point of curve to the left, with a radius of 450.00 feet, through a central angle of 39 degrees 16 minutes 06 seconds, for an arc distance of 308.41 feet, chord being North 34 degrees 41 minutes 03 seconds East 302.41 feet, North 33 degrees 30 minutes 52 seconds East 679.81 feet to a point of curve to the right, with a radius of 687.50 feet, through a central angle of 20 degrees 48 minutes 14 seconds, for an arc distance of 249.63 feet, chord being North 43 degrees 54 minutes 59 seconds East 248.26 feet, North 72 degrees 46 minutes 57 seconds East 2131.26 feet, North 68 degrees 17 minutes 12 seconds East 2339.94 feet, South 10 degrees 29 minutes 58 seconds East 1739.30 feet, South 04 degrees 10 minutes 27 seconds East 2609.50 feet, South 70 degrees 47 minutes 25 seconds East 753.81 feet, South 70 degrees 16 minutes 00 seconds East 869.06 feet, South 70 degrees 54 minutes 20 seconds East 505.61 feet, South 70 degrees 05 minutes 08 seconds East 704.76 feet, South 76 degrees 19 minutes 03 seconds East 2825.41 feet, South 48 degrees 29 minutes 18 seconds East 436.59 feet, thence leaving said c. run South 26 degrees 19 minutes 23 seconds West 31.09 feet to a concrete monument lying on the Southwesterly right-of-way boundary of Hickory Hammock Road, thence run Southeasterly and Northeasterly along said right-of-way boundary as follows: South 48 degrees 28 minutes 18 seconds East 239.57 feet to a point of curve to the left with a radius of 320.62 feet, through a central angle of 45 degrees 24 minutes 57 seconds, for an arc distance of 254.14 feet, chord being South 71 degrees 10 minutes 47 seconds East 247.54 feet, North 86 degrees 06 minutes 22 seconds East 1524.26 feet to a concrete monument (marked #4261) marking the POINT OF BEGINNING. From said POINT OF BEGINNING continue North 86 degrees 07 minutes 02 seconds East along said right-of-way boundary 429.93 feet to a concrete monument (marked #4261), thence leaving said right-of-way boundary run South 02 degrees 53 minutes 04 seconds East 2338.51 feet to a concrete monument (marked #4261), thence run South 84 degrees 46 minutes 54 seconds East 568.72 feet to the edge of Crooked River, thence run Southeasterly, Southwesterly and Northwesterly along said river's edge as follows: South 23 degrees 00 minutes 00 seconds East 380.00 feet, South 02 degrees 02

EXHIBIT "A"

62.54 ac. (Con't)

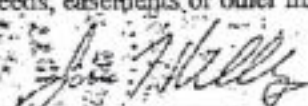
minutes 56 seconds West 427.83 feet, South 73 degrees 00 minutes 00 seconds West 480.00 feet, North 73 degrees 15 minutes 00 seconds West 290.00 feet, thence leaving said river's edge run North 14 degrees 58 minutes 52 seconds West 1662.67 feet to a concrete monument (marked #4261), thence run North 02 degrees 52 minutes 28 seconds West 1588.12 feet to the POINT OF BEGINING containing 38.56 acres more or less.

Lying on and being situate in Section 25, Township 6 South, Range 4 West, Franklin County, Florida.

SUBJECT TO a 30.00 foot wide access easement over and across a portion thereof.

The aggregate of the above (2) two described being 62.54 acres more or less.

The undersigned surveyor, has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.


James T. Rodinberry
Surveyor and Mapper
Florida Certificate No. 4261

04-230

THIS INSTRUMENT PREPARED BY:
RACHEL CHESNUT
P.O. BOX 501
APALACHICOLA, FL 32329

Inst:0200501753 Date:03/02/2005 Time:13:35
Doc Stamp-Deed : 1820.00
B&B Stamp, Inc. Marcia Johnson, FRANKLIN County B:837 P:46

Property Appraisers Parcel Identification:

PERSONAL REPRESENTATIVE'S DEED

THIS INDENTURE made the 1st day of March, 2005, between SHIRLEY CAUSEY, the duly qualified and acting personal representative of the estate of CLIFFORD HOWARD CAUSEY, deceased, party of the first part, and **AL BYRNE and MARY LYNN MATHRE**, as husband and wife, whose post office address is 1472 Fish Pond Road, Howardsville, VA 24562, party of the second part.

WITNESSETH, that WHEREAS, CLIFFORD HOWARD CAUSEY died testate a resident of Franklin County, Florida, on November 16, 2000, seized and possessed of the real property hereinafter described; and

WHEREAS, an Order Authorizing Sale of Property was entered by the Circuit Court of Franklin County, Florida, Probate Division in Case No. 01-00004 CP granting the party of the first part the right to sell the real property; and

WHEREAS, the party of the first part wishes to distribute said property to the party of the second part pursuant to the terms of the Order Authorizing Sale of Property,

NOW THEREFORE, in consideration of the foregoing and in connection with the distribution of the estate of said decedent, the party of the first part has released to the party of the second part the right to sell or encumber said property, and surrendered possession thereof, and granted, conveyed and confirmed unto the party of the second part, their heirs and assigns forever, all of the interest of said decedent in and to the real property situated in Franklin County, Florida, described as follows:

See Attached Exhibit A.

TOGETHER with all and singular the tenements, hereditaments, and appurtenances belonging to or in any way appertaining to that real property, subject to all restrictions, reservations, and easements of record, if any, and ad valorem taxes for the current year.

IN WITNESS WHEREOF, the undersigned, as personal representative of the estate of said decedent, has executed this instrument under seal on the date aforesaid.

Signed, sealed and delivered
in the presence of :

Kim L Johnson
WITNESS SIGNATURE

Kim L Johnson
PRINTED NAME

Tommy Luster
WITNESS SIGNATURE

Tommy Luster
PRINTED NAME

Shirley Causey
SHIRLEY CAUSEY, As personal
representative of the Estate of Clifford
Howard Causey

STATE OF FLORIDA
COUNTY OF FRANKLIN

The foregoing instrument was acknowledged before me this 1st day of March,
2005, by SHIRLEY CAUSEY, personal representative of the Estate of Clifford Howard
Causey, who is either () personally known to me or () produced
_____ as identification and who did not take an oath.

Kim L Johnson
Notary Public State of Florida
My Commission Expires:

EXHIBIT "A"

Commence at a concrete monument marking the intersection of the South boundary of Section 22, Township 5 South, Range 4 West, Franklin County, Florida with the Easterly right-of-way of State Road No: S-67, and thence run North 10 degrees 24 minutes 28 seconds West along the Easterly right-of-way boundary of said State Road No: S-67 a distance of 1040.43 feet to the centerline of a 60.00 foot roadway known as County Road, thence leaving said Easterly right-of-way run Northeastly along said centerline the following 6 courses: North 54 degrees 19 minutes 06 seconds East 66.84 feet to a point of curve to the left, thence run along said curve with a radius of 450.00 feet through a central angle of 39 degrees 16 minutes 06 seconds for an arc distance of 308.41 feet to a point of tangency, thence run North 33 degrees 30 minutes 52 seconds East 679.81 feet to a point of curve to the right, thence run along said curve with a radius of 687.50 feet through a central angle of 20 degrees 48 minutes 14 seconds for an arc distance of 249.63 feet to a point of tangency, thence run North 72 degrees 46 minutes 57 seconds East 2131.76 feet to a re-rod (found), thence run North 48 degrees 17 minutes 12 seconds East 233.94 feet to a re-rod (found) marking the intersection of said centerline of a 60.00 foot roadway known as County Road with the centerline of a 60.00 foot roadway known as Hickory Hammock Road, thence run South 10 degrees 29 minutes 58 seconds East along said centerline of Hickory Hammock Road 1739.30 feet to a re-rod (found), thence run South 04 degrees 10 minutes 27 seconds East along said centerline 2609.50 feet, thence run South 70 degrees 47 minutes 25 seconds East along said centerline 752.81 feet, thence South 70 degrees 16 minutes 00 seconds East along said centerline 859.06 feet, thence South 70 degrees 54 minutes 29 seconds East 505.61 feet, thence South 70 degrees 05 minutes 08 seconds East along said centerline 704.76 feet, thence South 76 degrees 13 minutes 03 seconds East along said centerline 2825.43 feet, thence run South 48 degrees 28 minutes 18 seconds East along said centerline 438.55 feet, thence leaving said centerline run South 26 degrees 13 minutes 23 seconds West 31.05 feet to the Southwesterly right-of-way boundary of said Hickory Hammock Road and the POINT OF BEGINNING. From said POINT OF BEGINNING thence run South 16 degrees 19 minutes 23 seconds West 1361.00 feet to the river's edge of Crooked River, thence run along said river's edge the following courses and distances: North 18 degrees 25 minutes 37 seconds West 240.00 feet, thence run South 85 degrees 54 minutes 23 seconds West 250.00 feet, thence run South 44 degrees 44 minutes 23 seconds West 350.00 feet, thence run South 18 degrees 29 minutes 23 seconds West 380.00 feet, thence run South 77 degrees 14 minutes 23 seconds West 215.00 feet, thence run North 36 degrees 14 minutes 41 seconds West 287.57 feet, thence run North 26 degrees 50 minutes 00 seconds East 385.00 feet, thence run South 88 degrees 00 minutes 00 seconds East 480.00 feet, thence run North 41 degrees 15 minutes 00 seconds East 260.00 feet, thence run North 06 degrees 15 minutes 00 seconds East 250.00 feet, thence leaving said river's edge run North 76 degrees 10 minutes 00 seconds East 37.67 feet, thence run North 12 degrees 44 minutes 32 seconds East 995.41 feet to the Southerly right-of-way boundary of said Hickory Hammock Road, thence run South 76 degrees 13 minutes 03 seconds East along said right-of-way 314.08 feet, thence run South 48 degrees 28 minutes 18 seconds East along said right-of-way 437.10 feet to the POINT OF BEGINNING containing 23.98 acres, more or less.

SAID LANDS lying and being situate in Section 25, Township 5 South, Range 4 West, Franklin County, Florida.

EXHIBIT "A"

Commence at a concrete monument marking the intersection of the South boundary of Section 21, Township 5 South, Range 4 West, Franklin County, Florida with the Easterly right-of-way of State Road No: 8-67, and thence run North 10 Degrees 24 minutes 28 seconds West along the Easterly right-of-way boundary of said State Road No: 8-67 a distance of 1040.43 feet to the centerline of a 60.00 foot roadway known as County Road, thence leaving said Easterly right-of-way run Northeasterly along said centerline the following 6 courses: North 54 degrees 19 minutes 06 seconds East 66.84 feet to a point of curve to the left, thence run along said curve with a radius of 450.00 feet through a central angle of 39 degrees 16 minutes 06 seconds for an arc distance of 309.41 feet to a point of tangency, thence run North 33 degrees 30 minutes 52 seconds East 479.81 feet to a point of curve to the right, thence run along said curve with a radius of 427.50 feet through a central angle of 26 degrees 48 minutes 14 seconds for an arc distance of 245.63 feet to a point of tangency, thence run North 72 degrees 46 minutes 57 seconds East 2131.26 feet to a re-rod (found), thence run North 68 degrees 17 minutes 12 seconds East 233.54 feet to a re-rod (found) marking the intersection of said centerline of a 60.00 foot roadway known as County Road with the centerline of a 60.00 foot roadway known as Hickory Hammock Road, thence run South 10 degrees 29 minutes 50 seconds East along said centerline of Hickory Hammock Road 1729.30 feet to a re-rod (found), thence run South 04 degrees 10 minutes 37 seconds East along said centerline 2409.50 feet, thence run South 70 degrees 47 minutes 25 seconds East along said centerline 753.81 feet, thence South 70 degrees 16 minutes 00 seconds East along said centerline 469.06 feet, thence South 70 degrees 54 minutes 29 seconds East 505.61 feet, thence South 70 degrees 05 minutes 08 seconds East along said centerline 704.76 feet, thence South 76 degrees 13 minutes 03 seconds East along said centerline 2825.41 feet, thence run South 48 degrees 28 minutes 18 seconds East along said centerline 436.59 feet, thence leaving said centerline run South 76 degrees 13 minutes 23 seconds West 31.09 feet to a concrete monument (marked #4261) on the Southerly right-of-way boundary of said Hickory Hammock Road, thence run along said Southerly right-of-way boundary the following three (3) courses and distances: South 48 degrees 28 minutes 18 seconds East 229.57 feet to a concrete monument (marked #4261) marking the point of a curve concave to the Northerly, thence run Southeasterly along the arc of said curve having a radius of 320.62 feet through a central angle of 45 degrees 24 minutes 57 seconds for an arc distance of 354.14 feet, the chord of said arc being South 71 degrees 26 minutes 46 seconds East 247.54 feet to a concrete monument (marked #4261), thence run North 86 degrees 06 minutes 22 seconds East along said Southerly right-of-way boundary 1524.26 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING thence continue North 86 degrees 06 minutes 22 seconds East along said Southerly right-of-way boundary 429.94 feet, thence leaving said Southerly right-of-way boundary run South 02 degrees 54 minutes 08 seconds East 2339.94 feet, thence run South 84 degrees 54 minutes 26 seconds East 567.80 feet to the river's edge of Crooked River, thence run along said river's edge the following courses and distances: South 23 degrees 00 minutes 00 seconds East 380.00 feet, thence run South 02 degrees 02 minutes 56 seconds West 427.85 feet, thence run South 73 degrees 00 minutes 00 seconds West 480.00 feet, thence run North 73 degrees 15 minutes 00 seconds West 290.00 feet, thence leaving said river's edge run North 14 degrees 57 minutes 50 seconds West 1661.33 feet, thence run North 02 degrees 54 minutes 08 seconds West 1589.32 feet to the POINT OF BEGINNING containing 38.54 acres, more or less.

LYING AND BEING situate in Section 25, Township 6 South, Range 4 West, Franklin County, Florida.

SUBJECT TO a 30.00 foot wide access easement over and across a portion thereof.

SAID LANDS above described containing 82.52 acres, more or less, in aggregate.

Further described by survey dated April 13, 2004, by Thurman Roddenberry, surveyor, JOB #04-4261, attached:

**FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONERS
REQUEST FOR QUALIFICATIONS**

The Franklin County Board of County Commissioners is seeking architectural services relating to the renovation of the Fort Coombs Armory and Convention Center, 66 4th Street, Apalachicola, Florida. Franklin County is interested in hiring an individual or firm to design and oversee the renovations to the building, which will include completing the design and installation of a fire sprinkler system. The architect should have experience in renovating historic buildings. The architect shall be licensed to practice in the State of Florida.

There will be a non-mandatory meeting at the Fort Coombs Armory on Wednesday, July 28, 2021, at 10:00 a.m. to allow interested parties to examine the Fort Coombs Armory.

More information and a complete request for qualifications package can be obtained by contacting Mark C. Curenton, County Planner, 34 Market Street, Suite 1, Apalachicola, Florida 32320, telephone (850) 653-9783 x-160 or markc@franklincountyflorida.com.

Interested parties should provide three (3) copies of a Statement of Qualifications to the Franklin County Clerk's Office, 33 Market Street, Suite 203, Apalachicola, Florida 323320 by the response deadline. All letters of response shall be sealed and marked on the outside of the envelope "**Architect for Fort Coombs Armory**". All submissions must be submitted by 4:30 p.m. on Monday, August 16, 2021. The Franklin County Board of County Commissioners will open the qualifications during their regular meeting on Tuesday, August 17, 2021, which begins at 9:00 a.m. at their meeting room in the Courthouse Annex, 34 Forbes Street, Apalachicola, Florida. The Board of County Commissioners reserves the right to reject any or all proposals.

**FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONERS
NOTICE TO RECEIVE SEALED BIDS
FPID #429854-2-58-01**

The Franklin County Board of County Commissioners will receive sealed bids from any qualified person, company or corporation interested in constructing:

CR 370/ALLIGATOR DRIVE MULTI-USE PATH PHASE 1

Project is located in Franklin County, Florida and consists of approximately 1 mile of 10' multi-use path construction on CR 370/Alligator Drive at Alligator Point, Florida.

Plans and specifications can be obtained by contacting Cortni Bankston, Administrative Assistant, at cortnib@franklincountyflorida.com or 850-653-9783 x-180. The bid must conform to Section 287.133(3) Florida Statutes, on public entity crimes.

This project is federally funded with assistance from the Florida Department of Transportation (FDOT) and the Federal Highway Administration (FHWA). By submitting a bid, the company certifies that no principal (which includes officers, directors, or executives) is presently suspended, proposed for debarment, declared ineligible or voluntarily excluded from participation on this transaction by any Federal Department or Agency.

All bidders shall be FDOT qualified per Section 2-1 of the FDOT Standard Specification for Road and Bridge Construction, latest edition in the following classes: Grading, Flexible Paving, and Hot Plant Mix-Bituminous Course.

Completion date for this project will be 120 days from the date of the Notice to Proceed presented to the successful bidder.

A 5% bid bond will be required from any firm submitting a proposal in excess of \$150,000. For contracts of \$250,000 or more, a performance and payment bond for 100% of the contract amount will be required to be maintained and in effect throughout the life of the contract.

Liquidated damages for failure to complete the project on the specified date will be set at \$1,694.00 per day.

Bids will be received until 4:30 p.m. (EDT), on Monday August 16, 2021, at the Franklin County Clerk's Office, Franklin County Courthouse, 33 Market Street, Suite 203, Apalachicola, Florida 32320, and will be opened and read aloud on Tuesday, August 17, 2021, at the County Commission meeting beginning at 9:00 a.m. (EDT) at 34 Forbes Street, Apalachicola, Florida. The outside of the envelope should be marked "**Sealed Bid – CR 370/ALLIGATOR DRIVE MULTI-USE PATH PHASE 1**".

The Board of County Commissioners reserves the right to waive informalities in any bid, to accept and/or reject any and all bids. If the contract is to be awarded, it will be awarded to the lowest responsive bidder. All bids shall remain firm for a period of sixty days after the opening.

All bidders shall comply with all applicable State and local laws concerning licensing, registration and regulation of contractors doing business in the State of Florida.

All technical questions must be addressed in writing and emailed to Cortni Bankston at cortnib@franklincountyflorida.com, no later than August 2, 2021.

FRANKLIN COUNTY

REPLY TO: □
BOARD OF COUNTY COMMISSIONERS
33 MARKET STREET, SUITE 203
APALACHICOLA, FL 32320
(850) 653-8861, EXT. 100
(850) 653-4795 FAX



REPLY TO: □
PLANNING & BUILDING DEPARTMENT
34 FORBES STREET, SUITE 1
APALACHICOLA, FL 32320
(850) 653-9783
(850) 653-9799 FAX

Airport Manager Services Summary:

The Airport Manager is responsible for and manages the implementation of Franklin County Florida's approved strategic, operational and financial activities of the Apalachicola Regional Airport (KAAF) so as to ensure its safety, financial stability, and robust aviation operations. KAAF has three runways over 5,200 feet with approximately 20 based aircraft and 6,000 operations a year.

The Airport Manager is responsible for day-to-day administration, operation oversight, safety, maintenance, public relations, reporting, security, emergency/disaster preparedness, project coordination, and other duties. **The Airport Manager serves subject to the authority of the Franklin County Board of County Commissioners** and is responsible for ensuring that all Federal Aviation Administration (FAA) and Florida Department of Transportation (FDOT) regulations and sponsor assurances/certifications are maintained/followed, and remain in good standing. The Airport Manager is the primary airport contact for FDOT, FAA, and Franklin County.

The Airport Manager oversees public events and programs held at the Airport. The Airport Manager will be required to attend public meetings to maintain good community relations and address concerns of residents and airport users. Membership and attendance at certain civic or business association meetings is encouraged. The Airport Manager will be required to respond to emergencies and weather events affecting KAAF.

Essential Duties and Responsibilities

- Develops and maintains an annual public relations plan in conjunction with the Airport Sponsor. Attends community meetings to respond to concerns. Plans and coordinates special aviation events activities at the airport as needed. Events include items such as open house to educate the community on the Airport.
- Develops and implements a long-range strategic business plan for the Airport.

- Assists and coordinates with county staff in regards to KAAF annual operating budget including revenues (i.e. rent, fees, and grants) and associated expenditures (i.e. maintenance, insurance).
- Prepares and manages KAAF's annual Capital Improvement Plan (CIP) budget in conjunction with the Airport Sponsor, and FAA/FDOT development program.
- Develops and executes an annual airport work plan including goals, and objectives with the Airport Sponsor.
- Manages all aspects of the airport grounds and facilities to ensure the safe, efficient, secure and continuous operational use of airport runways, taxiways, buildings and other related areas.
- Ensures weekly inspections of runways, taxiways, associated safety areas, ramps, NAVAIDS, and weather station.
- Communicates airport business by written and verbal communications in English. Establishes and maintains the business records for the airport, including general correspondence, special reports, budgets, Notices To Airmen (NOTAMS), project reports, grant administration and processing invoices for services rendered.
- Oversees contractors, lessee staff, and other staff who may from time-to-time be assigned to work at the airport for mowing, maintenance, or other related work and ensures compliance with all regulations and safety protocols.
- Plans and coordinates updates and implementation of the Airport Layout Plan (ALP) and Master Plan, as well as project management such as Runway/Taxiway development and maintenance, land acquisition, environmental studies, Storm Water Pollution Prevention Plan, hangar development and financial planning.
- Monitor's airport tenants and use of the airport to ensure that the Airport's Minimum Operating Standards and Rules and Regulations are followed along with compliance with Federal, State and local aviation regulations.
- Coordinates key airport matters regularly with Franklin County, FAA, FDOT, FBO and Airport Consultant Engineers and Planners.
- Prepares for and oversees disaster/emergency operations at the airport as needed including coordination with key Franklin County staff, law enforcement, FAA, and FDOT. This may require off-hour calls and response.
- Performs other duties as assigned.

General Requirements:

Education: Degree in a field related to Aviation Management, Aviation Science or Business or five years of equivalent experience.

Experience: A minimum of 3-5 years of experience with airfield operations, applicant should be a current pilot and active user of airport facilities. Franklin County desires an applicant to have a hands-on approach to airport management, excellent communication skills and the experience and desire to further the economic development of the airport.

Geographic Location: Applicant should be based within 100 miles of Apalachicola Regional Airport, able to maintain a presence at the airport and be involved in the local community.

FRANKLIN COUNTY

REPLY TO: ☐
BOARD OF COUNTY COMMISSIONERS
33 MARKET STREET, SUITE 203
APALACHICOLA, FL 32320
(850) 653-8861, EXT. 100
(850) 653-4795 FAX



REPLY TO: ☐
PLANNING & BUILDING DEPARTMENT
34 FORBES STREET, SUITE 1
APALACHICOLA, FL 32320
(850) 653-9783
(850) 653-9799 FAX

«First_Name» «Last_Name»
«Mailing_Address»
«City», «State» «Zip»

August 17, 2021

RE: Parcel «Parcel_», «Physical_Address»

Dear «First_Name» «Last_Name»,

Franklin County has recently begun construction of Alligator Drive near your home and is working with local contractor, Anderson Columbia Co. As part of Anderson Columbia's contract they will be required to place low level vibration monitoring equipment near some of the homes in the project area. Please review the attached letter for further information and sign if you will allow Anderson Columbia access to your property for the placement of said equipment.

If you have any questions, please contact me at (850) 653-9783 extension 158. Franklin County is working to complete this project as quickly as possible and will make every effort to lessen construction delays for homeowners in the affected area.

Sincerely,

Erin Griffith
Fiscal Manager / Grants Coordinator
Franklin County
(850) 653-9783 Ext. 158



ANDERSON COLUMBIA CO., INC.

59 Fairchild Road • Monticello, FL 32344

Date: August 17, 2021

Dear Resident,

Franklin County has contracted with Anderson Columbia Co., Inc. for the re-construction of Alligator Drive near your home. This project includes the installation of sheet piles along Alligator Drive which will require low level vibration. As part of our effort to keep residents informed and to monitor all structures in the surrounding area, Anderson Columbia crews would like to place a monitoring device near all the homes in close proximity to the project limits, including yours. As the property owner, we are notifying you that we will be collecting data around your home and, by this correspondence, request permission to enter your property to place and retrieve monitoring equipment and collect vibration data. This process is for your benefit in order to ensure that your home suffers no material negative effects. If you are in agreement with this service and give Anderson Columbia your permission to access your property, please sign below.

Signed this ___ day of _____, 20__.

OWNERS

By: _____

Print: _____

By: _____

Print: _____

Property Address: _____

Contact Number: _____

If you are not in agreement, please refer to the document attached hereto, entitled "Waiver of Liability and Full Release of Claims."

Please send all documents executed to the following address: Franklin County Board of County Commissioners, Attn: Erin Griffith, Fiscal Manager, 34 Forbes Street, Suite 1, Apalachicola, FL 32320. Please call 850-653-9783 Ext. 158 for more information or to speak to your Franklin County representative. Franklin County can also send this document electronically by DocuSign if preferred.

Sincerely,

Anderson Columbia

WAIVER OF LIABILITY AND FULL RELEASE OF CLAIMS

In consideration of the recognized benefit provided by way of the Alligator Drive Hurricane Damage Repairs, Project No.: 50082808 (the "Project"), I/we, the owners of the home and real property parcel identification number «Parcel_» and located at «Physical_Address» (the "Releasors") do hereby agree to release and waive all liability, claims, causes of action and demands, whatsoever, against Franklin County and Anderson Columbia Co., Inc., their officers, directors, employees, agents, subsidiaries and affiliates arising out of or related to any damage to the above-mentioned premises resulting from construction activities associated with the Project.

In signing this Release I acknowledge and represent that I have read the foregoing, understand it and sign it voluntarily as my own free act and deed; no oral representations, statements, or inducements, apart from the foregoing written agreement, have been made; I am at least eighteen (18) years of age and fully competent; and I execute the Release For full, adequate, and complete consideration fully intending to be bound by same.

Signed this ___ day of _____, 20__.

RELEASORS

OWNERS

By: _____

Print: _____

By: _____

Print: _____

Property Address: _____

Contact Number: _____

Date of Issuance: _____ Effective Date: _____
 Owner: **Franklin County Board of County Commissioners** Owner's Contract No.: **FPID No. 440621-2-34-01**
 Contractor: **Roberts and Roberts, Inc.** Contractor's Project No.: _____
 Engineer: **Dewberry** Engineer's Project No.: **50112837**
 Project: **CR 30A Resurfacing Project** Contract Name: _____

The Contract is modified as follows upon execution of this Change Order:

Description: Resolution of overruns and underruns to borrow excavation (truck measure), superpave asphalt, and miscellaneous asphalt.

Attachments: [List documents supporting change]

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES [note changes in Milestones if applicable]
Original Contract Price: \$ <u>1,079,392.36</u>	Original Contract Times: Substantial Completion: _____ Ready for Final Payment: _____ days or dates
[Increase] [Decrease] from previously approved Change Orders No. ___ to No. ___: \$ <u>0.00</u>	[Increase] [Decrease] from previously approved Change Orders No. ___ to No. ___: Substantial Completion: _____ Ready for Final Payment: _____ days
Contract Price prior to this Change Order: \$ <u>1,079,392.36</u>	Contract Times prior to this Change Order: Substantial Completion: _____ Ready for Final Payment: _____ days or dates
[Increase] [Decrease] of this Change Order: \$ <u>3,217.00</u>	[Increase] [Decrease] of this Change Order: Substantial Completion: _____ Ready for Final Payment: _____ days or dates
Contract Price incorporating this Change Order: \$ <u>1,082,609.36</u>	Contract Times with all approved Change Orders: Substantial Completion: _____ Ready for Final Payment: _____ days or dates

<p>RECOMMENDED:</p> <p>By: _____ Engineer (if required)</p> <p>Title: _____</p> <p>Date: _____</p>	<p>ACCEPTED:</p> <p>By: _____ Owner (Authorized Signature)</p> <p>Title: _____</p> <p>Date: _____</p>	<p>ACCEPTED:</p> <p>By: _____ Contractor (Authorized Signature)</p> <p>Title: <u>OPERATIONS MANAGER</u></p> <p>Date: _____</p>
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Approved by Funding Agency (if applicable)

By: _____ Date: _____
 Title: _____

Date of Issuance: _____ Effective Date: _____
 Owner: **Franklin County Board of County Commissioners** Owner's Contract No.: _____
 Contractor: _____ Contractor's Project No.: _____
 Engineer: **Dewberry** Engineer's Project No.: **50112840**
 Project: **Saint George Island Restroom Design** Contract Name: _____

The Contract is modified as follows upon execution of this Change Order:

Description: Deduct in contract price and increase in contract time.

Attachments: *[List documents supporting change]*

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES <i>[note changes in Milestones if applicable]</i>
Original Contract Price: \$ <u>450,000.00</u>	Original Contract Times: Substantial Completion: <u>March 18, 2021</u> Ready for Final Payment: <u>April 17, 2021</u> days or dates
[Increase] [Decrease] from previously approved Change Orders No. ___ to No. ___: \$ _____	[Increase] [Decrease] from previously approved Change Orders No. ___ to No. ___: Substantial Completion: _____ Ready for Final Payment: _____ days
Contract Price prior to this Change Order: \$ <u>450,000.00</u>	Contract Times prior to this Change Order: Substantial Completion: <u>March 18, 2021</u> Ready for Final Payment: <u>April 17, 2021</u> days or dates
[Increase] [Decrease] of this Change Order: \$ <u>2,500.00</u>	[Increase] [Decrease] of this Change Order: Substantial Completion: <u>April 20, 2021</u> Ready for Final Payment: <u>August 13, 2021</u> days or dates
Contract Price incorporating this Change Order: \$ <u>447,500.00</u>	Contract Times with all approved Change Orders: Substantial Completion: <u>April 20, 2021</u> Ready for Final Payment: <u>August 13, 2021</u> days or dates

RECOMMENDED:
By: 
Engineer (if required)
Title: Project Manager
Date: August 12, 2021

ACCEPTED:
By: _____
Owner (Authorized Signature)
Title: Chairman
Date: August 17, 2021

ACCEPTED:
By: 
Contractor (Authorized Signature)
Title: CEO
Date: 08/14/2021

Approved by Funding Agency (if applicable)

By: _____ Date: _____
Title: _____

NOTICE OF AWARD

Date of Issuance:

Owner: **Franklin County Board of County Commissioners** Owner's Contract No.:

Engineer: **Dewberry Engineers Inc.** Engineer's Project No.: **50112847**

Project: **C30A Washout Repair** Contract Name:

Bidder: **Pigott Asphalt and Sitework, LLC**

Bidder's Address: **12 Asphalt Way, Crawfordville, Fl. 32327**

TO BIDDER:

You are notified that Owner has accepted your Bid dated July 6, 2021 for the above Contract, and that you are the Successful Bidder and are awarded a Contract for:

C30A Washout Repair.

The Contract Price of the awarded Contract is: \$ 816,218.34

3 unexecuted counterparts of the Agreement accompany this Notice of Award.

a set of the Drawings will be delivered separately from the other Contract Documents.

You must comply with the following conditions precedent within 15 days of the date of receipt of this Notice of Award:

1. Deliver to Owner [3] counterparts of the Agreement, fully executed by Bidder.
2. Deliver with the executed Agreement(s) the Contract security [*e.g., performance and payment bonds*] and insurance documentation as specified in the Instructions to Bidders and General Conditions, Articles 2 and 6.
3. Other conditions precedent (if any):

Failure to comply with these conditions within the time specified will entitle Owner to consider you in default, annul this Notice of Award, and declare your Bid security forfeited.

Within ten days after you comply with the above conditions, Owner will return to you one fully executed counterpart of the Agreement, together with any additional copies of the Contract Documents as indicated in Paragraph 2.02 of the General Conditions.

Owner: **Franklin County Board of County Commissioners**

Authorized Signature

By: _____

Title: **Chairman, Franklin County Board of County Commissioners**

Copy: Engineer



Franklin County Tourist Development Council 501(c)(3) Museum Projects Grant Application 2021-22

The Franklin County Tourist Development Council has identified authorized use of Tourist Development Funds. per F.S. 125.0104(5) for museums that are publicly owned and operated or owned and operated by not-for-profit organizations and open to the public, within the boundaries of the county or sub county special taxing district in which the tax is levied. The tax revenues may be used to acquire, construct, extend, enlarge, remodel, repair, or improve any 501c3 non-profit corporations and governmental organizations museum. The **501(c)(3) Museum Projects Grant** is designed to provide financial assistance to local museums for repairs, additions or expansions. The TDC has identified \$100,000 for this grant program subject to the availability of funds, and approval by the Franklin County TDC Board and the Franklin County BOCC. Annual awards are reimbursable grants for up to 25% of the funds budgeted for the fiscal year of the grant, paid upon receipt of required documentation. Additional funding may be requested and considered by the TDC Board but limited to amount budgeted for the fiscal year. Grant applications can be submitted at any point during the fiscal year. Projects receiving grant must be completed within the fiscal year of submitted application.

Eligibility:

Applicants must meet the following minimum requirements:

- Organization must be a 501c3 non-profit corporation or governmental organization located and doing business in Franklin County as a museum.
- Organizations requesting funding under this program must be identified as a museum as its primary mission in its corporate documents or, in the case of a governmental entity must be identified that its primary purpose is to operate as a museum by an ordinance or resolution.
- Organizations requesting funding should demonstrate that their museum operation is recognized by one or more state or federal museum organizations.
- Applicants must complete and submit an application requesting funds and provide all documents and information requested by the TDC.
- Applicant organization must have been in operation for a minimum of two (2) years.
- Before the grant application is presented to The TDC Board it will be reviewed to verify it meets the statutory requirements.
- If grant is approved the grantee will not be eligible to apply or receive another Museum Project Grant for 1 fiscal year.

Grant Amount - The grant award amount is based on 25% of the funds budgeted for the fiscal year of the grant. This is a reimbursement grant, and will be paid upon the completion of the

project. Approved project must be complete and all documentation for reimbursement submitted by Sept. 15th of the fiscal year.

Application Requirements - If the project exceeds \$10,000 then three (3) bids for the project will need to be presented with the application. Signage must be visible stating the project is funded by Franklin County Tourist Development Council. Applicants must submit the required application and supporting documents to the Franklin County TDC Office located at 731 Highway 98, Eastpoint, Florida, 32328 . Applications can also be transmitted via email to grants@floridasforgottencoast.com.

Application Questions:

Applicants may request clarification regarding any provision of this application by emailing Deborah Davis at deb@saltyflorida.com.

DRAFT



**Franklin County Tourist Development Council
501(c)(3) Museum Projects Grant Application
2021-22**

Section 1. Organizational Information:

Organization Corporate or Government Name:

Address:

Contact Person:

Phone Number

Email Address

FEIN #:

Have you previously received TDC funding for this program? Y N

Section 2. Museum Information:

Name:

Location:

Hours of Operation:

Manager:

Manager email:

Web Site:

Section 3. Supporting Information to be Provided:

- A brief description of the project and how it will improve in promoting tourism and preserving the heritage of the community, to attract tourists and improve the property that is open to the public.
- Project budget and bids
- Corporate filing or Government Resolution
- Documentation of Participation with Accrediting or Funding organization

Signature of Authorized Agent

Date



August 9, 2021

Mr. Ricky Jones
Chairman
Franklin County Board of County Commissioners
34 Forbes Street, Suite 1
Apalachicola, Florida 32320

Re: FEMA Funded Recovery – Task Order #9
C30A East - Gulf Avenue Washouts

Dear Mr. Jones,

Dewberry Engineers Inc. (DEI) is pleased to provide this proposal for professional services. It is our understanding the County wishes DEI to assist with the survey, design, bidding and contract award and construction inspection of the repairs to County Road 30A East – Gulf Avenue Washout areas. DEI will perform these professional services as described below for a lump sum amount of **\$36,220.00**.

A. SURVEY

1. DEI will provide survey control throughout the project area
2. DEI will provide topographic survey as necessary to establish grades and cross sections in severely damaged areas
3. DEI will develop right-of-way within the damaged area. Right-of-way will be developed on the damage side of the roadway only.
4. DEI will locate all above and below ground utilities as necessary. Utility locates will be based on field locations by utility companies.
5. DEI will locate obstructions within the right-of-way including trees and vegetation
6. DEI will locate the Mean High Water Line, Mean Low Water Line, Seasonal Waters Edge and 0' contour.

Task A Total = \$ 4,500.00

B. ENGINEERING DESIGN

1. DEI will provide design according to the Manual of Uniform Minimum Standards for Design Constructive and Maintenance for Street and Highways commonly known as the “Florida Green Book” as well as the Franklin County Land Development Regulations.
2. DEI will provide plan sheets and cross sections (as necessary).
3. DEI will provide signing and marking plans in accordance with the Manual of Uniform Traffic Control Devices (MUTCD).
4. DEI will provide detail sheets as required.
5. DEI will provide permitting as necessary to meet Northwest Florida Water Management District (NFWMD) exemption requirements.

Task B Total = \$ 18,500.00

C. BIDDING AND CONTRACT AWARD SERVICES

1. DEI will prepare contract documents and specifications necessary for bidding the project for construction.
2. DEI will assist the County in receiving bids and provide a recommendation for award.

Task C Total = \$ 2,500.00

D. CONSTRUCTION ADMINISTRATION AND INSPECTION

1. DEI will provide periodic onsite construction observation services from Notice to Proceed through Final Completion.
2. DEI will assist in pre-construction meetings and progress meetings.
3. DEI will provide site visit reports including photographs documenting DEI's observations.
4. DEI will approve Contractor's monthly pay requests.

Task D Total = \$10,720.00

TOTAL PROPOSED LUMP SUM FEE: \$36,220.00

All terms and conditions of this Task Order shall be governed by the terms and conditions in the current Professional Services Agreement between Franklin County and Dewberry Engineers Inc. dated February 14th, 2018.

Please note the following services are excluded from this Task Order.

1. Title searches or opinions
2. Construction stakeout surveying
3. As-built surveys
4. Wetlands permitting or any other permitting beyond NFWWMD
5. Permitting Fees
6. Boundary Surveys

If you have any questions, please do not hesitate to contact us. We appreciate the opportunity to provide these services to you.

Sincerely,



Clay Kennedy
Senior Project Manager
Dewberry
324 Marina Drive
Port St Joe, FL 32456
850-571-1213
jkennedy@dewberry.com

Approved by:

Ricky Jones, Chairman

Date: _____

Franklin County Coastal Cleanup

Saturday, Sept. 18, 2021 — 8:30-11:30am

Cleanup Locations

Alligator Harbor
Apalachicola: 10' Hole
Apalachicola: Abercrombie Landing
Bald Point State Park
Carrabelle: City Pavilion
Carrabelle: Carrabelle Beach
Eastpoint: Downtown
Eastpoint: Millender Park
Lanark Beach
St. George Island: Downtown
St. George Island: State Park

Where to Meet

Leonard's Landing
Battery Park – under the bridge
12th Street out about 12 miles
146 Box Cut Rd, Alligator Point
City Pavilion on Marine St.
Across from RV park
Pavilion Area on HWY 98
Marion Millender Park – off Patton St.
Public Access Pt. – Arizona St. south of Hwy 98
Lighthouse Park – in front of lighthouse
Check-in at Park Gate (appropriate for adults)

Sponsored by:



Franklin County Departments
of
Parks & Recreation
And
Solid Waste & Recycling



Volunteers should wear or bring:

Sunscreen ☀️ Bugspray ☀️ Protective clothing
(hats, long pants, long-sleeved shirts) ☀️
Work or close-toed water shoes

Volunteers will be provided:

Trash bags ☀️ Gloves ☀️ Data cards ☀️ Snacks
☀️ Drinking Water ☀️ T-shirts

For more information call Ada Long at 850-927-3776 / email adalong@uab.edu