

Planning & Zoning Commission - Regular Meeting

Tuesday, July 27, 2021 at 6:30 pm

**34 Forbes Street, COURTHOUSE ANNEX, COMMISSION
MEETING ROOM**

Meeting Information

Effective May 4, 2021, the general public will be allowed in the commission meeting room for meetings. The Planning & Zoning Commission encourages the public to continue the use of Zoom. Those wanting to view or participate virtually during the meeting should use the Zoom log-in/call-in information provided below. There is a link to a list of videos and Getting Started Resources on the main "Agenda and Minutes" webpage for those unfamiliar with Zoom. If you are experiencing issues with Zoom, call (850) 653-9783 option 3 or 2 for assistance.

To join Zoom via computer, use the link <https://zoom.us/j/97862973928> on the meeting date and time. If you do not have speakers or a microphone on your computer or prefer to call, you can dial in for audio. Call (301) 715-8592 or (312) 626- 6799 or (929) 205-6099 and enter ID number (978 6297 3928#). All attendees are muted by default. You may address the Commission on an agenda action items for up to three minutes (which may change based on the number of speakers waiting to comment) during the meeting after a motion has been seconded and you are recognized by the Chairman.

Once recognized by the Chairman, if you are on Zoom with a computer or smart device select the 'raise hand' icon. If you have dialed in to the meeting by phone press *9 to raise your hand, then *6 to unmute.

Public engagement is important to us and use of Zoom for public participation

- 1. Call To Order**
- 2. Pledge Of Allegiance**
- 3. Approval Of Minutes**

June 8, 2021 Regular Meeting Minutes

- 4. Building Report**

May Monthly Building Report

5. Critical Shoreline Applications

a. 1474 Alligator Drive

Consideration of a request to construct a Single Family Residential Dock with a 353'x4' access walkway with a 8'x20' Terminus and Two (2) 12'x20' Boat lifts. Property is described as Lot 3 of Lot 9 Sub Penn Point, Block L, Unit 2, 1474 Alligator Drive, Alligator Point, Franklin County, Florida. State and Federal Permits have been received. Request submitted by Docks 4 Less, agent for John Adam Dowdy, III. (Application originally submitted and approved 5/14/2019)

b. 26 Mardi Gras Way

Consideration of a request to modify an existing dock by adding a 24'x6' access walkway, a 6'x3' step-down, and a 12'x24' uncovered boat lift. Property is described as Lot 20 Holiday Beach, Unit 1, 26 Mardi Gras Way, Alligator Point, Franklin County, Florida. Request submitted by Garlick Environmental Associates, agent for Debra Fadool, applicant. State and Federal Permits have been received.

c. 147 Harbor Circle

Consideration of a request to construct a Single Family Dock with a 231'x4' access walkway, a 26'x4.5' Terminus with a 26'x1.5' Step-down, and Two (2) 16'x26' Covered Boat Lifts. Property described as Tract 4 Alligator Harbor, 147 Harbor Circle, Alligator Point, Franklin County, Florida. Request submitted by Garlick Environmental Associates, agent for Steven Fling, applicant.

d. 333 River Road

Consideration of a request of a tear down and rebuild of a Single Family Dock with a 51'x6' access walkway and a 13'x38' Covered Boat Lift. Property is described as Block 5, Carrabelle River Sub Lot 3 & North 35' of Lot 4, Carrabelle, Franklin County, Florida. Request submitted by Garlick Environmental Associates, agent for John Mooney, applicant. Applicant will be contingent upon State and Federal Permits

e. 1927 Indian Harbor Road

Consideration of a request to construct a new 4'x237' Single Family Dock with a 6'x26' Terminus and a 3' step-down. Property is described as Lot 7 Indian Bay Village, 1927 Indian Harbor Road, St. George Island, Franklin County, Florida. State and Federal Permits have been received. Request submitted by Better Built Docks, agent for Jared Orciani, applicant.

f. 1968 Highway 98 West

Consideration of a request to construct a New Single Family Dock with a 242'x4' access walkway with a 15'x15' midway access deck, a 10'x16' Terminus, and Two (2) 10'x20' Boat Lifts. Property is described as Lot 1 Crooked River Light House Reservation, 1968 Highway 98 West, Carrabelle Beach, Franklin County, Florida. Request submitted by Garlick Environmental Associates, agent for Jennifer Smith, applicant. Application will be contingent upon State and Federal Permits.

g. 2392 Highway 98 West

Consideration of a request to add fill to construct a driveway over a portion of a jurisdictional wetland on the front of the property. Property is described as Pinewood Shores Sub Lot 3 being 1.07 Acres, 2392 Highway 98 West, Carrabelle, Franklin County, Florida. Request submitted by Garlick Environmental Associates, agent for Rick Soria, applicant. The applicant will be contingent upon FDEP permit.

h. 4530 St. Theresa Landings Road

Consideration of a request to modify an existing Community Dock by adding 12.6'x12.6' Boat lift. Property described as parcel # 28-06-02W-1000-0000-0COM, St Theresa Landings Road, St. Theresa, Franklin County, Florida. Request submitted by Hydra Engineering & Construction, agent for Matthew Fox, applicant. Applicant will be contingent upon State and Federal Permits or Exemption.

6. Commercial Site Plan Applications

a. 2118 Highway 98

Consideration of a request for Commercial site plan review of an RV Park on property described as 2118 Highway 98, Lanark Village, Franklin County, Florida. Request submitted by Garlick Environmental Associates, agent for Team Golson Motorsports, Inc, applicant.

b. St. James Bay

Consideration of a request for Site Plan review for an additional 12 Villa Unit at the Club House area of St. James Bay Golf Course. Property described as 160 Laughing Gull Lane, Carrabelle, Franklin County, Florida. Request submitted by Jim Waddell, agent for St. James Bay PUD. Applicant will be contingent upon State and Federal Permits.

c. 116 Otter Slide Road

Consideration of a request for Commercial Site Plan review of a 37'x12' Storage Building on a 9.09 acre parcel on property described as a parcel containing 34.36 acres located at 116 Otter Slide Road, Eastpoint, Franklin County, Florida. Request submitted by LMB Properties Partnership, Ltd, applicant.

7. Ordinance Amendment Applications

a. St. James Bay PUD

Consideration of a request to amend an existing ordinance for the St. James Bay PUD to include verbiage for development of 575 Residential dwelling units, an 18-hole Golf Course, 210,000 square feet of Commercial Space, and a Homeowners Bay Recreation Facility. Request submitted by Garlick Environmental Associates, agent for Casey Meeks, applicant.

8. Re-Zoning & Land Use Change Applications

a. Seacured Storage LLC

Consideration of a request for Public Hearing to re-zone a 5.9 acre parcel lying in

Section 36, Township 8 South, Range 7 West, located in Eastpoint, Franklin County, Florida from C-2 Commercial Business to R-7 Multi-Family High Density. Request submitted by Garlick Environmental Associates, agent for Seacured Storage LLC, applicant.

9. Zoning Administrator's Report

Contact: Cortni Bankston (cortnib@franklincountyflorida.com (850)653-9783 x180) | Agenda published on 07/08/2021 at 11:21 AM

**FRANKLIN COUNTY PLANNING AND ZONING COMMISSION REGULAR MEETING
COURTHOUSE ANNEX, COMMISSION MEETING ROOM**

JUNE 08, 2021

6:30 PM

MINUTES

Members Present:

Alex Skovronsky, Chairman; Ben Houston; Jerry Jackson; Tony Shiver; Cortni Bankston, Zoning Administrator.

Approval of the Minutes

- A- March Planning & Zoning Meeting Minutes for approval
Motion to approve March Minutes by Ben Houston, Seconded by Jerry Jackson. All in favor. None Opposed. Motion Carries.

- B- April Planning & Zoning Meeting Minutes for approval
Motion to approve April Minutes by Jerry Jackson, Seconded by Ben Houston. All in favor, None Opposed. Motion Carries.

Building Report:

C- April Building Report

R-1 Dwellings: 10 Total

Dog Island - 1

Eastpoint - 1

Alligator Point - 2

St. George Island - 4

St. Theresa - 1

Carrabelle - 1

Mobile Homes: 1 Total

Eastpoint -1

D- May Building Report

R-1 Dwellings: 8 Total

Lanark Village - 2

St. George Island - 5

Alligator Point - 1

Critical Shoreline Applications:

- E- Consideration of a request to modify an existing dock by adding a 4' x 18' finger pier and a 12' x 20' covered boatlift on property described as Lot 4, Block 76, Unit 5, 363 Cook Street, St. George Island, Franklin County, Florida. State and Federal Permits have been received. Request submitted by Better Built Docks, agent for James Slack, applicant. (Application Originally approved 12/10/2019)

Motion to approve by Jerry Jackson, Seconded by Ben Houston. All in favor, none opposed. Motion Carries.

- F- Consideration of a request to construct a 6'x20' Floating Dock with a 3'x16' Wood Ramp, a 4'x30' Catwalk, a 16'x32' Boatlift and Cover, a repair of an existing 6'x10' Dock, and replacement of an existing 8'x24' Terminus on property located at 546 River Road, Carrabelle, Franklin County, Florida. Applicant would be contingent upon State and Federal permits. Request submitted by Larry Joe Coson, Agent for William & Anita Shuey, Applicants.

Motion to approve contingent upon State and Federal Permits by Ben Houston, Seconded by Jerry Jackson. All in favor, none opposed. Motion Carries.

- G- Consideration of a request to modify an existing dock by adding a 12' x 33' Covered Boat Lift on property located at 2218 Highway 98 East, Lanark Beach, Franklin County, Florida. Applicant has exemption from State and Federal Permits. Request submitted by Todd Barlow, Applicant.

Motion to approve by Jerry Jackson, Seconded by Ben Houston. All in favor. None Opposed. Motion Carries.

Commercial Site Plan Applications:

- H- Consideration of a request for Commercial Site Plan Review of a RV & Boat Storage Facility on a 4.02 Acre parcel at 50 North Bayshore Drive, Eastpoint, Franklin County Florida. Request submitted by Abel Raouf Arafa, agent for Render & Pam Ward, applicants.

Motion to approve by Ben Houston, Seconded by Jerry Jackson. All in favor, none opposed. Motion carries.

- I- Consideration of a request for Commercial Site Plan Review of a 49.11 5/8 x 51.11 5/8 Firetruck Garage on a 0.344 acre parcel located at 37 Tom Roberts Road, Alligator Point, Frankling County, Florida. Request submitted by Paul Parker, Agent for The Alligator Point Volunteer Fire Department, applicant.

Motion to approve by Ben Houston, Seconded by Jerry Jackson. All in favor, none opposed. Motion carries.

Re-Zoning & Land Use Change Applications:

- J- Consideration of a request for a Public Hearing to re-zone a 2.01 Acre parcel lying in Section 12, Township 7 South, Range 4 West, located at 2332 Highway 98 East, Lanark, Franklin County, Florida, from C-4 Mixed use Residential to R-1A Single Family Residential Subdivision District. Request submitted by Melinda Carroll & Vicki Williams, applicants.

Motion to Recommend for Public Hearing by Jerry Jackson, Seconded by Ben Houston. All in favor, none opposed. Motion carries.

- K- Consideration of a request for a Public Hearing to re-zone a 5.2 acre parcel lying in Section 36, Township 8 South, Range 7 West, located at 11 South Bay Shore Drive, Eastpoint, Franklin County, Florida from R-1 Single Family Residential District to C-3 Commercial Recreation District. Request submitted by Jana Poirier, Agent for Thoe Sereebutra, applicant.

Motion to Deny for Public Hearing by Ben Houston, Seconded by Jerry Jackson. All in favor, none opposed. Motion Carries.

- L- Consideration of a request for Public Hearing to re-zone a 1.23 Acre parcel lying in Section 12, Township 7 South, Range 4 West, located at 2390 Oak Street. Lanark Villiage, Franklin County,

Florida, from C-2 Commercial Business District to C-4 Mixed Use Residential. Request submitted by Charles and Elizabeth Shultz, applicants.

Motion to Recommend for Public Hearing by Jerry Jackson, Seconded by Ben Houston. All in favor, none opposed. Motion Carries.

M- Consideration of a request for a Public Hearing to re-zone 20 acres of a 43 acre parcel lying in Section 14, Township 7 South, Range 5 West, Carrabelle, Franklin County, Florida from A-2 Forestry Agriculture to R-1 Single Family Residential. Request submitted by Sharon Piepmeier, agent for Albery Simpler, applicant.

Motion to Table for more detailed information by Jerry Jackson, Seconded by Ben Houston. All in favor, none opposed. Motion Carries.

Chairman Signature / Date

Monthly Building Report



Date range: 5/1/2021 to 5/31/2021

Total Number of Permits: 70

Total Fees Collected: \$36802.00

Date	Permit	Property Owner	Development	Location	Street Address	Cost	Fee
05/03/2021	30586	Camp Wilson M III & Lori A	TO CONSTRUCT A NEW RESIDENTIAL DWELLING	LOT 31 LANARK BY THE SEA CONTRACT FOR SALE	2332 OAK STREET	\$240,000.00	\$1,584.60
05/03/2021	30587	Miller Richard L & Gail C	TO INSTALL 29 SOLAR PANELS ON RESIDENTIAL ROOF AND INSTALL TWO TESLA BATTERIES	A PARCEL BEING 1.00 AC M/L	2058 HIGHWAY 98 WEST	\$83,258.00	\$1,079.03
05/03/2021	30588	Monroe D Lloyd IV & Melanie T	TO CONSTRUCT A POLE BARN	UNIT 7 ALL OF LOTS 48-49 POINT	1058 GULF SHORE BOULEVARD	\$6,865.99	\$181.25
05/03/2021	30589	Laurimor,LLC	TO CONSTRUCT A POLE BARN	TRACT 3 OF LOT 49 AREA A BAY SIDE EAST	1505 EAST GULF BEACH DRIVE	\$2,000.00	\$93.75
05/03/2021	30590	Shuey William Eldon & Anita C	REMODEL INSIDE OF HOME	0.50 AC	546 RIVER ROAD	\$0.00	\$922.75
05/04/2021	30591	George Simmons	Electrical Upgrade	5 ACRES ON DOG ISLAND A.K.A. TRACT 8 WEST END	2023 West End	\$0.00	\$100.00
05/04/2021	30592	KJC Investments	New Single Family Residence w/ Pool	UNIT 2 BL M LOT 6	841 East Gulf Beach Drive	\$0.00	\$1,746.35
05/04/2021	30595	James M. Higgins	New Meter	PROPERTY BEING THE W1/2 OF LOT 2 ALL OF LOTS 3-4 MCKISSAC UNR	1762-B Carrabelle Beach Drive	\$0.00	\$100.00
05/04/2021	30596	Mitchell Alan Baxley & Latisha Michelle Bruns	Construct a new single family home	UNIT 1 BL 8 LOT 71	7 Cobia St	\$350,000.00	\$2,925.74
05/05/2021	30597	Poloronis Tony M & Laura	ROOF OVER	26 X 234 X 349 X 145 IN THE NW 1/4 LESS 0.159 AC TO COUNTY 26 X 234 X 349 X 145 IN THE NW 1/4 LESS 0.159 AC TO COUNTY	1002 BLUFF ROAD	\$3,000.00	\$229.00
05/06/2021	30598	Vitale Robert & Christy Vitale	INSTILLATION OF 29 SOLAR PANELS ON RESIDENTIAL ROOFS	UNIT 3 BL J LOT 11	1180 WEST GULF BEACH DRIVE	\$70,683.00	\$972.10

05/07/2021	30599	Maddox Anthony & Rachel	PARTIAL RE ROOF	LOT 16 TREASURE BCH VILL 210/388 293/45 385/108 429/32 573/269 612/373 1021/625 1146/463-EASMENT	1940 NAUTILUS DRIVE	\$7,725.00	\$159.00
05/10/2021	30600	Maloy Michael J & Donna P	SHINGLE RE ROOF	UNIT 1 BL C LOTS 21 & 22 LANARK BEACH	2155 MASSACHUSETTS AVENUE	\$8,353.00	\$173.00
05/10/2021	30601	Snyder Robert D & Patricia L	SHINGLE RE ROOF	UNIT 1 W BLOCK 18W LOT 8 ST GEORGE IS	456 WEST GORRIE DRIVE	\$17,470.00	\$299.00
05/10/2021	30602	Moran John J & Becky G	SHINGLE RE ROOF	UNIT 2 LOT 35 HOLIDAY BEACH	1191 ALLIGATOR DRIVE	\$8,901.00	\$173.00
05/10/2021	30603	Hogwood Properties,LLC	RE ROOF METAL	LOT 19 CASA DEL MAR PHASE I	2286 SAIL FISH DRIVE	\$49,077.21	\$629.80
05/10/2021	30604	Hose Harold C	RE ROOF SHINGLES	BLK H LOTS 1 MAGNOLIA BLUFF	211 NORTH BAYSHORE DRIVE	\$15,215.00	\$271.00
05/10/2021	30605	Mcclary William John Melinda B.Phillips	RE ROOF METAL	LOT 6 BLK K LANARK BCH UNIT 1	143 CONNETICUT	\$18,445.00	\$313.00
05/11/2021	30606	Delarber Richard M & Jane D	TO CONSTRUCT AN ADDITIONAL 280 SQFT, 312 SQFT COVERED, WITH A BOAT LIFT.	UNIT 5 BL 81 LOTS 9	323 EAST SAWYER STREET	\$42,829.00	\$571.60
05/12/2021	30607	Korst Ernest B Jr, Trustee	SLIDING GLASS DOOR REPLACEMENT	UNIT 2 BL H LOT 6 PENN POINT	1487 ALLIGATOR DRIVE	\$8,023.00	\$173.00
05/12/2021	30608	TIM AMISON	REPAIR BOTTOM OF C-CHANNEL COLUMNS, REPAIR CEILING IN BUILDING	7.85 AC M/L	569 BROWNSVILLE ROAD	\$15,000.00	\$257.00
05/12/2021	30609	John M. & Diane G. Ray	Electrical Meter Upgrade	UNIT 4 BL 48 LOT 22	1065 East Pine Ave	\$0.00	\$100.00
05/12/2021	30610	Cara Bay,LLC	TO REDECK EXISTING DOCK 4'X500' AND REPLACE STINGERS IN APPLICABLE LOCATIONS	LOT 13 BAY COVE VILL OR 228/154	2027 TURPENTINE TRAIL	\$36,250.50	\$513.40
05/13/2021	30611	Townsend Holly H & Howell William James Jr	TO INSTALL AN EXTERIOR CARGO LIFT	UNIT 5 BL 71 LOT 17	319 WEST 8TH STREET	\$10,881.90	\$251.25
05/13/2021	30613	ROBERT AND MCKENZIE BLALOCK	New Single Family Construction	LOT 19 BLOCK 22	525 WEST PINE AVE	\$0.00	\$1,782.65
05/14/2021	30614	Tcb Ventures,FL,LLC	TO CONSTRUCT A ROOF OVER EXISTING BOATLIFT, AND REDESIGN EXISTING TERMINUS	UNIT 1 LOT 80 HOLIDAY BCH	71 FIESTA DRIVE	\$7,500.00	\$159.00
05/17/2021	30615	Hls Property Management-Break Away Lodge, LLC	TO REPLACE METER BASE	LOT 1 BAYSIDE	2235 BAYSIDE DRIVE	\$0.00	\$100.00

05/18/2021	30616	Cochran James R & Karyl W	WHOLE HOUSE STAND BY GENERATOR	A PARCEL CONTAINING 1.595 AC M/L IN SEC 31-06S-02W BEING 609.49 FT X 250 FT X 555.86 FT R/154/472	4037 ST TERESA AVENUE	\$14,079.00	\$257.00
05/18/2021	30617	Benson Marilyn	REPAIR PLUMBING, ELECTRICAL, BATHROOMS, FLOORS, WINDOWS, FRONT PORCH, AND BACK PORCH. INSTALL NEW HOT WATER HEATER, 200 AMP BREAKER, AND EXTERIOR SERVICE PANEL FOR ELECTRICAL.	A PARCEL RECD	365 HIGHWAY 98 WEST	\$7,285.00	\$159.00
05/18/2021	30618	Whiteman Rex A & Cynthia R	REPLACE PLUMBING PIPES IN HOME	BL C LOT 1	131 NORTH BAYSHORE DRIVE	\$8,000.00	\$159.00
05/18/2021	30619	Burchell Properties,LLC	TO CONSTRUCT A SWIMMING POOL	UNIT 2 BL E LOT 10 530/85 705/312 759/633 782/799 875/590 981/503 983/184 1153/446 1156/599 1276/714 1292/790	1072 EAST GORRIE DRIVE	\$45,000.00	\$738.75
05/18/2021	30620	Saunders Timothy C Sr Trust	POWER POLE	A PARCEL IN SECTION 23 06S 04W CONTAINING APPROX 14.8 AC M/L A.K.A. PART OF TRACT 7	265 HICKORY HAMMOCK ROAD	\$0.00	\$100.00
05/19/2021	30621	Hodges Marci Talbot	NEW SLIDING GLASS DOOR	UNIT 1 BL 10 E LOT 21	156 EAST GORRIE DRIVE	\$3,000.00	\$89.00
05/19/2021	30622	W.E.Salmon,Inc	METAL RE ROOF	THE BLUFFS PHASE II LOT 9 612/488 642/242 649/760 673/121 899/49 1057/115 1292/740	1514 WINDY PASS	\$20,000.00	\$327.00
05/19/2021	30623	K.J.C. Investments,LLC	TO CONSTRUCT A NEW SINGLE FAMILY DWELLING	UNIT 2 BL M LOT 9	865 EAST GULF BEACH DRIVE	\$174,294.00	\$1,746.35
05/19/2021	30624	K.J.C Investments,LLC	TO CONSTRUCT A SINGLE FAMILY DWELLING	UNIT 1 BL 13W LOT 1 FILE NO. 12612 989/176 1216/772 1253/786 1293/1	301 WEST GULF BEACH DRIVE	\$174,294.00	\$1,746.35
05/19/2021	30625	Thomas William A III & Thomas Carro N	TO CONSTRUCT A SINGLE FAMILY DWELLING	UNIT 1 BL 9W LOT 1 AND THE WESTERLY 20' OF LOT 2	259 WEST GORRIE DRIVE	\$475,000.00	\$2,285.50
05/20/2021	30626	Ryniak James D & Tracy L	INSTALL A MODULAR HOME	LOT 23 & 24 FAIRWAY PARK PB 8/15	2637 OAK STREET	\$178,167.20	\$1,773.30

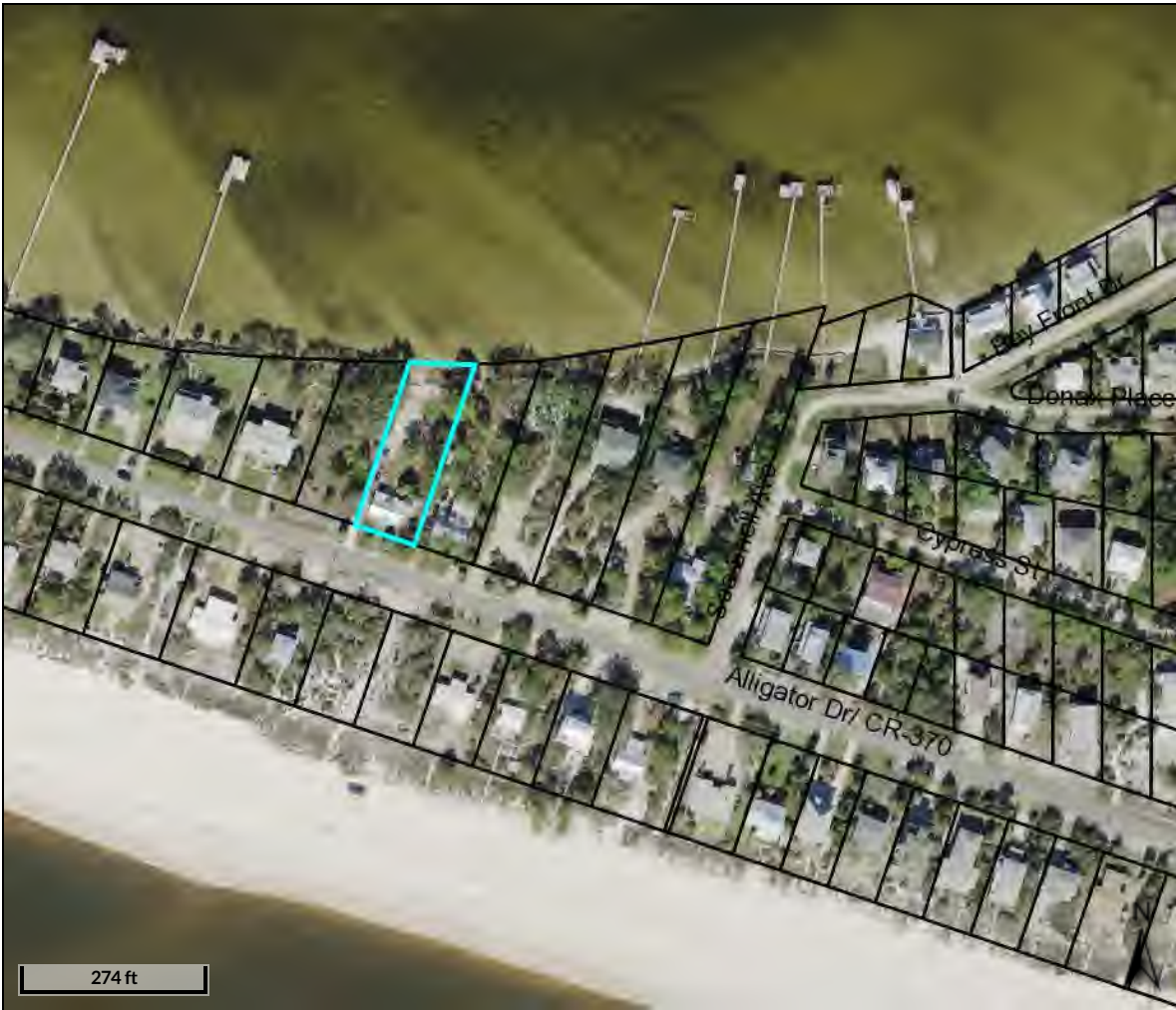
05/20/2021	30627	Ferrada Juan J Maria C Barriga	TO CONSTUCT A POOL ENCLOSRE	A PARCEL KNOWN AS LOT 1 SANDY SHORES ESTATES PB 7/21 690/120 1160/528 1165/676	1761 HIGHWAY 98 EAST	\$26,700.00	\$520.50
05/20/2021	30628	Kirk Greg & Leo Bebeau	RE ROOF	UNIT 2 BL I LOT 16	949 EAST GORRIE DRIVE	\$4,000.00	\$103.00
05/21/2021	30629	Aunt Becky's Cottage,LLC	TO CONSTRUCT A POLE BARN	LOT 7 OF TRACT 50 EAST END	1529 EAST GULF BEACH DRIVE	\$7,400.00	\$198.75
05/24/2021	30631	Bochniak John & Karen	TO CONSTRUCT A HANDY CAP RAMP	A PARCEL IN SEC 07-07S-03W CONTAINING 1 AC M/L	119 FRANKLIN STREET	\$1,500.00	\$93.75
05/24/2021	30632	Campagna Properties, LLC	TO CONSTRUCT A NEW SINGLE FAMILY RESIDENCE	UNIT 2 BL E LOT 2 TAX CERT 96 1976	1008 EAST GORRIE DRIVE	\$500,500.00	\$1,955.27
05/24/2021	30633	Gunter Benjamin H & Janet B	TO CONSTRUCT A GARAGE	SUMMER CAMP WEST PHASE 1A LOT 109 PB 9/26-47	301 SEAFOAM CIRCLE	\$97,000.00	\$1,185.95
05/24/2021	30634	Whiddon Robert & Diane	TO INSTALL A 10'X12' WOOD SHED	PARCEL 2 BL 169 S 218 FT OF LOT 17 DAVID BROWN EST 1166/762	233 POWER DRIVE	\$4,777.12	\$117.00
05/25/2021	30635	Dsh Prodigy Investment,LLC	DEMO EXSISTING STRUCTURE AND REBUILD SMALLER DECK	LOTS 66A AND 67A ALLIGATOR POINT SUB 106/73 172/45	1684 ALLIGATOR DRIVE	\$17,500.00	\$373.75
05/25/2021	30636	Johns Jr Emerson C Etal	SHINGLE RE ROOF	BLOCK B LOT 5 MAGNOLIA BLUFF	123 NORTH BAYSHORE DRIVE	\$31,380.00	\$464.90
05/25/2021	30637	Berta Cynthia	BOARDWALK REPAIR	1.00 AC BEING OUT OF TRACT 42 EAST END LOT 8	1321 EAST GULF BEACH DRIVE	\$1,200.00	\$75.00
05/25/2021	30638	Hogan Guy & Marilyn	BACK DOOR REPLACEMENT	TRACT 65 BEING 2.15 AC NORTH BAY SHORE ADDITION	319 EAST BAY DRIVE	\$3,625.00	\$103.00
05/25/2021	30639	Pwh,LLC	TO CONSTRUCT A GARAGE	SUMMER CAMP WEST PHASE 1B LOT 96 PB 9/26-47 1197/175 1236/483	3402 FIREFLY CIRCLE	\$46,852.37	\$763.00
05/26/2021	30640	Williams Dana	REPLACE MAIN BREAKER	UNIT 1 BL 9 LOTS 17 18	41-6 HOLLAND AVENUE	\$0.00	\$100.00
05/26/2021	30641	Mahan Cottages LLC	CLEAR AND GRADE	2.50 AC M/L IN SEC 36-08S-07W OR 2/89 25/21 98/51 139/499 183/541 190/383 444/156 446/308 505/140 527/182-97 553/271-82 563/424 565/169 569/645-649 572/207 927/15 1246/344 (L/E 1274/484) (L/E 1274/486) 1289/704	148 HIGHWAY 98	\$0.00	\$100.00
05/26/2021	30642	THE ARK FAMILY TRUST	CLEAR AND GRADE	UNIT 1 BL 5W LOTS 27 28 29	140 WEST PINE AVENUE	\$0.00	\$100.00

05/26/2021	30643	THE ARK FAMILY TRUST	CLEAR AND GRADE	UNIT 1 BL 5W LOT 30	152 WEST PINE AVENUE	\$0.00	\$100.00
05/26/2021	30644	THE ARK FAMILY TRUST	CLEAR AND GRADE	UNIT 1 BL 5W LOT 31	156 WEST PINE AVENUE	\$0.00	\$100.00
05/26/2021	30645	THE ARK FAMILY TRUST	CLEAR AND GRADE	UNIT 1 BL 5W LOT 32 EACH HAVING AN UNDIVIDED 1/2 INTEREST	160 WEST PINE AVENUE	\$0.00	\$100.00
05/26/2021	30646	THE ARK FAMILY TRUST	CLEAR AND GRADE	UNIT 1 BL 5W LOT 5	147 WEST GULF BEACH DRIVE	\$0.00	\$100.00
05/26/2021	30647	THE ARK FAMILY TRUST	CLEAR AND GRADE	UNIT 1 BL 5W LOTS 3 & 4	155 WEST GULF BEACH DRIVE	\$0.00	\$100.00
05/26/2021	30648	THE ARK FAMILY TRUST	CLEAR AND GRADE	UNIT 1 BL 5W LOTS 1 2	163 WEST GULF BEACH DRIVE	\$0.00	\$100.00
05/26/2021	30649	Mclean Russell P & Penelope P	New Single Family Dwelling	UNIT 4 LOT 32 DOG ISLAND	819 BAY DRIVE	\$125,000.00	\$1,490.25
05/26/2021	30650	Roberts Ricky E	New Single Family Dwelling	RESERVE AT MAGNOLIA RIDGE SUB BLOCK C LOT 16 843/55 1069/729 1070/289 1071/206 1178/130 1259/412	344 LILY CIRCLE	\$161,899.76	\$1,658.73
05/27/2021	30652	Harris Charles R & Tracy F	TO CONSTRUCT A SHED	SUMMER CAMP WEST PHASE 1B LOT 141 PB 9/26-47 1047/288	3542 FIREFLY CIRCLE	\$5,303.99	\$163.75
05/28/2021	30653	Alejandra & Bruce Stinson	RE ROOF WITH SHINGLES	75 FT X 150 FT	193 HARBOR CIRCLE	\$12,925.00	\$229.00
05/28/2021	30654	Shiela Evans	Install accordion shutters and exterior door	104 FT X 301 FT OR/97/65 1121/602	209 River Road	\$0.00	\$0.00
05/28/2021	30655	Anderson Joann	REPLACE EXTERIOR DOOR SIZE FOR SIZE, AND INSTALL ACORDION SHUTTERS	FROM POB W ALG S ROW DUNLAP RD 100' LEAVING S ROW RUN S 275' E100' N275'TO POB .63 ACRE M/L 231/462 114/344 257/51 406/141 731/75 975/435 975/538 1035/382	110 DUNLAP ROAD	\$14,521.25	\$0.00
05/28/2021	30656	RANDI / JEFFERY SANDOVAL	RE ROOF, INSTALL ACCORDION SHUTTERS, INSTALL EXTERIOR DOOR SIZE FOR SIZE	A PARCEL BEING 90' X 200' BEING A DIVISION OF LOT 13	12 8TH STREET	\$22,679.50	\$0.00
05/28/2021	30657	Larry and Teri Shiver	Install accordion shutters, install double door	LOT 62 NORTH RIDGE ROAD UN- RECD PLAT TARPON SHORES OR/562/280 569/120 793/747	737 Ridge Road	\$0.00	\$0.00

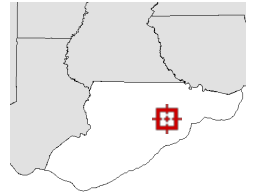
05/28/2021	30658	Cook Helen	RE ROOF, INSTALL ACCORDION SHUTTERS, INSTALL IMPACT GARAGE DOOR SIZE FOR SIZE, INSTALL NEW EXTERIOR DOOR SIZE FOR SIZE	.81 AC OR/99/57	226 KEVIN ROAD	\$40,103.00	\$0.00
05/28/2021	30659	Sumerfield Cheryl L	INSTALL ROOF MOUNTED SOLAR PV SYSTEM	A PARCEL KNOWN AS LOT 13 GULF VIEW AC CONT 1 AC M/L 202/600 579/52 584/157 610/41 1250/318 1251/65 1251/706 1281/109	2591 HIGHWAY 98 EAST	\$70,000.00	\$963.88
05/28/2021	30660	Jewell Keith R & Cheryl J	TO INSTALL AN EXTERIOR CARGO LIFT	UNIT 4 BL 39 LOT 5 ST GEO IS	732 EAST PINE AVENUE	\$10,400.40	\$201.00



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Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	06-07S-01W-1042-000L-0093	Alternate ID	01W07S061042000L0093	Owner Address	HAPPY SHACK,LLC
Sec/Twp/Rng	6-7S-1W	Class	SINGLE FAM		600 WILSON AVE
Property Address	1474 ALLIGATOR DR ALLIGATOR POINT	Acreage	0.535		TALLAHASSEE, FL 32303
District	7				
Brief Tax Description	UNIT 2 BL L LOT 3 OF LOT 9				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 7/7/2021
 Last Data Uploaded: 7/7/2021 7:39:57 AM

Developed by  **Schneider**
 GEOSPATIAL



DOCK PERMIT APPLICATION
FRANKLIN COUNTY BUILDING DEPARTMENT
 34 Forbes Street, Suite 1, Apalachicola, Florida 32320
 Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____
 FEE: \$ _____
 C.S.I : \$ _____
 TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:
 VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:
 ISSUANCE DATE: _____ EXPIRES: _____

EXISTING HOUSE: Yes No
DEP PERMIT: Yes No
ARMY COE PERMIT: Yes No
APPROVED: Yes No

APPLICATION MUST BE COMPLETE:

Property Owner/s: John Adam Dowdy III (Living Trust)
 Contact Information: Home #: _____ Cell #: _____
 Mailing Address: 2035 Chimney Swift Hollow City/State/Zip: Tallahassee, FL 32312
 EMAIL Address: jad.dowdy@gmail.com @ _____
 Contractor Name: David Keith Business Name: Docks 4 Less
 Contact Information: Office #: _____ Cell #: (850) 508-0409
 State License #: _____ County Registration #: _____
 Mailing Address: _____ City/State/Zip: _____
 EMAIL Address: David.Keith62@aol.com @ _____

PROPERTY DESCRIPTION: 911 Address: _____
 Lot/s: 4 of lot 9B Block: L Subdivision: Alligator Point Unit: 2
 Parcel Identification #: 06-07501W-1042-00L-0094

JURISDICTION: Franklin County City of Apalachicola City of Carrabelle
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point
 SINGLE FAMILY DOCK/PIER MULTI-FAMILY DOCK/PIER COMMERCIAL

DESCRIPTION: Construction 353'x4' Access walkway with a terminus 8'x20' and 2 Boat lifts 12'x20' each.

ZONING DISTRICT: _____ CONTRACT COST: _____
 TOTAL SQUARE FOOT: _____ FOUNDATION TYPE: _____
 ROOF MATERIAL: _____
APPROVED BY: Planning & Zoning Date: 5.14.19 County Commissioners Date: 5.21.19
 City of Carrabelle Date: _____ City of Apalachicola Date: _____

WATER BODY: _____
 CRITICAL SHORELINE DISTRICT: YES OR NO CRITICAL HABITAT ZONE: YES OR NO

BUILDING OFFICIAL _____ **Date** _____ **OWNER (Required)** _____ **Date** _____ **CONTRACTOR (Required)** _____ **Date** _____

FRANKLIN COUNTY DOCK CHECKLIST & FEE SCHEDULE

CHECKLIST:

- Application
- DEP
- Army CORPS
- Site Plan
- Drawings (Approved by all entities)
- Approvals from local jurisdictions

FEE SCHEDULE:

DOCKS	SQUARE FOOT		X	\$5.00	=	\$
BOAT LIFTS	SQUARE FOOT		X	\$5.00	=	\$
TOTAL VALUATION:						\$
Critical Shoreline Fee:						\$ 100.00
PERMIT FEE:						\$



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL
DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS •
CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL
LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE
MARINA, DOCK, AND SUBDIVISION DESIGN

LETTER OF TRANSMITTAL

DATE: April 5, 2019

TO: Ms Tanya Alveriz McHale
FDEP/ Northwest District
Pensacola Office
160 West Government Street / Suite 308
Pensacola, FL 32501

RE: Application Single Family Dock w/2 Boat Lifts
1474 Alligator Drive
Unit 2 – Lot 4 of Lot 9 BL L Penn Point
GEA File No. 19-042/EP

Attached is an application for the construction of a Single Family Dock for the referenced project. The proposed project is located in Section 6, Township 7 South, Range 1 West, in Franklin County, FL, in Alligator Harbor, Class II, OFW, Aquatic Preserve. The following information should aid you in your review:

The project consists of construction a Single Family Residential Dock with an access walkway 353 ft. in length and 4 ft in width for a total square footage of 1412 square feet. The terminus will be constructed 8 ft. in width and 20 ft. in length for a total square footage of 120 sq. ft. The total square footage of proposed dock and terminus is 1532 sq. ft. Two (2) boat lift will also be constructed 12 ft. in width and 20 ft. in length. Turbidity curtains will be placed around the area of the proposed work and will remain in place until turbidity is well within the limits of the State Water Quality Standards.

The vessel that will moor at the proposed dock will be a 12 ft by 20 ft open water recreational vessel and will not draft more than 12 inches.


The type of wood that will be used for the decking will be ACQ pressure treated pine. The planks will be spaced 1 inch apart to allow light penetration to prevent shading the vegetation. Wood supported piles made of pressure ACQ treated pine will also be used. The piles will be jetted and placed no greater than 10 ft. apart. Provisions will include maintaining State Water Quality Standards for turbidity at all times by installing turbidity curtains.

The linear footage of the shoreline for the referenced project is 97.25 ft. The total shoreline footage not being used will be 93.25 ft. There will not be any shoreline footage used for future development, which could have dock access;

The upland area is presently zoned as single family residential and no changes are proposed at this time. Evidence of title to the subject riparian upland property is attached.

If you have any questions or need any additional assistance, please do not hesitate to call me at (805) 653-8899 or send an email to dan@garlickenv.com.

Sincerely,



Mr. Dan Garlick, President, P.W.S.
Garlick Environmental Associates, Inc.

Attachments

Cc: John Dowdy

C. Consultant/Agent **This is a Contact Person for Additional Information**

Name: Last: Garlick First: Dan Middle:
Title: President Company: Garlick Environmental Associates, Inc
Address: Post Office Box 385
City: Apalachicola State: FL Zip: 32329
Home Telephone: Work Telephone: 850-653-8899
Cell Phone: 850-899-5252
E-mail Address: dan@garlickenv.com

Correspondence will be sent via email, unless you check here to receive it via US Mail

D. Land Owner(s) (If Different or in Addition to Applicant Identified Above)

Name: Last: Same as Above First: Middle:
Title: Company:
Address:
City: State: Zip:
Home Telephone: Work Telephone:
Cell Phone:
E-mail Address:

Correspondence will be sent via email, unless you check here to receive it via US Mail:

E. Location of proposed activities:

Tax Parcel Identification Number: 06-07S-01W-1042-000L-0094
Address: 1472 Alligator Drive
City: Alligator Point County: Franklin Zip: 32346
Latitude (DMS) 29 ° 53 ' 56.03 " Longitude (DMS) 84 ° 23 ' 28.86 "

F. Date activity is proposed: To Commence: Upon permit issuance To be Completed: within 2 years

G. Describe in general terms the proposed project, system, or activity:

Construction of a single family residential dock.

H. Describe wetland and aquatic habitats to be affected:

The dock will be constructed in the Alligator Harbor

I. Construction methods and schedule:

The proposed dock will be constructed from itself.

J. Additional information that demonstrates that you qualify for the general permit, addressing all the parameters, thresholds, and conditions required in the general permit.


Part 2: Certification

I hereby certify I have read and will conduct the above activities in accordance with the criteria, limitations, and specific conditions of the general permit identified in Part 1 Section A, and in accordance with the general conditions of Rule 62-330.405, F.A.C. Unless otherwise provided in Chapter 62-330, F.A.C., activities conducted pursuant to the above general permit may commence thirty (30) days after providing written notice to the Department of Environmental Protection or the Water Management District, along with any required additional documentation which may be required to fulfill the requirements of the general permit, unless the Agency responds that the proposed work does not qualify for a general permit.

I understand I may have to provide any additional information/data that may be necessary to provide reasonable assurance or evidence that the proposed project will comply with the applicable state water quality standards or other environmental standards both before construction and after the process is completed.

I further acknowledge that work done under this general permit may also require the review and approval of other federal, state, or local agencies, and that commencement of construction before such federal, state, or local agency approvals or permits are obtained may subject me to enforcement action and fines or penalties by such agencies. Further, the work shall be conducted in a manner that does not violate applicable water quality standards.


Typed/Printed Name of Applicant or Agent

 04/01/19
Signature of Applicant or Agent Date

An Agent May Sign Above If Applicant Completes the Following:

I hereby designate and authorize the agent listed in Item Part 1 Section C to act on my behalf as my agent in the processing of this permit application and to furnish on request, supplemental information in support of the application.

Typed/Printed Name of Applicant
(And corporate title, if applicable)


Signature of Applicant

Date 4/1/2019

Certification of Sufficient Real Property Interest and Authorization for Staff to Access the Property:

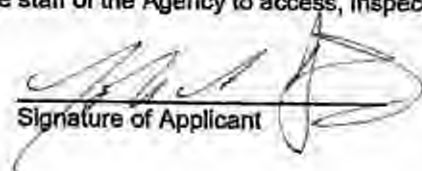
I certify that:

I possess sufficient real property interest in or control, as defined in Section 4.2.3 (d) of Applicant's Handbook Volume I, over the land upon which the activities described in this application are proposed and I have legal authority to grant permission to access those lands. I hereby grant permission, evidenced by my signature below, for staff of the Agency to access, inspect, and sample the lands and waters of the property as necessary for the review of the proposed works and other activities specified in this application. I authorize these agents or personnel to enter the property as many times as may be necessary to make such review, inspection, and/ or sampling. Further, I agree to provide entry to the project site for such agents or personnel to monitor and inspect permitted work if a permit is granted.

OR

I represent an entity having the power of eminent domain and condemnation authority, and I/we shall make appropriate arrangements to enable staff of the Agency to access, inspect, and sample the property as described above.

Typed/Printed Name of Applicant
(And corporate title, if applicable)


Signature of Applicant

Date 4/1/2019

Part 3: Submittal

In addition to the information described in this form, any Notice of Intent to use a General Permit must also include the following, as described in Section 4.2.2 of the Applicant's Handbook, Volume I:

- Location map(s) of sufficient detail to allow someone who is unfamiliar with the site to travel to and locate the specific site of the activity.
- One set of plans and drawings, calculations, environmental information, and other supporting documents that clearly and legibly depict and describe the proposed activities in sufficient detail to demonstrate that the work qualifies for the specified General Permit.
- The required fee, made payable to the appropriate agency.

Fees for the appropriate agency are established in the rules adopted in subsection 62-330.071(1), F.A.C., as listed below:

- Rule 62-4.050, F.A.C. (Department of Environmental Protection or the Northwest Florida Water Management District)
- Rule 40B-1.706, F.A.C. (Suwannee River Water Management District)
- Rule 40C-1.603, F.A.C. (St. Johns River Water Management District)
- Rule 40D-1.607, F.A.C. (Southwest Florida Water Management District)
- Rule 40E-1.607, F.A.C. (South Florida Water Management District)

Operating Agreements between the Department and the water management districts specify which agency will process any given application. For copies of the operating agreements, go to <https://floridadep.gov/ogc/ogc/content/operating-agreements>

This application form may be submitted online; to do so, follow the on-line submittal requirements of the agency:

- o **Florida Department of Environmental Protection:** <http://www.fldepportal.com/go/>
- o **Northwest Florida Water Management District:** <https://permitting.sjrwmd.com/nweppermitting/jsp/start.jsp>
- o **Suwannee River Water Management District:** <https://permitting.sjrwmd.com/srepermitting/jsp/start.jsp>
- o **St. Johns River Water Management District:** <https://permitting.sjrwmd.com/epermitting/jsp/AccountOverview.do?command=init>
- o **Southwest Florida Water Management District:** <http://www.swfwmd.state.fl.us/permits/epermitting/>
- o **South Florida Water Management District:** <http://my.sfwmd.gov/ePermitting/MainPage.do>

If submitting a paper application, please see Appendix A of Applicant's Handbook, Volume I for submittal locations.



Project Design Criteria Checklist for the U.S. Army Corps of Engineers Jacksonville District's Programmatic Biological Opinion (JAXBO)

Activity 2: Pile Supported

Agency Internal use:			
<input type="text"/>	Date checklist sent to NMFS (MM/DD/YY)	<input type="text"/>	PM Last Name
<input type="text"/>		<input type="text"/>	Application #
<input type="text"/>		<input type="text"/>	Checklist Version

Proposed Activity (Select all that apply):

- Dock New
- Dock Repair
- Dock Replacement
- Mooring/Dolphin piles
- Mooring buoys
- Mooring fields
- Chickees
- ATONS/PATONS
- Boatlift
- Temporary structures/buoys
- Other (Provide description in Comments box at bottom)

Single-family Select the type/use of the structure

Enter information about the proposed activity:

<input type="text"/>	Total number of existing dry slips	<input type="text"/>	Total number of existing wet slips
<input type="text"/>	Total number of proposed dry slips	<input type="text"/>	Total number of proposed wet slips

Piling Installation Data: Enter data as appropriate for different pile types used. JAXBO does not cover installation of metal piles or sheet piles with impact hammer (AP 2, Section 2.1)

<input type="text"/>	Pile Type 1	<input type="text"/>	Pile Type 2	<input type="text"/>	Pile Type 3	<input type="text"/>	Pile Type 4
<input type="text"/>	Number of Piles	<input type="text"/>	Number of Piles	<input type="text"/>	Number of Piles	<input type="text"/>	Number of Piles
<input type="text"/>	Size of each Pile (sq. ft.)	<input type="text"/>	Size of each Pile (sq. ft.)	<input type="text"/>	Size of each Pile (sq. ft.)	<input type="text"/>	Size of each Pile (sq. ft.)
<input type="text"/>	Pile Material	<input type="text"/>	Pile Material	<input type="text"/>	Pile Material	<input type="text"/>	Pile Material
<input type="text"/>	Installation Method	<input type="text"/>	Installation Method	<input type="text"/>	Installation Method	<input type="text"/>	Installation Method

Open-Water Project in Open-Water or Confined-Space Environment (AP 2, Section 2.2)?

Select Noise PDC Category (AP 2, as detailed in (Section 2.2))

For commercial/multi-family/public facilities and marine events which of the following signs will be posted (A2.2.) Select all that apply:

- Save Sea Turtle/ Sawfish and Dolphin Sign
- Help Protect North American Right Whale
- Report Sturgeon
- U.S. Caribbean

For commercial/multi-family/public docking facilities/monofilament recycling bins will be installed. (A2.3)

North Atlantic Right Whale Educational Sign Zone: Is the North Atlantic right whales handout included as special condition of permit (A2.4)?

Does the project include a municipal or commercial fishing pier?

Is dock within visible distance of an ocean beach? If yes: is turtle-friendly lighting installed as required by JAXBO (A2.8)?

Will project construction take place from uplands or from floating equipment (e.g. barge) as required (A2.9)?

Dock Construction Scenario included as a special condition (A2.17)?

For projects located in Designated Critical Habitat; please complete applicable section below:

Is the project located in the geographic area of Smalltooth Sawfish Critical Habitat?

Is project located in smalltooth sawfish limited exclusion zone?

Is the project located in the geographic area of Gulf Sturgeon Critical Habitat?

Enter width of the area (e.g. channel/ bay) if in a the Gulf sturgeon critical habitat migratory restriction zone (Section 2.1.1.2)

Select additional noise restrictions required as special condition in Gulf sturgeon critical habitat migratory restriction zones (A2.11)

Is the project located in the geographic area of Acropora Critical Habitat?

Are essential features present?

Is hardbottom present in project footprint? (AP.14)

Is the project located in the geographic area of Johnson's Seagrass Critical Habitat?

Water depths (insert range of water depths where project will occur as minus MLW)

Project includes a new marina or multifamily facility (A2.14)?

Does the project include repair/replacement and reconfiguration of existing marinas or multi-family facilities?

If project is repair/replacement and reconfiguration of existing marinas or multi-family facilities then select all that apply under JAXBO (A2.14).

Occurs within same overall footprint (out to the perimeter of the facility including the outer limits of the structure and permitted mooring locations)

Does not increase the total serial extent (i.e. area of coverage from the dock structures) of the existing facility.

Does not affect Johnson's seagrass.

Is the project located in the geographic area of Nearshore Reproductive Habitat of NWA DPS of Loggerhead Sea Turtle Critical Habitat?

Does the project include the installation of a structure other than ATONS (A2.15)?

Is the project located near sea turtle nesting beaches in the geographic area of U.S. Caribbean Sea Turtle Critical Habitat?

Does the project include the installation of a structure other than ATONS near sea turtle nesting beaches (A2.16)?

Comments:

The proposed project consists of construction a 353'x4' access walkway, with a 8'x10' terminus. The proposed project also consists of including 2 boat lifts at the terminus of the dock.



Project Design Criteria Checklist for the U.S. Army Corps of Engineers Jacksonville District's Programmatic Biological Opinion Summary Checklist (Must be submitted with all projects)

Permitting Agency's Internal Use Only:

Form section for internal use including fields for Date checklist sent to NMFS, Reviewer Last Name, Application #, Checklist Version, and agency information.

Form section for project location including Project Street Address (1472 Alligator Drive), City (Alligator Point), County (Franklin), Latitude (29d 53' 56.03"), Longitude (84d 23' 26.86"), and Municipality (USA).

Form section for selecting activities used for the entire proposed project, with checkboxes for activities 1 through 10 and a 'Superseding Process' checkbox.

Table with 5 columns: Geographic Area, Is the project located in the geographic area?, Select DCH Unit, Are Essential Features Present?, and If Essential Features are present, enter area of impact. Rows include various DCH units like Smalltooth Sawfish, Gulf Sturgeon, and Atlantic Sturgeon.

36799 Is the Project in or near areas with mangroves, seagrasses, corals, or hard bottom habitat? Does it comply with PDC's for Mangroves, Seagrasses, Corals, and Hard Bottom for All Projects (AP 3)

Table with 3 columns: Resource, Present in the project footprint?, and Square Feet of Impact. Resources listed include Mangroves, Nonlisted Seagrass, Johnson's Seagrass, Listed Corals, Nonlisted Corals, and Hardbottom.

Form section for impact calculations: SF of Overwater Impacts (1,492.00) and SF of Total In-water Impacts (18.50).

Form section for compliance with PDCs for In-Water Activities (AP 1) and other regulatory requirements.

Form section for applicant/agent signature: Dan Garlick, The applicant or applicant's representative certifies the project complies with the PDC's and all information in this form and individual checklist(s) is correct.

Comments: Construction of a single family residential dock - 353'x4'=1412 sq ft / 10'x8'=80 sq ft. terminus / total area of proposed dock 1492 sq ft with 2 boat lifts 12'x20'. Page 24

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: John Dowdy
WATERBODY/CLASS: Alligator Harbour
PURPOSE: Residential Dock
PROJECT LOCATION / USGS:
LATITUDE:
LONGITUDE:
SECTION: 6 TOWNSHIP: 7 South RING: 1 West

JOB: 19-042
DEP:
COE:
OTHER:
DATE: March 29, 2019
SHEET: 1/1



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: John Dowdy

WATERBODY/CLASS: Alligator Harbour

PURPOSE: Residential Dock

PROJECT LOCATION / USGS:

LATITUDE:

LONGITUDE:

SECTION: 6 TOWNSHIP: 7 South RANGE: 1 West

JOB: 19-042

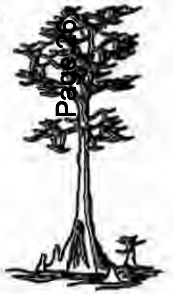
DEP:

COE:

OTHER:

DATE: March 29, 2019

SHEET: 1/4

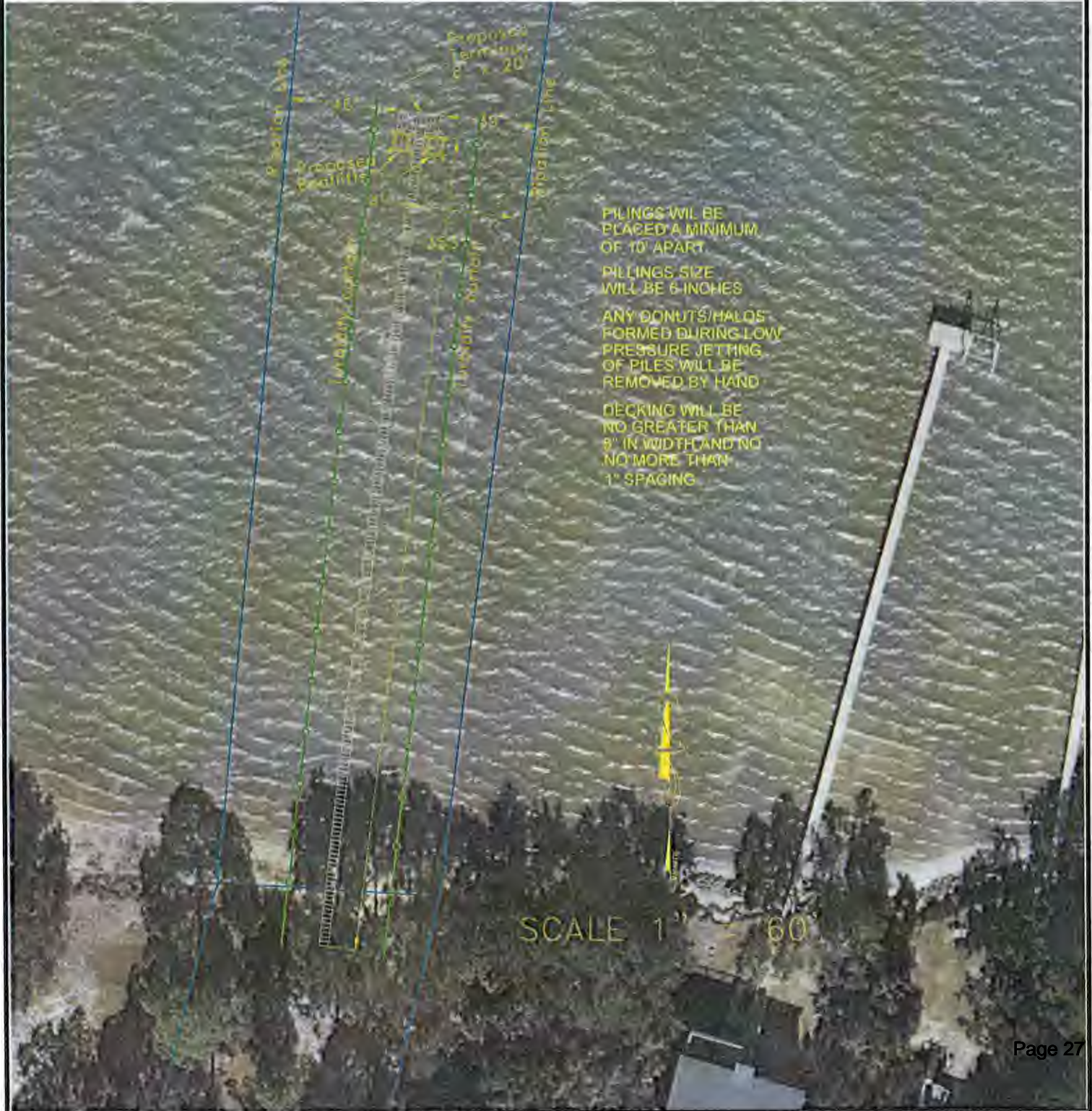


PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: John Dowdy
WATERBODY/CLASS: Alligator Harbour
PURPOSE: Residential Dock
PROJECT LOCATION / USGS:
LATITUDE:
LONGITUDE:
SECTION: 6 TWSHP: 7 South RNG: 1 West

JOB: 19-042
DEP:
COE:
OTHER:
DATE: March 29, 2019
SHEET: 2/4



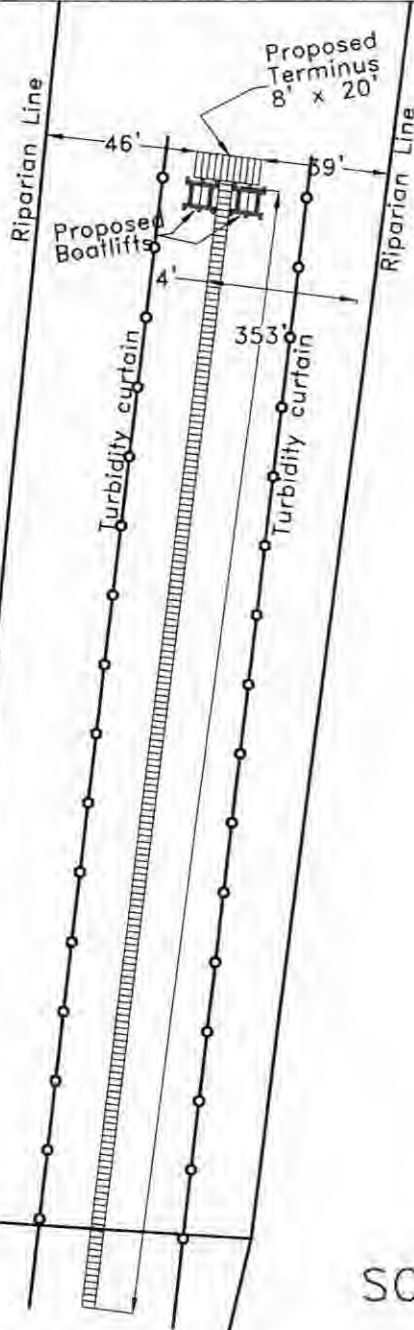
PILINGS WILL BE
PLACED A MINIMUM
OF 10' APART
PILINGS SIZE
WILL BE 6 INCHES
ANY DONUTS/HALOS
FORMED DURING LOW
PRESSURE JETTING
OF PILES WILL BE
REMOVED BY HAND
DECKING WILL BE
NO GREATER THAN
8" IN WIDTH AND NO
NO MORE THAN
1" SPACING

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: John Dowdy
WATERBODY/CLASS: Alligator Harbour
PURPOSE: Residential Dock
PROJECT LOCATION / USGS:
LATITUDE:
LONGITUDE:
SECTION: 6 TWSHP: 7 South RNG: 1 West

JOB: 19-042
DEP:
COE:
OTHER:
DATE: March 29, 2019/Revised April 22, 2019
SHEET: 3/4



PILINGS WILL BE PLACED A MINIMUM OF 10' APART
PILINGS SIZE WILL BE 6 INCHES
ANY DONUTS/HALOS FORMED DURING LOW PRESSURE JETTING OF PILES WILL BE REMOVED BY HAND
DECKING WILL BE NO GREATER THAN 8" IN WIDTH AND NO MORE THAN 1" SPACING



SCALE 1" = 60'

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: John Dowdy

WATERBODY/CLASS: Alligator Harbour

PURPOSE: Residential Dock

PROJECT LOCATION / USGS:

LATITUDE:

LONGITUDE:

SECTION: 6 TOWNSHIP: 7 South RANG: 1 West

JOB: 19-042

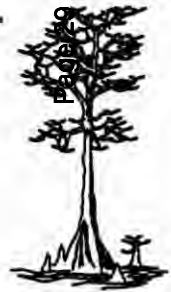
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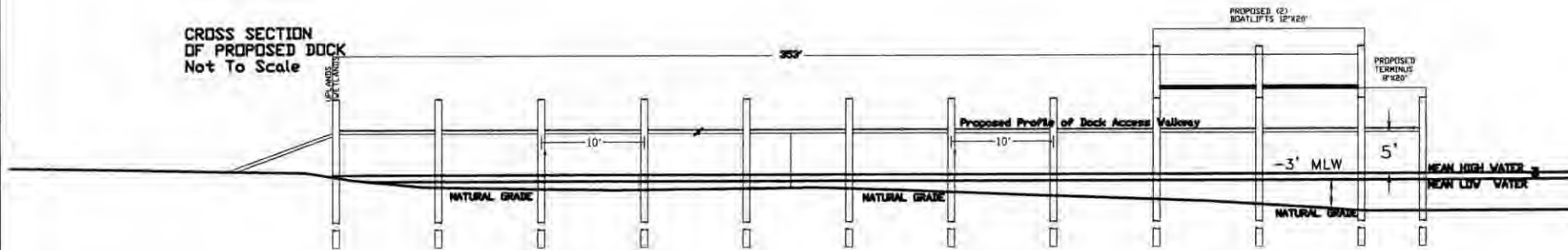
OTHER:

DATE: March 29, 2019

SHEET: 4/4



CROSS SECTION
OF PROPOSED DOCK
Not To Scale



These drawings are for
permitting purposes
only. Not intended for
construction purposes

Prepared by and Return to:
Rayboun Mulligan, PLLC
Michael C. Rayboun
105 West Fifth Avenue
Tallahassee, Florida 32303

Franklin County Tax I.D. No.
0607501W1642000L0094

Inst: 201719003034 Date: 06/14/2017 Time: 2:56PM
Page 1 of 1 B: 1195 P: 34, Marcia Johnson, Clerk of Court
Franklin, County, By: SM Deputy Clerk
Doc Stamp-Deed: 2660.00

STATE OF FLORIDA)
COUNTY OF FRANKLIN)

WARRANTY DEED

THIS INDENTURE, made this 13th day of June, 2017, between Moon In My Pocket, LLC, a Florida limited liability company, "Grantor," having its principal place of business at 1624 Village Square Boulevard, Tallahassee, FL 32309, and The John Adams Dowdy, III Living Trust Agreement dated March 25, 2014, as amended, "Grantee,"

WITNESSETH:

Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, aliens, remises, releases, conveys and confirms unto Grantee and its heirs, assigns, and beneficiaries, the following described property located in Franklin County, Florida, to wit:

Lot 4, A Subdivision of Lot 9, Block L' of Peninsular Point-Unit No.2, according to the map or plat thereof, as recorded in Plat Book 1, Page(s) 23, of the Public Records of Franklin County, Florida

Together with that Pedestrian Grant of Easement, as recorded and set forth in Book 1094, Page 530 of the Public Records of Franklin County, Florida.

Subject, however, to all covenants, conditions, restrictions, reservations, limitations, easements and to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any.

TOGETHER with all the tenements, hereditaments, and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND Grantor hereby covenants with Grantee that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land; that it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under Grantor and that neither it nor any of its members or spouses thereof have ever considered or used this Property as its/their homestead property..

IN WITNESS WHEREOF, Grantor has signed and sealed these present (the date set forth on this 13th day of June, 2017.

Signed, sealed and delivered
in the presence of:

MOON IN MY POCKET, LLC
a Florida Limited Liability Company

Michael C. Rayboun
Witness signature

By: Kathryn G. Bell
Print Name: Kathryn G. Bell
Title: Its Authorized and Managing Member

Michael Rayboun
Print witness name

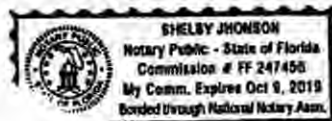
Shelby Johnson
Witness signature

Shelby Johnson
Print witness name

STATE OF FLORIDA
COUNTY OF LEON

THE FOREGOING INSTRUMENT was acknowledged before me this 13th day of June, 2017 by Kathryn G. Bell as the Authorized and Managing Member of Moon In My Pocket, LLC, a Florida limited liability company, who has produced a Florida Driver's License as identification.

Shelby Johnson
Notary Public





Owner



- Legend**
- Parcels
 - Roads
 - City Labels

Parcel ID	06-07S-01W-1042-000L-0094	Alternate ID	01W075061042000L0094	Owner Address	THE JOHN ADAMS DOWDY III
Sec/Twp/Rng	6-7S-1W	Class	SINGLE FAM		LIVING TRUST
Property Address	1472 ALLIGATOR DR	Acreege	0.601		2035 CHIMNEY SWIFT HOLLOW
	ALLIGATOR POINT				TALLAHASSEE, FL 32312
District	7				
Brief Tax Description	UNIT 2 LOT 4 OF LOT 9 BL				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 3/27/2019
 Last Data Uploaded: 3/27/2019 7:08:45 AM

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 GEOSPATIAL

Parcel Summary

Parcel ID 06-075-01W-1042-000L-0094
Location Address 1472 ALLIGATOR DR
 ALLIGATOR POINT 32346
Brief Tax Description* UNIT 2 LOT 4 OF LOT 9 BLL PENN POINT SUB OR/136/53-54 446/179 1094/526 1158/354 1195/34
*The Description above is not to be used on legal documents.
Property Use Code SINGLE FAM (000100)
Sec/Twp/Rng 6-75-1W
Tax District Alligator Point (District 7)
Millage Rate 14.2987
Acreage 0.601
Homestead N

[View Map](#)
Owner Information

Primary Owner
 The John Adams Dowdy III
 Living Trust
 2035 Chimney Swift Hollow
 Tallahassee, FL 32312

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
011103	APT BAY FRONT	26,190.00	SF	90	291

Residential Buildings

Building 1
Type SINGLE FAM
Total Area 3,834
Heated Area 2,560
Exterior Walls AVERAGE
Roof Cover TIN ROOF
Interior Walls PLYWOOD
Frame Type N/A
Floor Cover CARPET
Heat AIR DUCTED
Air Conditioning CENTRAL
Bathrooms 2
Bedrooms 3
Stories 0
Effective Year Built 1978

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0300	STEPS	1	0 x 0 x 0	77	SF	1978
0610	SHED WD	1	13 x 20 x 0	260	SF	1978
0320	CONCRETE	1	48 x 3 x 0	144	SF	2002
0080	DECK	1	15 x 14 x 0	210	UT	1982
0080	DECK	1	12 x 8 x 0	96	UT	1982
0080	DECK	1	0 x 0 x 0	102	UT	0
0340	SHOWER	1	0 x 0 x 0	20	UT	0
0220	JACUZZI BELOW AVERAG	1	0 x 0 x 0	1	UT	0
0170	FPLC BELOW AVERAGE	1	0 x 0 x 0	1	UT	0

Sales

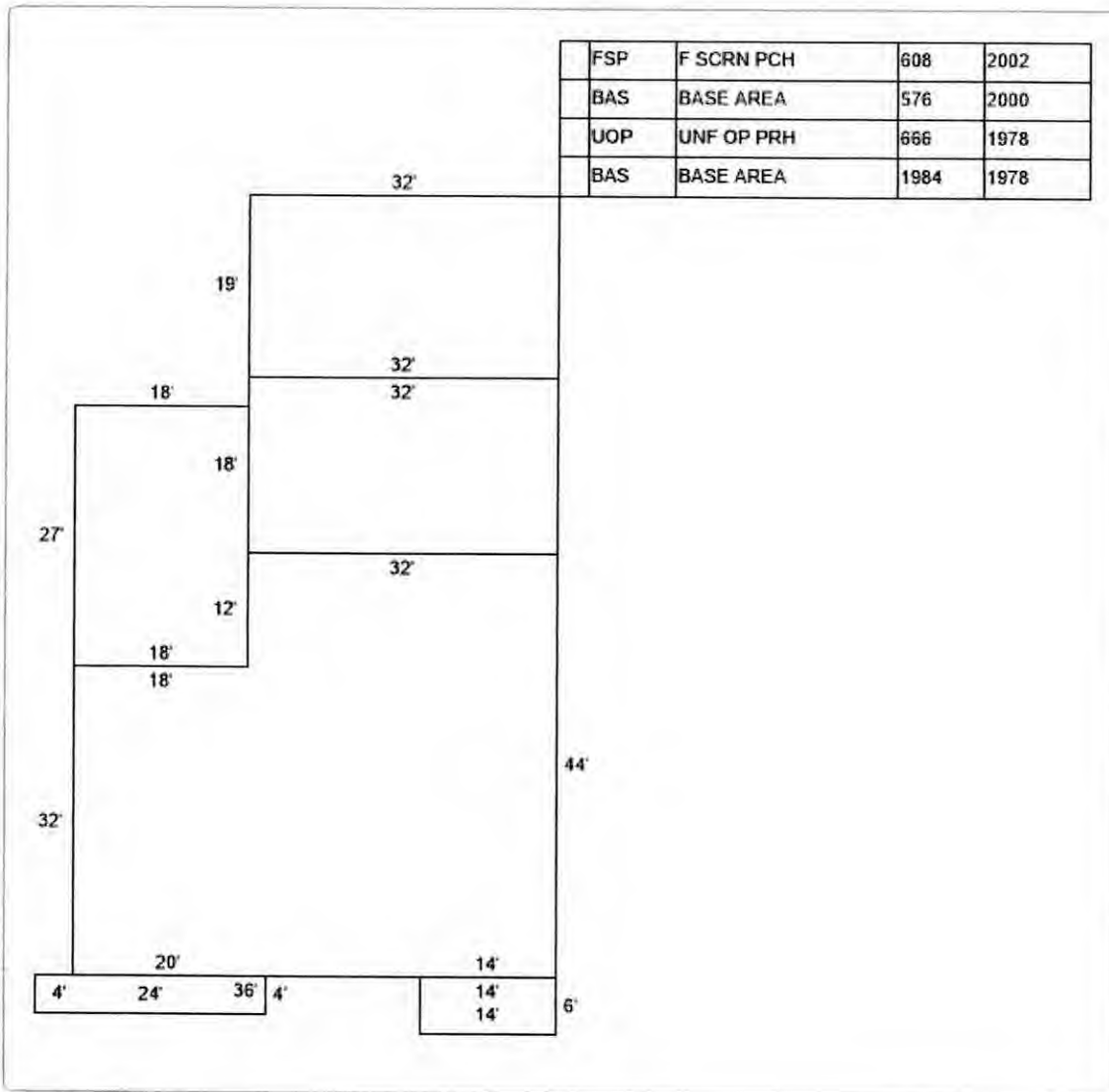
Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	06/13/2017	\$380,000	WD	1195	34	Qualified (Q)	Improved	MOON IN MY POCKET, LLC	THE JOHN ADAMS DOWDY, III
N	12/01/2015	\$100	PR	1158	354	Unqualified (U)	Improved	MOON IN MY POCKET, LLC (CONTRACT FOR DEED)	MOON IN MY POCKET, LLC
N	03/08/2013	\$365,200	AD	1094	526	Unqualified (U)	Improved	COLONEY	MOON IN MY POCKET, LLC (CONTRACT FOR DEED)
N	03/25/1994	\$30,000	WD	446	179	Unqualified (U)	Improved	COLONEY	COLONEY

Valuation

	2018 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$129,594	\$127,769	\$129,594	\$131,420	\$131,420
Extra Features Value	\$7,933	\$7,933	\$7,933	\$7,933	\$7,933
Land Value	\$209,520	\$209,520	\$209,520	\$183,330	\$150,592
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$347,047	\$345,222	\$347,047	\$322,683	\$289,945
Assessed Value	\$347,047	\$345,222	\$347,047	\$318,940	\$289,945
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$347,047	\$345,222	\$347,047	\$318,940	\$289,945
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$3,743	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Sketches



No data available for the following modules: Commercial Buildings.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

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 Schneider
 GEOSPATIAL

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Version 2.2.7

Adjacent Neighbor



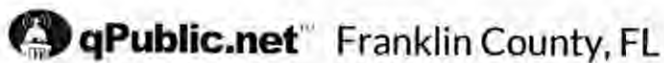
- Legend**
- Parcels
 - Roads
 - City Labels

Parcel ID	06-075-01W-1042-000L-0095	Alternate ID	01W075061042000L0095	Owner Address	REGISTER CHRISTOPHER R, ETAL
Sec/Twp/Rng	6-7S-1W	Class	VACANT		AS TENANTS IN COMMON
Property Address	1470 ALLIGATOR DR	Acreage	0.568		5550 SPRINGHILL ROAD
					TALLAHASSEE, FL 32305

District 7
 Brief Tax Description UNIT 2 LOT 5 OF LOT 9 BL "L"
 (Note: Not to be used on legal documents)

Date created: 4/3/2019
 Last Data Uploaded: 4/3/2019 6:56:13AM

Developed by  **Schneider**
 GEOSPATIAL



Parcel Summary

Parcel ID 06-075-01W-1042-000L-0095
 Location Address 1470 ALLIGATOR DR
 32346
 Brief Tax Description* UNIT 2 LOT 5 OF LOT 9 BL "L" PENN POINT 153/183 446/182 612/490 1215/369
 *The Description above is not to be used on legal documents.
 Property Use Code VACANT (000000)
 Sec/Twp/Rng 6-75-1W
 Tax District Alligator Point (District 7)
 Millage Rate 14.2987
 Acreage 0.568
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Register Christopher R, Etal
 As Tenants IN Common
 5550 Springhill Road
 Tallahassee, FL 32305

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
Q11103	APT BAY FRONT	24,750.00	SF	90	275

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	04/06/2018	\$169,000	WD	1215	369	Qualified (Q)	Vacant	BELL JOHN & KATHRYN	REGISTER/REGISTER/REGISTER
N	02/26/1999	\$70,000	WD	612	490	Unqualified (U)	Vacant	MINARDI MARY A	BELL JOHN & KATHRYN
N	03/25/1994	\$10,000	WD	446	182	Unqualified (U)	Vacant	COLONEY	MINARDI

Valuation

	2018 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$226,800	\$198,000	\$226,800	\$198,000	\$164,250
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$226,800	\$198,000	\$226,800	\$198,000	\$164,250
Assessed Value	\$218,617	\$198,000	\$198,743	\$180,675	\$164,250
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$218,617	\$198,000	\$198,743	\$180,675	\$164,250
Maximum Save Our Homes Portability	\$8,183	\$0	\$28,057	\$17,325	\$0

Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

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Last Data Upload: 4/3/2019 6:56:13 AM

Version 2.2.9



Adjacent Neighbor



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	06-075-01W-1042-000L-0093	Alternate ID	01W075061042000L0093	Owner Address	AGER ALLISON V AS TRUSTEE & REYES ROBERT AS JOINT TENANTS W/R/O/S 600 WILSON AVE TALLAHASSEE, FL 32303
Sec/Twp/Rng	6-7S-1W	Class	SINGLE FAM		
Property Address	1474 ALLIGATOR DR ALLIGATOR POINT	Acreage	0.535		
District	7				
Brief Tax Description	UNIT 2 BL L LOT 3 OF LOT 9				

(Note: Not to be used on legal documents)

Date created: 4/3/2019
Last Data Uploaded: 4/3/2019 6:56:13 AM

Developed by  **Schneider**
GEOSPATIAL



Parcel Summary

Parcel ID 06-075-01W-1042-000L-0093
Location Address 1474 ALLIGATOR DR
 ALLIGATOR POINT 32346
Brief Tax Description* UNIT 2 BL L LOT 3 OF LOT 9 SUB PENN POINT OR/107/523 OR/114/483 OR/142/560 OR/145/599 OR/446/166 740/229 1043/498 1171/384
*The Description above is not to be used on legal documents.
Property Use Code SINGLE FAM (000100)
Sec/Twp/Rng 6-7S-1W
Tax District Alligator Point (District 7)
Millage Rate 14.2987
Acreage 0.535
Homestead N

[View Map](#)

Owner Information

Primary Owner
 Ager Allison V As Trustee &
 Reyes Robert As Joint
 Tenants W/R/O/S
 600 Wilson Ave
 Tallahassee, FL 32303

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
011103	APT BAY FRONT	23,310.00	SF	90	259

Residential Buildings

Building 1
Type SINGLE FAM
Total Area 1,539
Heated Area 1,035
Exterior Walls MINIMUM
Roof Cover MODULAR MT
Interior Walls PLYWOOD
Frame Type N/A
Floor Cover PINE WOOD
Heat AIR DUCTED
Air Conditioning CENTRAL
Bathrooms 0
Bedrooms 0
Stories 0
Effective Year Built 1978

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0490	GAZEBO	1	0 x 0 x 0	30	UT	0
0300	STEPS	1	0 x 0 x 0	55	UT	0
0410	WD FENCE	1	0 x 0 x 0	169	UT	0

Sales

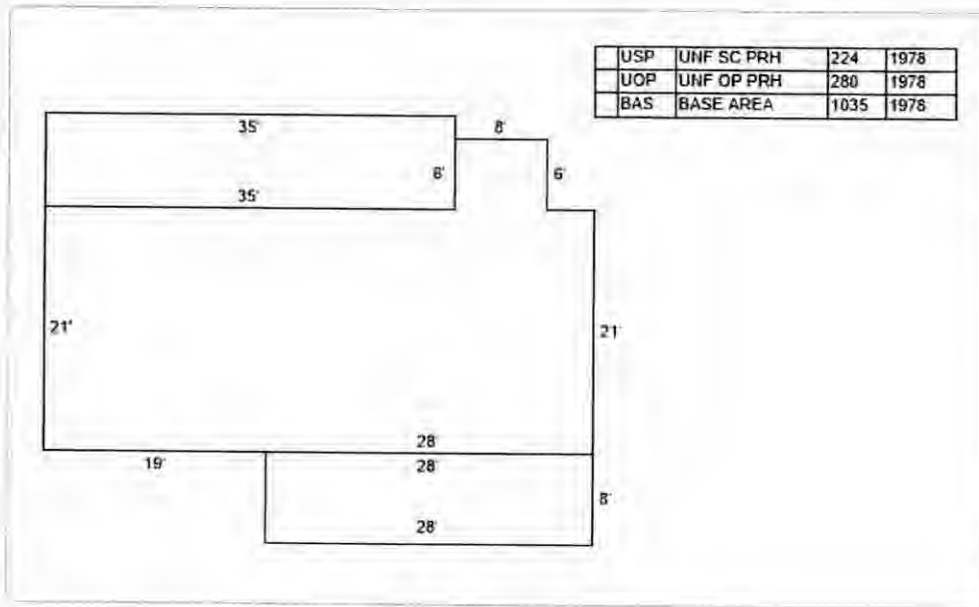
Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	06/27/2016	\$225,000	WD	1171	384	Qualified (Q)	Improved	DECKER	AGER AS TRUSTEE/REYES
N	08/17/2011	\$225,000	WD	1043	498	Qualified (Q)	Improved	FOWLER	DECKER
N	06/04/2003	\$100	WD	740	229	Unqualified (U)	Improved	FOWLER	FOWLER
N	03/25/1994	\$90,500	WD	446	166	Qualified (Q)	Improved	COLONEY	FOWLER
N	09/01/1977	\$34,500	WD	145	599	Unqualified (U)	Improved		

Valuation

	2018 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$23,859	\$23,277	\$23,859	\$24,106	\$24,106
Extra Features Value	\$744	\$744	\$744	\$744	\$744
Land Value	\$186,480	\$186,480	\$186,480	\$163,170	\$134,032
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$211,083	\$210,501	\$211,083	\$188,020	\$158,882
Assessed Value	\$211,083	\$210,501	\$211,083	\$159,994	\$158,882
Exempt Value	\$0	\$0	\$0	\$50,000	\$50,000
Taxable Value	\$211,083	\$210,501	\$211,083	\$109,994	\$108,882
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$28,026	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Sketches



No data available for the following modules: Commercial Buildings.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

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Version 2.2.9





GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS • CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE MARINA, DOCK, AND SUBDIVISION DESIGN

April 24, 2019

Ms Amy Ham
Franklin County Planning & Zoning
33 Commerce Street
Apalachicola, FL 32320

Re: May Planning & Zoning Agenda
GEA File No. 19-00
Dowdy

Dear Ms. Cruson:


By this letter, we are requesting the referenced project be placed on the May 14, 2019 Planning and Zoning agenda. The project site is located at 1472 Alligator Drive, Alligator Point. The parcel number of the project site is 06-07S-01W-1042-000L-0094.

The project consists of construction a Single Family Residential Dock with an access walkway 353 ft. in length and 4 ft in width for a total square footage of 1412 square feet. The terminus will be constructed 8 ft. in width and 20 ft. in length for a total square footage of 160 sq. ft. The total square footage of proposed dock and terminus is 1572 sq. ft. Two (2) boat lift will also be constructed 12 ft. in width and 20 ft. in length. Turbidity curtains will be placed around the area of the proposed work and will remain in place until turbidity is well within the limits of the State Water Quality Standards.

The vessel that will moor at the proposed dock will be a 12 ft by 20 ft open water recreational vessel and will not draft more than 12 inches

If you have any questions, please let us know.

Sincerely,



Dan Garlick, President, P.W.S.
Garlick Environmental Associates, Inc.

Attachments



FLORIDA DEPARTMENT OF Environmental Protection

Northwest District
160 W. Government Street, Suite 308
Pensacola, FL 32502

Ron DeSantis
Governor

Jeanette Núñez
Lt. Governor

Noah Valenstein
Secretary

May 8, 2019

John Dowdy
2035 Chimney Swift Hollow
Tallahassee, Florida 32312
Jad.dowdy@gmail.com

File No.: 0375027-001-EG-19, Franklin County

Dear Mr. Dowdy:

On April 5, 2019, we received your notice of intent to use a General Permit (GP) pursuant to Rule 62-330.427, Florida Administrative Code (F.A.C.) to construct a single-family dock with two uncovered boatlifts within the Alligator Harbor Aquatic Preserve, Class II Outstanding Florida Waters, Prohibited Shellfish Harvesting Area. The project is located at 1472 Alligator Dr, Alligator Point, Florida 32346, Parcel No. C29-000-345-8457-3, in Section 1, Township 7 South, Range 2 West of Franklin County; at approximately 29°53'57.00" North Latitude, 84°23'29.22" West Longitude.

Your intent to use a general permit has been reviewed by Department staff for three types of authorization: (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully.

Your project qualifies for all three authorizations. However, this letter does not relieve you from the responsibility of obtaining other federal, state, or local authorizations that may be required for the activity.

If you change the project from what you submitted, the authorization(s) granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

1. Regulatory Review – Approved

Based on the forms, drawings, and documents revised with your notice, it appears that the project meets the requirements for the General Permit under Rule 62-330.427, F.A.C. Any activities performed under a general permit are subject to general conditions required in Rule 62-330.405, F.A.C. (attached) and the specific conditions of Rule 62-330.427, F.A.C. (attached). Any deviations from these conditions may subject the permittee to enforcement action and possible penalties.

Please be advised that the construction phase of the GP must be completed within five years from the date the notice to use the GP was received by the Department. If you wish to continue

this GP beyond the expiration date, you must notify the Department at least 30 days before its expiration.

Authority for review – Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, F.A.C., and in accordance with the operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

2. **Proprietary Review – Granted**

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review activities on sovereign submerged lands under Chapters 253 and 258, F.S. and Chapters 18-20 and 18-21, F.A.C.

The activity appears to be located on sovereign submerged lands owned by the Board of Trustees. The activity is not exempt from the need to obtain the applicable proprietary authorization. As staff to the Board of Trustees, the Department has reviewed the activity described above and has determined that the activity qualifies for a Letter of Consent under Section 253.77, F.S. to construct and use the activity on the specified sovereign submerged lands, as long as the work performed is located within the boundaries as described herein and is consistent with the terms and conditions herein.

During the term of this Letter of Consent you shall maintain satisfactory evidence of sufficient upland interest as required by paragraph 18-21.004(3)(b), F.A.C. If such interest is terminated or the Board of Trustees determines that such interest did not exist on the date of issuance of this Letter of Consent, this Letter of Consent may be terminated by the Board of Trustees at its sole option. If the Board of Trustees terminates this Letter of Consent, you agree not to assert a claim or defense against the Board of Trustees arising out of this Letter of Consent.

Please be advised that any use of sovereign submerged lands without specific prior authorization from the Board of Trustees will be considered a violation of Chapter 253, F.S. and may subject the affected upland riparian property owners to legal action as well as potential fines for the prior unauthorized use of sovereign land.

Authority for review – Chapters 253 and 258, F.S., Chapters 18-20 and 18-21, F.A.C., and Section 62-330.075, F.A.C., as required.

3. **Federal Review – SPGP Approved**

Your proposed activity as outlined in your application and attached drawings qualifies for Federal authorization pursuant to the State Programmatic General Permit V-R1, and a **SEPARATE permit or authorization will not be required** from the Corps. Please note that the Federal authorization expires on July 26, 2021. However, your authorization may remain in effect for up to 1 additional year, if provisions of Special Condition 19 of the SPGP V-R1 permit instrument are met. You, as permittee, are required to adhere to all General Conditions and Special Conditions that may apply to your project. Special conditions required for your project are attached. A copy of the SPGP V-R1 with all terms and conditions and the General Conditions may be found at <https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

Authority for review - an agreement with the USACOE entitled "Coordination Agreement Between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection (or Duly Authorized Designee), State Programmatic General Permit," Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

Additional Information

Please retain this general permit. The activities may be inspected by authorized state personnel in the future to ensure compliance with appropriate statutes and administrative codes. If the activities are not in compliance, you may be subject to penalties under Chapter 373, F.S. and Chapter 18-14, F.A.C.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S. before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because the administrative hearing process is designed to formulate final agency action, the hearing process may result in a modification of the agency action or even denial of the application.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-

3000, or via electronic correspondence at Agency_Clerk@FloridaDEP.gov. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S. or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C.

The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C. If you do not publish notice of this action, this waiver will not apply to persons who have not received written notice of this action.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@FloridaDEP.gov, before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

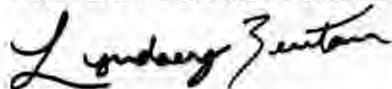
Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S. by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

If you have any questions regarding this matter, please contact Lyndsey Benton at the letterhead address, at (850)595-0603, or at Lyndsey.Benton@FloridaDEP.gov.

EXECUTION AND CLERKING

Executed in Orlando, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



Lyndsey Benton
Environmental Specialist
Submerged Lands and Environmental Resources Program

Attachments:

- 1. Rule 62-330.427, F.A.C., 2 pages
- 2. General Conditions for All General Permits, Rule 62-330.405, F.A.C., 3 pages
- 3. General Consent Conditions for Use of Sovereignty Submerged Lands, 2 pages
- 4. Special Conditions for Federal Authorization for SPGP V-R1, 7 pages
- 5. General Conditions for Federal Authorization for SPGP V-R1, 2 pages
- 6. Standard Manatee Conditions for In-Water Work, 2 pages
- 7. Project Drawings, 4 pages

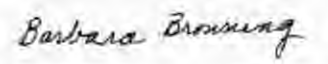
CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this document and all attachments were sent on the filing date below to the following listed persons:

Dan Garlick, dan@garlickenv.com
Jonathan Brucker, AP Manager, jonathan.brucker@floridadep.gov
Franklin County, michael@franklincountyflorida.com

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to Section 120.52, F.S., with the designated Department Clerk, receipt of which is hereby acknowledged.


Clerk May 8, 2019
Date

62-330.427 General Permit for Docks, Piers and Associated Structures.

(1) A general permit is granted to any person to construct, extend, or remove a dock or pier and associated structures as described below:

(a) A private, single-family pier or dock with up to two boat lifts that, together with all existing structures on the shoreline of the property, does not exceed a total area of 2,000 square feet over surface waters. Such a structure:

1. Shall not accommodate the mooring of more than two vessels, either in the water or on a boat lift. Solely for purposes of this general permit, up to two personal watercraft as defined in section 327.02(33), F.S., may be moored in lieu of either or both allowable vessels of another type.

These limits shall not apply to the mooring, storage or other use of the dock or pier by:

a. Non-motor-powered vessels less than 16 feet in length that are stored on or under the dock or pier, or within an authorized mooring area; or

b. Personal watercraft, dinghies or similar small vessels that are stowed out of the water, upon a larger parent vessel that is moored at the dock in compliance with this general permit.

2. Shall be located such that all areas used for vessel mooring and navigational access already provide a minimum depth of two feet below the mean low water level for tidal waters, or two feet below the expected average low water depth for non-tidal waters as determined based on best available information for the water body at the project location; and

3. May include a roof over the vessel mooring areas, boat lifts, and terminal platform, or any portions thereof, subject to the applicable provisions of chapters 253 and 258, F.S., and the rules adopted thereunder. Portions of such roofs that overhang beyond the edge of decked portions of the pier or dock shall be included in the calculation of the total square footage of over-water structure allowed under paragraph (1)(a), above.

(b) A public fishing pier that does not exceed a total area of 2,000 square feet provided the structure is designed and built to discourage boat mooring by elevating the fishing pier to a minimum height of five feet above mean high water or ordinary high water, surrounding the pier with handrails, and installing and maintaining signs that state "No Boat Mooring Allowed."

(2) This general permit shall be subject to the following specific conditions:

(a) Construction or extension of the boat lift, boat mooring locations, or terminal platform, shall not occur over submerged grassbeds, coral communities or wetlands. However, the access walkway portion of the pier may traverse these resources provided it is elevated a minimum of five feet above mean high water or ordinary high water, contains handrails that are maintained in such a manner as to prevent use of the access walkways for boat mooring or access, and does not exceed a width of six feet, or a width of four feet in Aquatic Preserves;

(b) There shall be no structures enclosed by walls, screens, or doors on any side;

(c) The dock or pier will not facilitate vessel rentals, charters, or serve any other commercial purpose;

(d) There shall be no fish cleaning facilities, boat repair facilities or equipment, or fueling facilities on the structures authorized by this general permit. In addition, no overboard discharges of trash, human or animal waste, or fuel shall occur from any structures authorized by this general permit;

(e) This general permit shall not authorize the construction or extension of more than one dock or pier per parcel of land or individual lot. For the purposes of this general permit, multi-family living complexes shall be treated as one parcel of property regardless of the legal division of ownership or control of the associated property; and

(f) Notwithstanding any other provisions of this general permit, the design, construction and operation of the dock or pier and associated vessels shall not conflict with any manatee protection plan approved and adopted under section 379.2431(2)(t), F.S.

Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.418, 403.805(1) FS. Law Implemented 373.118(1), 373.406(5), 373.413, 373.4131, 373.414(9), 373.416, 373.418, 373.426, 403.814(1) FS. History—New 10-3-95, Formerly 62-341.427, Amended 10-1-13, 6-1-18.

62-330.405 General Conditions for All General Permits.

The following general permit conditions are binding upon the permittee and are enforceable under chapter 373, F.S. These conditions do not apply to the general permit for stormwater management systems under section 403.814(12), F.S.

- (1) The general permit is valid only for the specific activity indicated. Any deviation from the specified activity and the conditions for undertaking that activity shall constitute a violation of the permit and may subject the permittee to enforcement action and revocation of the permit under chapter 373, F.S.
- (2) The general permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any construction, alteration, operation, maintenance, removal or abandonment authorized by this permit; and it does not authorize any violation of any other applicable federal, state, local, or special district laws (including, but not limited to, those governing the "take" of listed species).
- (3) The general permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the general permit.
- (4) The general permit does not relieve the permittee from liability and penalties when the permitted activity causes harm or injury to: human health or welfare; animal, plant or aquatic life; or property. It does not allow the permittee to cause pollution that violates state water quality standards.
- (5) Section 253.77, F.S., provides that a person may not commence any excavation, construction, or other activity involving the use of state-owned or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required consent, lease, easement, or other form of authorization authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on state-owned lands.
- (6) The authorization to conduct activities under a general permit may be modified, suspended or revoked in accordance with chapter 120, F.S., and section 373.429, F.S.
- (7) The general permit is not transferable to a new third party. To be used by a different permittee, a new notice to use a general permit must be submitted in accordance with rule 62-330.402, F.A.C. Activities constructed in accordance with the terms and conditions of a general permit are automatically authorized to be operated and maintained by the permittee and subsequent owners in accordance with subsection 62-330.340(1), F.A.C. Any person holding the general permit, persons working under the general permit, and owners of land while work is conducted under the general permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to sale, conveyance, or other transfer of ownership or control of the permitted project, activity, or the real property at which the permitted project or activity is located.
- (8) Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the permitted system to ensure conformity with the plans and specifications approved by the general permit.
- (9) The permittee shall maintain any permitted project or activity in accordance with the plans submitted to the Agency and authorized in the general permit.
- (10) A permittee's right to conduct a specific activity under the general permit is authorized for a duration of five years.

(11) Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be implemented and maintained immediately prior to, during, and after construction as needed to stabilize all disturbed areas, including other measures specified in the permit to prevent adverse impacts to the water resources and adjacent lands. Erosion and sediment control measures shall be installed and maintained in accordance with the *State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation, June 2007)*, available at <https://www.flrules.org/Gateway/reference.asp?No=Ref-04227>, and the *Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008)*, available at http://publicfiles.dep.state.fl.us/DEAR/Stormwater_Training_Docs/erosion-inspectors-manual.pdf.

(12) Unless otherwise specified in the general permit, temporary vehicular access within wetlands during construction shall be performed using vehicles generating minimum ground pressure to minimize rutting and other environmental impacts. Within forested wetlands, the permittee shall choose alignments that minimize the destruction of mature wetland trees to the greatest extent practicable. When needed to prevent rutting or soil compaction, access vehicles shall be operated on wooden, composite, metal, or other non-earthen construction mats. In all cases, access in wetlands shall comply with the following:

- (a) Access within forested wetlands shall not include the cutting or clearing of any native wetland tree having a diameter four inches or greater at breast height;
- (b) The maximum width of the construction access area shall be limited to 15 feet;
- (c) All mats shall be removed as soon as practicable after equipment has completed passage through, or work has been completed, at any location along the alignment of the project, but in no case longer than seven days after equipment has completed work or passage through that location; and
- (d) Areas disturbed for access shall be restored to natural grades immediately after the maintenance or repair is completed.

(13) Barges or other work vessels used to conduct in-water activities shall be operated in a manner that prevents unauthorized dredging, water quality violations, and damage to submerged aquatic communities.

(14) The construction, alteration, or use of the authorized project shall not adversely impede navigation or create a navigational hazard in the water body.

(15) Except where specifically authorized in the general permit, activities must not:

- (a) Impound or obstruct existing water flow, cause adverse impacts to existing surface water storage and conveyance capabilities, or otherwise cause adverse water quantity or flooding impacts to receiving water and adjacent lands; or
- (b) Cause an adverse impact to the maintenance of surface or ground water levels or surface water flows established pursuant to section 373.042, F.S., or a Works of the District established pursuant to section 373.086, F.S.

(16) If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The permittee or other designee

shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850)245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with section 872.05, F.S.

(17) The activity must be capable, based on generally accepted engineering and scientific principles, of being performed and of functioning as proposed, and must comply with any applicable District special basin and geographic area criteria.

(18) The permittee shall comply with the following when performing work within waters accessible to federally- or state-listed aquatic species, such as manatees, marine turtles, smalltooth sawfish, and Gulf sturgeon:

(a) All vessels associated with the project shall operate at "Idle Speed/No Wake" at all times while in the work area and where the draft of the vessels provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.

(b) All deployed siltation or turbidity barriers shall be properly secured, monitored, and maintained to prevent entanglement or entrapment of listed species.

(c) All in-water activities, including vessel operation, must be shut down if a listed species comes within 50 feet of the work area. Activities shall not resume until the animal(s) has moved beyond a 50-foot radius of the in-water work, or until 30 minutes elapses since the last sighting within 50 feet. Animals must not be herded away or harassed into leaving. All onsite project personnel are responsible for observing water-related activities for the presence of listed species.

(d) Any listed species that is killed or injured by work associated with activities performed shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1(888)404-3922 and ImperiledSpecies@myFWC.com.

(e) Whenever there is a spill or frac-out of drilling fluid into waters accessible to the above species during a directional drilling operation, the FWC shall be notified at ImperiledSpecies@myfwc.com with details of the event within 24 hours following detection of the spill or frac-out.

(19) The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any activity authorized by the general permit.

(20) The permittee shall immediately notify the Agency in writing of any submitted information that is discovered to be inaccurate.

Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.4145, 373.418, 403.805(1) FS, Law Implemented 373.044, 373.118(1), 373.129, 373.136, 373.406(5), 373.413, 373.4131, 373.414(9), 373.4145, 373.416, 373.422, 373.423, 373.429, 403.814(1) FS. History—New 10-3-95, Amended 10-1-07, Formerly 62-341.215, Amended 10-1-13, 6-1-18.

Special Consent Conditions

1. The applicant agrees to indemnify, defend and hold harmless the Board of Trustees and the State of Florida from all claims, actions, lawsuits and demands in any form arising out of the authorization to use sovereignty submerged lands or the applicant's use and construction of structures on sovereignty submerged lands. This duty to indemnify and hold harmless will include any and all liabilities that are associated with the structure or activity including special assessments or taxes that are now or in the future assessed against the structure or activity during the period of the authorization.

2. Failure by the Board of Trustees to enforce any violation of a provision of the authorization or waiver by the Board of Trustees of any provision of the authorization will not invalidate the provision not enforced or waived, nor will the failure to enforce or a waiver prevent the Board of Trustees from enforcing the unenforced or waived provision in the event of a violation of that provision.

3. Applicant binds itself and its successors and assigns to abide by the provisions and conditions set forth in the authorization. If the applicant or its successors or assigns fails or refuses to comply with the provisions and conditions of the authorization, the authorization may be terminated by the Board of Trustees after written notice to the applicant or its successors or assigns. Upon receipt of such notice, the applicant or its successors or assigns will have thirty (30) days in which to correct the violations. Failure to correct the violations within this period will result in the automatic revocation of this authorization.

4. All costs incurred by the Board of Trustees in enforcing the terms and conditions of the authorization will be paid by the applicant. Any notice required by law will be made by certified mail at the address shown on page one of the authorization. The applicant will notify the Board of Trustees in writing of any change of address at least ten days before the change becomes effective.

5. This authorization does not allow any activity prohibited in a conservation easement or restrictive covenant that prohibits the activity.

General Conditions for Authorizations for Activities on State-Owned Submerged Lands:

All authorizations granted by rule or in writing under rule 18-21.005, F.A.C., except those for geophysical testing, shall be subject to the general conditions as set forth in paragraphs (a) through (j) below. The general conditions shall be part of all authorizations under this chapter, shall be binding upon the grantee, and shall be enforceable under chapter 253 or 258, part II, F.S.

(a) Authorizations are valid only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use shall constitute a violation. Violation of the authorization shall result in suspension or revocation of the grantee's use of the sovereignty submerged land unless cured to the satisfaction of the Board.

(b) Authorizations convey no title to sovereignty submerged land or water column, nor do they constitute recognition or acknowledgment of any other person's title to such land or water.

(c) Authorizations may be modified, suspended or revoked in accordance with their terms or the remedies provided in sections 253.04 and 258.46, F.S., or chapter 18-14, F.A.C.

(d) Structures or activities shall be constructed and used to avoid or minimize adverse impacts to sovereignty submerged lands and resources.

(e) Construction, use, or operation of the structure or activity shall not adversely affect any species which is endangered, threatened or of special concern, as listed in rules 68A-27.003, 68A-27.004 and 68A-27.005, F.A.C.

(f) Structures or activities shall not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity shall be modified in accordance with the court's decision.

(g) Structures or activities shall not create a navigational hazard.

(h) Activities shall not interfere with the public easement for traditional uses of the sandy beaches provided in section 161.141, F.S.

(i) Structures shall be maintained in a functional condition and shall be repaired or removed if they become dilapidated to such an extent that they are no longer functional. This shall not be construed to prohibit the repair or replacement subject to the provisions of rule 18-21.005, F.A.C., within one year, of a structure damaged in a discrete event such as a storm, flood, accident, or fire.

(j) Structures or activities shall be constructed, operated, and maintained solely for water dependent purposes, or for non-water dependent activities authorized under paragraph 18-21.004(1)(g), F.A.C., or any other applicable law.

Rulemaking Authority 253.03(7), 253.73 FS. Law Implemented 253.001, 253.03, 253.141, 253.0347, 253.665, 253.71, 253.68, 253.72, 253.74, 253.75, 253.77 FS. History—New 3-27-82,

Amended 8-1-83, Formerly 16Q-21.04, 16Q-21.004, Amended 12-25-86, 1-25-87, 3-15-90, 8-18-92, 10-15-98, 12-11-01, 10-29-03, 12-16-03, 3-8-04, 10-27-05, 4-14-08, 9-1-09, 3-21-19.

Special Conditions for Federal Authorization for SPGP V-R1

Note: JAXBO (Jacksonville District's Programmatic Biological Opinion), referenced throughout, may be found online in the Jacksonville District Regulatory Division Sourcebook, or at <http://edml6021.contentdm.oclc.org/utils/getfile/collection/p16021col3/id/577>.

The SPGP V-R1 instrument and all attachments may be found online through the Sourcebook, or at <https://www.saj.usace.army.mil/SPGP/>

In addition to the conditions specified above, the following Special Conditions apply to all projects reviewed and/or authorized under the SPGP V-R1.

Special Conditions for All Projects

1. Authorization, design and construction must adhere to the terms of the SPGP V-R1 instrument including the Procedure and Work Authorized sections.
2. Design and construction must adhere to the PDCs for In-Water Activities (Attachment 6, from PDCs AP.7 through AP.11, inclusive, of JAXBO) (Reference: JAXBO PDC AP.1.).
3. All activities performed during daylight hours (Reference: JAXBO PDC AP.6.).
4. For all projects involving the installation of piles or sheet piles, the maximum number of piles, sheet piles or concrete slab walls or boatlift I-beams installed by impact hammer per day is limited to no more than 5 per day. Any installation of metal pipe or metal sheet pile by impact hammer is not authorized (Reference: Categories D and E of JAXBO PDCs for In-Water Noise from Pile and Sheet Pile Installation, page 86.).
5. Projects within the boundary of the NOAA Florida Keys National Marine Sanctuary require prior approval from the Sanctuary (Reference: JAXBO PDCs AP.14 and A1.6).
6. Notifications to the Corps. For all authorizations under this SPGP V-R1, including Self-Certifications, the Permittee shall provide the following notifications to the Corps:
 - a. Commencement Notification. Within 10 days before the date of initiating the work authorized by this permit or for each phase of the authorized project, the Permittee shall provide a written notification of the date of commencement of authorized work to the Corps.
 - b. Corps Self-Certification Statement of Compliance form. Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the "Self-Certification Statement of Compliance" form (Attachment 32) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the "Self-Certification Statement of Compliance" form. The description of any deviations on the "Self-Certification Statement of Compliance" form does not constitute approval of any deviations by the Corps.
 - c. Permit Transfer. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit

will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form (Attachment 2).

d. Reporting Address. The Permittee shall submit all reports, notifications, documentation, and correspondence required by the general and special conditions of this permit to the following address.

(1) For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Enforcement Section, P.O. Box 4970, Jacksonville, FL, 32232-0019.

(2) For electronic mail: SAJ-RD-Enforcement@usace.army.mil (not to exceed 10 MB). The Permittee shall reference this permit number, SAJ- 2015-02575 on all submittals.

7. The District Engineer reserves the right to require that any request for authorization under this SPGP V-R1 be evaluated as an Individual Permit. Conformance with the terms and conditions of the SPGP V-R1 does not automatically guarantee Federal authorization.
8. On a case-by-case basis, the Corps may impose additional Special Conditions which are deemed necessary to minimize adverse environmental impacts.
9. Failure to comply with all conditions of the SPGP V-R1 constitutes a violation of the Federal authorization.
10. No structure or work shall adversely affect or disturb properties listed in the National Register of Historic Places or those eligible for inclusion in the National Register. Prior to the start of work, the Applicant/Permittee or other party on the Applicant's/Permittee's behalf, shall conduct a search of known historical properties by contracting a professional archaeologist, and contacting the Florida Master Site File at 850-245-6440 or SiteFile@dos.state.fl.us. The Applicant/Permittee can also research sites in the National Register Information System (NRIS). Information can be found at <http://www.cr.nps.gov/nri/research>.
 - a. If, during the initial ground disturbing activities and construction work, there are archaeological/cultural materials unearthed (which shall include, but not be limited to: pottery, modified shell, flora, fauna, human remains, ceramics, stone tools or metal implements, dugout canoes or any other physical remains that could be associated with Native American cultures or early colonial or American settlement), the Permittee shall immediately stop all work in the vicinity and notify the Compliance and Review staff of the State Historic Preservation Office at 850-245-6333 and the Corps Regulatory Project Manager to assess the significance of the discovery and devise appropriate actions, including salvage operations. Based on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend, or revoke the permit in accordance with 33 C.F.R. § 325.7.

- b. In the unlikely event that human remains are identified, the remains will be treated in accordance with Section 872.05, Florida Statutes; all work in the vicinity shall immediately cease and the local law authority, and the State Archaeologist (850-245-6444) and the Corps Regulatory Project Manager shall immediately be notified. Such activity shall not resume unless specifically authorized by the State Archaeologist and the Corps.
11. The Permittee is responsible for obtaining any "take" permits required under the U.S. Fish and Wildlife Service's regulations governing compliance with these laws. The Permittee should contact the appropriate local office of the U.S. Fish and Wildlife Service to determine if such "take" permits are required for a particular activity.
12. For Projects authorized under this SPGP V-R1 in navigable waters of the U.S., the Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.
13. The SPGP V-R1 will be valid through July 26, 2021 unless suspended or revoked by issuance of a public notice by the District Engineer. The Corps, in conjunction with the Federal resource agencies, will conduct periodic reviews to ensure that continuation of the permit during the period ending July 26, 2021, is not contrary to the public interest. The SPGP V-R1 will not be extended beyond July 26, 2021, but may be replaced by a new SPGP. If revocation occurs, all future applications for activities covered by the SPGP V-R1 will be evaluated by the Corps.
14. If the SPGP V-R1 expires, is revoked, or is terminated prior to completion of the authorized work, authorization of activities which have commenced or are under contract to commence in reliance upon the SPGP V-R1 will remain in effect provided the activity is completed within 12 months of the date the SPGP V-R1 expired or was revoked.

Special Conditions for Docks, Piers, Associated Facilities, and other Minor Piling-Supported Structures

1. For temporary structures associated with marine events. Upon completion of the event, these structures must be removed and, to the maximum extent practical, the site must be restored to pre-construction elevations. Water depths in the area of marine events must be deep enough to support at least 5 ft of water depth under the keel of a vessel and between the keel of a vessel and Endangered Species Act listed coral colonies, if present, when transiting to the mooring areas (Reference: JAXBO PDC A2.1.4.).

2. Educational Signs. For commercial, multi-family, or public facilities, and marine events, signs must be posted as described below (Reference: These replicate JAXBO PDCs A.2.2 and A.2.2.1 to A.2.2.3., inclusive, within the table PDCs Specific to Activity 2 - Pile Supported Structures and Anchored Buoys, starting on page 112.):
 - a. (A2.2.) For commercial, multi-family, or public facilities, and marine events, signs must be posted in a visible location(s), alerting users of listed species in the area susceptible to vessel strikes and hook-and-line captures. The most current version of the signs that must be downloaded and sign installation guidance are available at: (http://sero.nmfs.noaa.gov/protected_resources/section_7/protected_species_educational_signs/index.html). The signs required to be posted by area are stated below:
 - (1) (A2.2.1.) All projects in Florida shall use the Save Sea Turtle, Sawfish, and Dolphin sign. These signs shall include contact information to the sea turtle and marine mammal stranding networks and smalltooth sawfish encounter database.
 - (2) (A2.2.2.) Projects within the North Atlantic right whale educational sign zone shall post the Help Protect North Atlantic Right Whales sign.
 - (3) (A2.2.3.) On the east coast of Florida, projects located within the St. Johns River and those occurring north of the St. Johns River to the Florida-Georgia line shall post the Report Sturgeon sign. On the west coast of Florida, projects occurring from the Cedar Key, Florida north to the Florida-Alabama line.
3. Monofilament Recycling Bins. For commercial, multi-family, or public facilities, monofilament recycling bins must be provided as described below (Reference: The below replicates PDC A.2.3 within the table PDCs Specific to Activity 2 - Pile Supported Structures and Anchored Buoys, the PDC itself on page 113 of the JAXBO.):
 - a. (A2.3.) For commercial, multi-family, or public facilities, monofilament recycling bins must be provided at the docking facility to reduce the risk of turtle or sawfish entanglement in, or ingestion of, marine debris. Monofilament recycling bins must:
 - (1) (A2.3.1.) Be constructed and labeled according to the instructions provided at <http://mrrp.myfwc.com>.
 - (2) (A2.3.2.) Be maintained in working order and emptied frequently (according to <http://mrrp.myfwc.com> standards) so that they do not overflow.
4. North Atlantic Right Whale. The attached North Atlantic Right Whale Information Form ([Attachment 27](#)) describes the presence of North Atlantic right whales in the area and the Federal regulations governing the approach to North Atlantic right whales. (The FDEP or Designee will attach this document to their authorizations for a dock project (new construction, repair, or replacement) at a private residence located within 11 nautical miles of North Atlantic right whale critical habitat as measured in a radius from the center of the nearest inlet to open ocean described by [Attachment 29](#), the North Atlantic Right Whale Educational Sign Zones (from Section 2.1.1.4 of JAXBO, pages 31 and 32, inclusive) (Reference: JAXBO PDC A2.4.).

5. Aids to Navigation. Aids to navigation must be approved by and installed in accordance with the requirements of the U.S. Coast Guard (i.e., 33 C.F.R., chapter I, subchapter C, part 66, Section 10 of the Rivers and Harbors Act, and any other pertinent requirements) (Reference: JAXBO PDC A2.5.).
6. Lighting for docks installed within visible distance of ocean beaches. If lighting is necessary, then turtle-friendly lighting shall be installed. Turtle-friendly lighting is explained and examples are provided on the Florida Fish and Wildlife Conservation Commission website: <http://myfwc.com/wildlifehabitats/managed/sea-turtles/lighting/> (Reference: JAXBO PDC A2.8.).
7. Construction Location. Project construction shall take place from uplands or from floating equipment (e.g., barge); prop or wheel-washing is prohibited (Reference: JAXBO PDC A2.9.).
8. Regarding submerged and emergent aquatic vegetation, the design and construction of a Project must comply with the following:
 - a. A pile supported structure (i) that is located on a natural waterbody (i.e., outside an artificial waterway that was excavated for boating access and is bordered by residential properties) and (ii) that is within the range of seagrass (estuarine waters within all coastal counties except for Nassau, Duval, St Johns, Flagler and Volusia north of Ponce Inlet), will be constructed to the following standards:
 - (1) Must comply with or provide a higher level of protection than, the protective criteria in the joint U.S. Army Corps of Engineers'/National Marine Fisheries Service's "Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat" updated November 2017 ([Attachment 5](#)).
 - (2) In addition to (1), above, IF the project is within range of Johnson's seagrass (the range of Johnson's seagrass is defined as Turkey Creek/Palm Bay south to central Biscayne Bay in the lagoon systems on the east coast of Florida), THEN the design and construction shall comply with, in some cases, the more restrictive requirements within paragraph 8.c., below (Reference: JAXBO PDC A2.17).
 - b. For all other Projects,
 - (1) Within the range of Johnson's seagrass (the range of Johnson's seagrass is defined as Turkey Creek/Palm Bay south to central Biscayne Bay in the lagoon systems on the east coast of Florida), the presence of submerged aquatic vegetation will be determined utilizing the "Submerged Aquatic Vegetation Survey Guidelines" ([Attachment 7](#)). If no survey performed, aquatic vegetation, including Johnson's seagrass, will be presumed to be present for purposes of this Special Condition.
 - (2) Outside the range of Johnson's seagrass but within the range of seagrass (estuarine waters within all coastal counties except for Nassau, Duval, St Johns, Flagler and Volusia County north of Ponce Inlet) and within tidal waters, the presence of seagrass and tidal freshwater submerged aquatic vegetation will be determined using the

- “Submerged Aquatic Vegetation Survey Guidelines” ([Attachment 7](#)) unless a site visit or aerial photography observes absence during the growing season (if water depth and clarity allows) or aquatic vegetation has not been found in the vicinity in the past.
- (3) Pile-supported structures, IF aquatic vegetation is present (including seagrass, tidal freshwater submerged aquatic vegetation and emergent vegetation), THEN must comply with or provide a higher level of protection than, the protective criteria in the joint U.S. Army Corps of Engineers’/National Marine Fisheries Service’s “Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat” updated November 2017 ([Attachment 5](#)).
 - (4) In addition to (1) to (3) above, IF the proposed dock or proposed structure is within range of Johnson’s seagrass (the range of Johnson’s seagrass is defined as Turkey Creek/Palm Bay south to central Biscayne Bay in the lagoon systems on the east coast of Florida), and IF the proposed dock or proposed structure falls within the following scenarios, THEN the design and construction shall comply with, in some cases, the more restrictive requirements within paragraph 8.c., below. (Reference: The following replicates “Scenario B” as defined within A2.17., PDCs for Docks or Other Minor Structures of JAXBO.):
 - (i) Dock replacement in the exact footprint (i.e., same location/configuration/size) as the previous dock and:
 - (a) within Johnson’s seagrass critical habitat with No current seagrass survey (completed no earlier than 1 year before submitting the application); or, Johnson’s seagrass under the dock; or, Native seagrass, other than Johnson’s seagrass, under the dock; or,
 - (b) within the Range of Johnson’s seagrass (outside of critical habitat) with No current seagrass survey or, Johnson’s seagrass under the dock,
 - (ii) New docks or dock expansions and:
 - (a) within Johnson’s seagrass critical habitat; or,
 - (b) within the Range of Johnson’s seagrass (outside of critical habitat) with: No current seagrass survey (completed no earlier than 1 year before submitting the application) or, Johnson’s seagrass within property limit.
- c. The following additional restrictions apply when required by paragraphs 8.a.(2) or 8.b.(4), above (Reference: The following replicates the “Dock PDCs for Scenario B” within A2.17. PDCs for Docks or Other Minor Structures of JAXBO.):
- (1) To avoid and minimize impacts to Johnson’s seagrass and native, non-listed seagrasses to the maximum extent practicable:
 - (i) The dock must be positioned to avoid and minimize effects to Johnson’s seagrass.
 - (ii) Over any area that contains Johnson’s seagrass or native, non- listed seagrasses, the dock shall be oriented in a north-south orientation to the maximum extent that is practicable to allow maximum sunlight under the structure.
 - (iii) If practicable, terminal platforms shall be placed in deep water, waterward of Johnson’s seagrass beds or native, non-listed seagrasses beds or in an area devoid of Johnson’s seagrass or native, non-listed seagrasses.

- (iv) Piles must be spaced a minimum of 10 ft apart in any area that contains Johnson's seagrass to minimize direct impacts.
 - (v) Piles shall be installed in a manner that will not result in the formation of sedimentary deposits (e.g., donuts or halos) around the newly installed pilings.
 - (vi) No covered boat lifts are allowed over any Johnson's seagrass.
- (2) Decking options: Deck surfaces (parallel with the water) that are located waterward of the MHWL must be constructed of grated materials or plank construction or a combination of the both methods (e.g. plank decking on the walkway and grated decking on the terminal platform). These decking options are described below:
- (i) For grated decking:
 - (a) Height requirement: The surface of the structure, including the dock walkway (the over- water narrow portion connecting the terminal platform to the shore and any over-water ramp required for access) and the dock, must be a minimum of 3 ft above MHW when constructed with grated decking.
 - (b) Size limitations: The dock walkway is limited to a width of 4 ft. The terminal platform is limited to a total area of 160 ft². Marginal docks are limited to a width of 5 ft. The 5 ft width restriction is measured from wet side of the seawall. For example, if a seawall cap is 3 feet overwater then the dock would be limited to 2 feet.
 - (c) Material description: Decking materials shaped in the form of grids, grates, lattices, etc., to allow the passage of light through the open spaces. These materials must provide a minimum of 43% open space.
 - (ii) For plank decking:
 - (a) Height requirement: The surface of the structure, including the dock walkway (the over- water narrow portion connecting the terminal platform to the shore and any over-water ramp required for access) and the dock, must be a minimum of 5 ft above MHW when constructed of plank decking.
 - (b) Size limitations: The dock walkway is limited to a width of 4 ft. The terminal platform is limited to a total area of 120 ft². Marginal docks are limited to a width of 5 ft.
 - (c) Material description: Deck boards may be constructed of any material. Deck Boards must be installed to provide a minimum of a 0.5-in gap between individual deck boards.
- d. Aids to Navigation in Acropora critical habitat. The distance from Aids to Navigation (ATONs) to ESA-listed corals and Acropora critical habitat shall ensure there are no impacts to the corals or the essential feature of Acropora critical habitat from the movement of buoys and tackle. The appropriate distance shall be based on the size of the anchor chain or other tackle to be installed to secure the buoy to its anchor, particularly when the design of the ATON does not prohibit the contact of tackle with the marine bottom. In all cases, buoy tackle will include flotation to ensure there is no contact between the anchor chain or line and the marine bottom (Reference: JAXBO PDC A2.10.).

General Conditions for Federal Authorization for SPGP V-R1

1. The time limit for completing the work authorized ends on July 26, 2021.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit, you must obtain the signature of the new owner on the enclosed form and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit.
6. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Further Information:

1. Limits of this authorization.
 - a. This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
 - b. This permit does not grant any property rights or exclusive privileges.
 - c. This permit does not authorize any injury to the property or rights of others.
 - d. This permit does not authorize interference with any existing or proposed Federal projects.
2. Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any liability for the following:
 - a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.
 - c. Damages to persons, property, or to other permitted or unpermitted activities or

- structures caused by the activity authorized by this permit.
- d. Design or Construction deficiencies associated with the permitted work.
 - e. Damage claims associated with any future modification, suspension, or revocation of this permit.
3. **Reliance on Applicant's Data:** The determination of this office that issuance of this permit is not contrary to the public interest was made in reliance on the information you provided.
 4. **Reevaluation of Permit Decision:** This office may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
 - a. You fail to comply with the terms and conditions of this permit.
 - b. The information provided by you in support of your permit application proves to have been false, incomplete, or inaccurate (see 3 above).
 - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
 5. Such a reevaluation may result in a determination that it is appropriate to use the suspension, modification, and revocation procedures contained in 33 CFR 325.7 or enforcement procedures such as those contained in 33 CFR 326.4 and 326.5. The referenced enforcement procedures provide for the issuance of an administrative order requiring you comply with the terms and conditions of your permit and for the initiation of legal action where appropriate. You will be required to pay for any corrective measures ordered by this office, and if you fail to comply with such directive, this office may in certain situations (such as those specified in 33 CER 209.170) accomplish the corrective measures by contract or otherwise and bill you for the cost.
 6. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form.
 7. The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the U.S. Army Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal, relocation or alteration.

STANDARD MANATEE CONDITIONS FOR IN-WATER WORK

2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at ImperiledSpecies@myFWC.com
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8 1/2" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at MyFWC.com/manatee. Questions concerning these signs can be sent to the email address listed above.

CAUTION: MANATEE HABITAT

All project vessels

IDLE SPEED / NO WAKE

When a manatee is within 50 feet of work
all in-water activities must

SHUT DOWN

Report any collision with or injury to a manatee:



Wildlife Alert:

1-888-404-FWCC(3922)

cell *FWC or #FWC

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: John Dowdy

WATERBODY/CLASS: Alligator Harbour

PURPOSE: Residential Dock

PROJECT LOCATION / USGS:

LATITUDE:

LONGITUDE:

SECTION: 6 TWSHP: 7 South

RNG: 1 West

JOB: 19-042

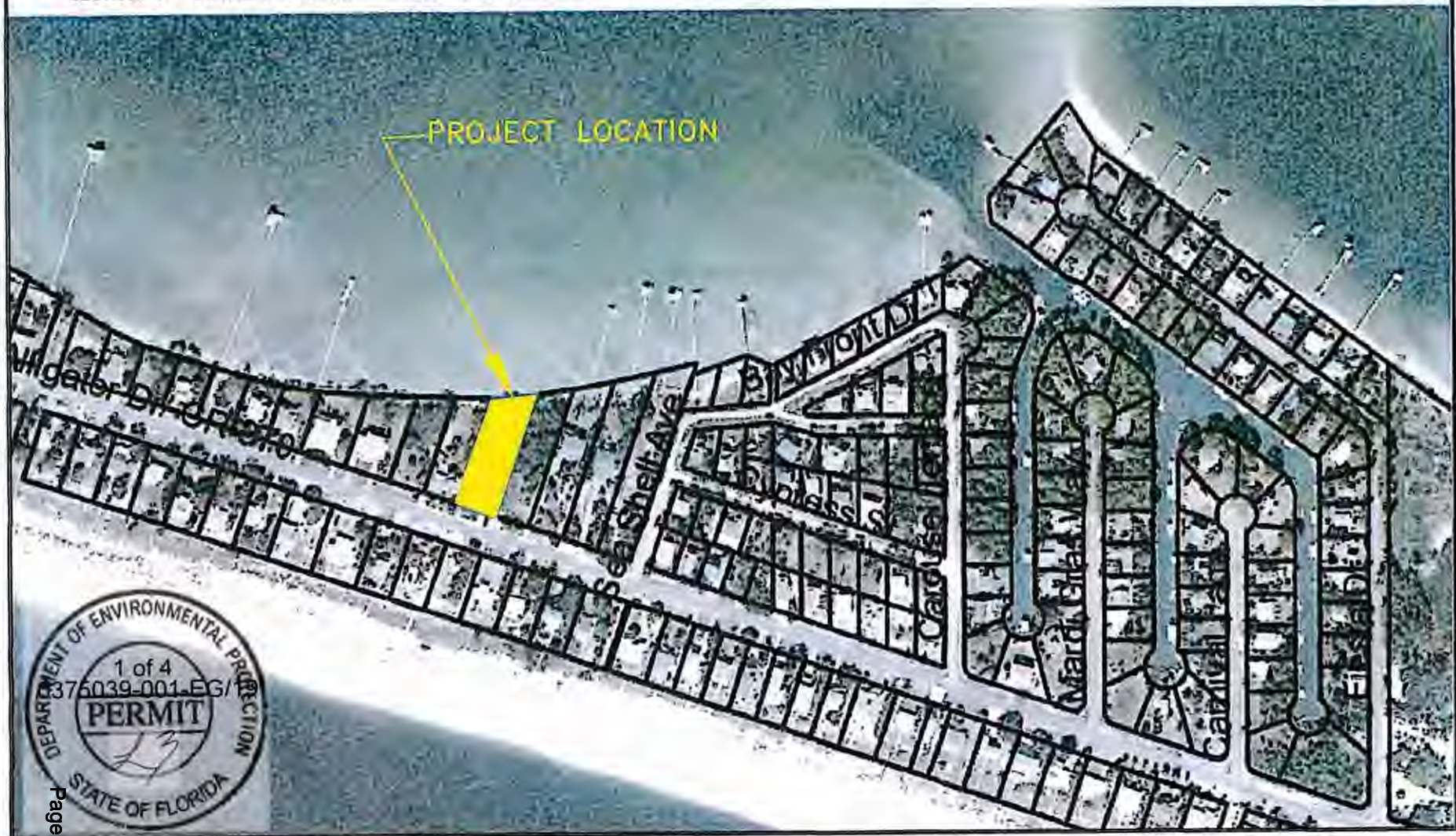
DEP:

COE:

OTHER:

DATE: March 29, 2019

SHEET: 1/4



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: John Dowdy
WATERBODY/CLASS: Alligator Harbour
PURPOSE: Residential Dock
PROJECT LOCATION / USGS:
LATITUDE:
LONGITUDE:
SECTION: 6 TWNShP: 7 South RNG: 1 West

JOB: 19-042
DEP:
COE:
OTHER:
DATE: March 29, 2019
SHEET: 2/4



PIILINGS WILL BE PLACED A MINIMUM OF 10' APART
PIILINGS SIZE WILL BE 6 INCHES
ANY DONUTS/HALOS FORMED DURING LOW PRESSURE JETTING OF PILES WILL BE REMOVED BY HAND
DECKING WILL BE NO GREATER THAN 8" IN WIDTH AND SPACED NO LESS THAN ONE-HALF INCH APART AFTER SHRINKAGE

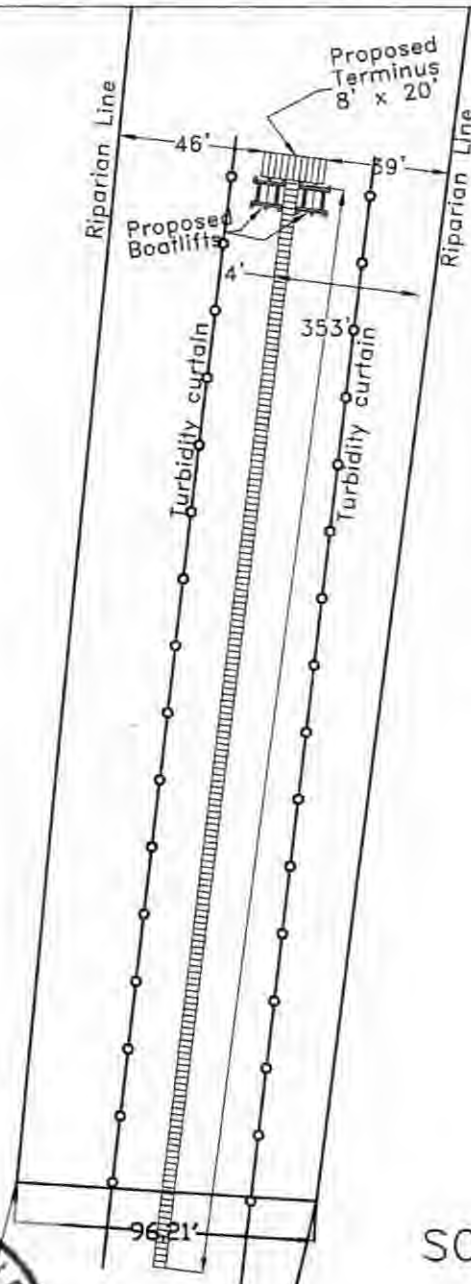


PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: John Dowdy
 WATERBODY/CLASS: Alligator Harbour
 PURPOSE: Residential Dock
 PROJECT LOCATION / USGS:
 LATITUDE:
 LONGITUDE:
 SECTION: 6 TWSHP: 7 South RNG: 1 West

JOB: 19-042
 DEP:
 COE:
 OTHER:
 DATE: March 29, 2019/Revised April 22, 20
 SHEET: 3/4



PILINGS WILL BE PLACED A MINIMUM OF 10' APART
 PILLINGS SIZE WILL BE 6 INCHES
 ANY DONUTS/HALOS FORMED DURING LOW PRESSURE JETTING OF PILES WILL BE REMOVED BY HAND
 DECKING WILL BE NO GREATER THAN 8" IN WIDTH AND SPACED NO LESS THAN ONE-HALF INCH APART AFTER SHRINKAGE.



SCALE 1" = 60'



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: John Dowdy

JOB: 19-042

WATERBODY/CLASS: Alligator Harbour

DEP:

PURPOSE: Residential Dock

COE:

PROJECT LOCATION / USGS:

OTHER:

LATITUDE:

DATE: March 29, 2019/Revised April 22, 2019

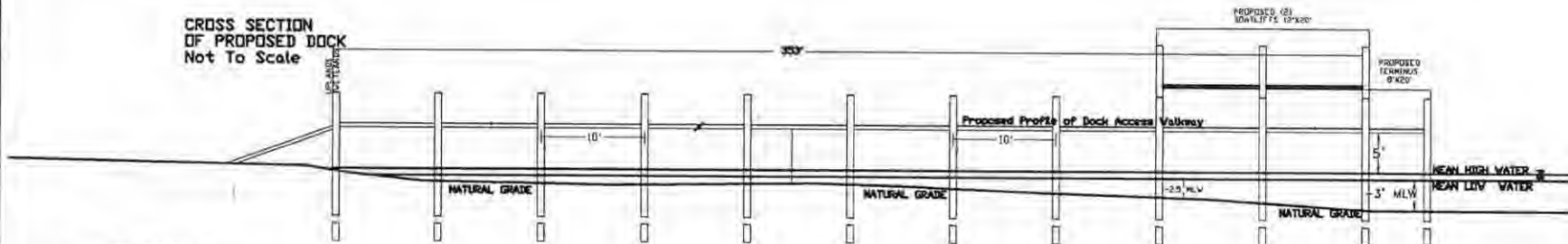
LONGITUDE:

SHEET: 4/4

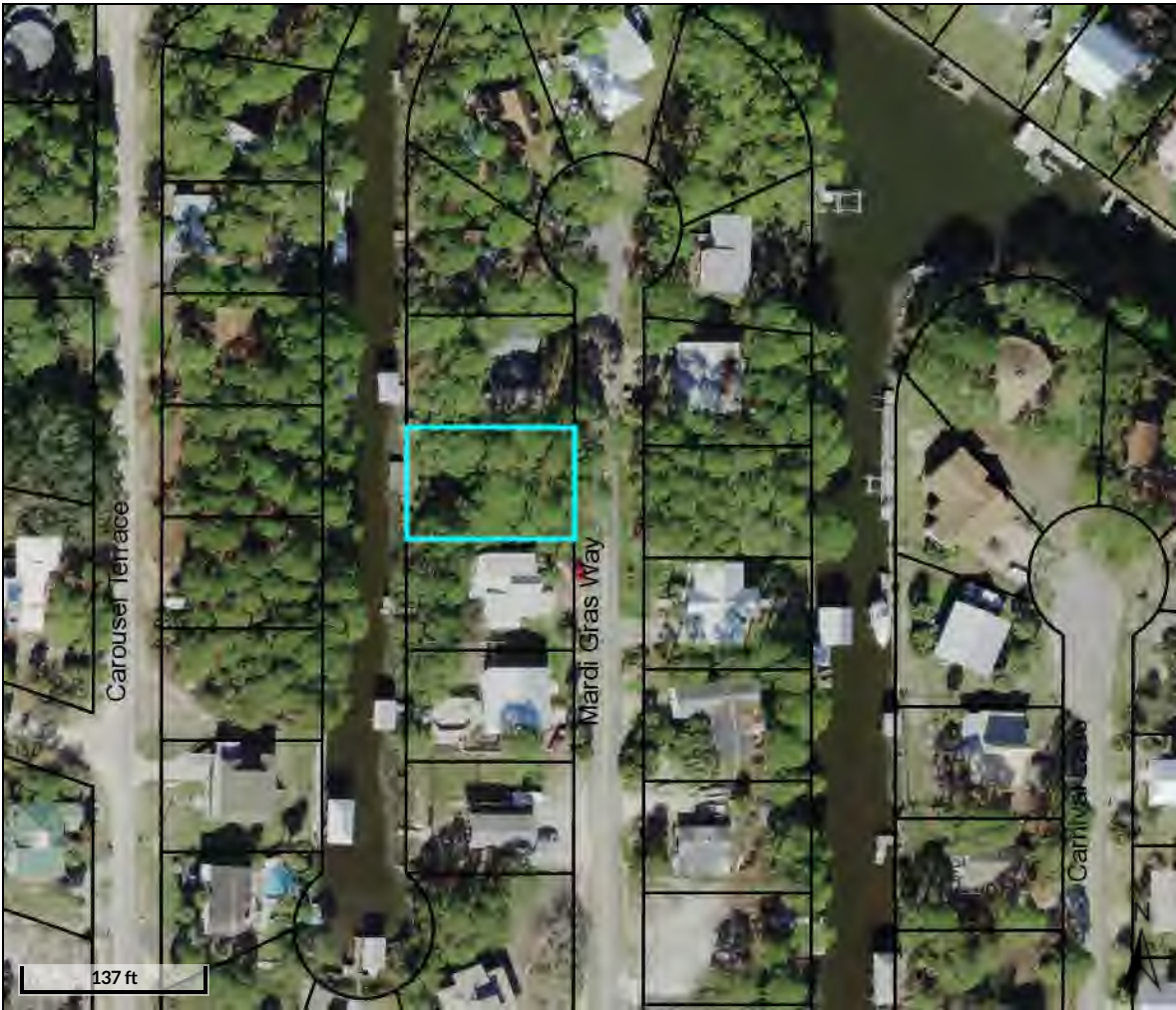
SECTION: 6 TOWNSHIP: 7 South RANGE: 1 West



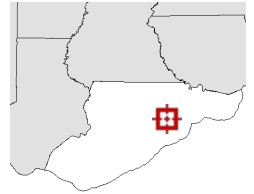
CROSS SECTION
OF PROPOSED DOCK
Not To Scale



These drawings are for
permitting purposes
only. Not intended for
construction purposes



Overview



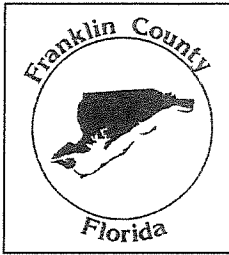
Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-07S-02W-1031-0000-0200	Alternate ID	02W07S01103100000200	Owner Address	FADOOL DEBRA ANN & JAMES M
Sec/Twp/Rng	1-7S-2W	Class	VACANT		6387 BELGRAND DRIVE
Property Address	26 MARDI GRAS WAY	Acreage	0.22		TALLAHASSEE, FL 32312
District	7				
Brief Tax Description	UNIT 1 LOT 20 HOLIDAY BEACH				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 7/7/2021
 Last Data Uploaded: 7/7/2021 7:39:57 AM

Developed by  **Schneider**
 GEOSPATIAL



DOCK PERMIT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT
 34 Forbes Street, Suite 1, Apalachicola, Florida 32320
 Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____

FEE: \$ _____

C.S.I : \$ _____

TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:
VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:
 ISSUANCE DATE: _____ EXPIRES: _____

EXISTING HOUSE: Yes No

DEP PERMIT: Yes No

ARMY COE PERMIT: Yes No

APPROVED: Yes No

APPLICATION MUST BE COMPLETE:

Property Owner/s: Debra and James Fadool

Contact Information: Home #: 850 668-6694 Cell #: 850 241-6392

Mailing Address: 6387 Belgrand Drive City/State/Zip: Tallahassee, FL, 32312

EMAIL Address: dfadool @ fsu.edu

Contractor Name: David Keith Business Name: Docks 4 Less, LLC

Contact Information: Office #: 850 508-0469 Cell #: 850 508-0469

State License #: FIN# 550867134 County Registration #: _____

Mailing Address: 270 Baywood Dr, City/State/Zip: Carrabelle, FL 32322

EMAIL Address: davidkeith62 @ aol.com

PROPERTY DESCRIPTION: 911 Address: 26 Marti Gras Way

Lot/s: _____ Block: _____ Subdivision: _____ Unit: _____

Parcel Identification #: 01-07S-02W-1031-000-0200

JURISDICTION: Franklin County City of Carrabelle

Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

SINGLE FAMILY DOCK/PIER **MULTI-FAMILY DOCK/PIER** **COMMERCIAL**

DESCRIPTION: There is a dock already present on the property that we would like to rebuild to include a boat lift. We completed the self-certification with the State DEP. Seawall is failing and we would like to repair within the 18 foot variance.

ZONING DISTRICT: _____ CONTRACT COST: \$55,780

TOTAL SQUARE FOOT: 528 square feet FOUNDATION TYPE: wood piling and then vinyl seawall

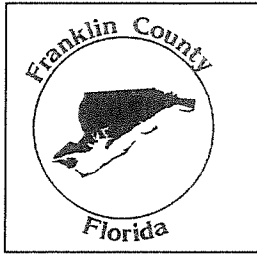
ROOF MATERIAL: wood frame

APPROVED BY: **Planning & Zoning Date:** _____ **County Commissioners Date:** _____

WATER BODY: Canal off of Alligator Harbor

CRITICAL SHORELINE DISTRICT YES OR NO CRITICAL HABITAT ZONE YES OR NO

BUILDING OFFICIAL **Date** **OWNER (Required)** **Date** **CONTRACTOR (Required)** **Date**



**DOCK SITE PLAN, CONSTRUCTION
AND LIGHTING AFFIDAVIT**

FRANKLIN COUNTY BUILDING DEPARTMENT
 34 Forbes Street, Suite 1, Apalachicola, Florida 32320
 Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountvflorida.com/planning_building.aspx

PERMIT
 # _____

ORDINANCE
No. 2004-17
Dock Ordinance

DOCK CONSTRUCTION STANDARDS & LIGHTING AFFIDAVIT

APPLICATION MUST BE COMPLETE: (We will no longer accept incomplete applications)

Property Owner/s: Debra and James Fadool

Contact Information: Home #: 850 668-6694 Cell #: 850 241-6392

Mailing Address: 6387 Belgrand Drive City/State/Zip: Tallahassee FL 32312

EMAIL Address: dfadool@fsu.edu

PROPERTY DESCRIPTION: 911 Address: 26 Martis Gras Way

Lot/s: _____ Block: _____ Subdivision: _____ Unit: _____

Parcel Identification #: _____

JURISDICTION: Franklin County City of Carrabelle
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

SITE PLAN & CONSTRUCTION STANDARDS:

- I understand that applications for dock or piers must contain a survey prepared by a professional surveyor which indicates riparian rights, unless the dock is built at least 25 feet from existing property lines. INITIAL: df
- I understand that Docks built on canals are permitted to be no larger than 25% of the width of the canal including the boat mooring site. INITIAL: df
- I understand that the lot must be large enough to accommodate a single-family dwelling; or be a lot separated from the single family dwelling by a right-of-way and owned by the same owner; or the lot may be eligible for a hardship variance from the Board of Adjustment. INITIAL: df
- I understand that no dry dock facilities, gasoline or fuel pumps are allowed on a residential lot other than boat lifts connected to a dock. INITIAL: df
- I understand that boat ramps may be allowed so long as the property contains adequate size for the parking of trailers on the property. No commercial boat docking or launching allowed. INITIAL: df
- I understand that no parking of vehicles is allowed within the Critical Habitat Zone, which is the first 50 feet from mean high water. INITIAL: df
- I understand that the lot must be kept in natural vegetation within the Critical Habitat Zone. INITIAL: df
- I understand that I must comply with the permitting requirements for all other governmental agencies having jurisdiction over the project. (Evidence of an exemption from such compliance must be furnished by the homeowner before approval can be granted. INITIAL: df
- I understand that the dock must be elevated a minimum of five (5) feet above mean high water, except that the terminal platform may be lower at the owner's discretion. This requirement shall not apply to docks running parallel to the shoreline provided they extend no further than 25 feet from the edge of the water. (*This will allow pedestrians to cross under the dock at the water's edge) INITIAL: df

- I understand that the dock must be constructed on pilings set a minimum of eight (8) feet apart center to center. INITIAL: df
- I understand that no dusk to dawn lights. Must be able to switch off or on by motion detector, or be activated by a 3-way switch. INITIAL: df
- I understand that lights limited to one on the terminal platform and one on the landward end of the dock or pier, and one every 100 feet between the terminal platform and the landward end of the dock, except where a hardship exists. INITIAL: df
- I understand that all lights must be downward directed and have adequate shielding to prevent light trespass and minimize light pollution from light scatter. INITIAL: df
- I understand the type and location of fixtures must be included on a diagram of dock or pier and submitted with permit application. INITIAL: df
- I understand that the dock must have amber colored night time reflectors set at a minimum of one at each side in the middle and one at each side of the terminal. INITIAL: df

I have read and understood that construction and lighting standards of the Franklin County Dock Ordinance No. 2004-17 and will practice these standards.

Contractor/Owner Signature: Date

Contractor/Owner Printed Name:

**State of Florida
County of Franklin**

I, _____, who is personally known or provided the following identification _____, on this day ____ of _____, 20__ understand that I have read and understood the above statement and will comply or the Final Certificate of Occupancy will be held up until the above has been documented.

NOTARY: _____

SEAL:

Debra Ann Fadool

Printed Name

FRANKLIN COUNTY DOCK CHECKLIST & FEE SCHEDULE

CHECKLIST:

- Application
- DEP
- Army CORPS
- Site Plan
- Lighting Plan
- Drawings (Approved by all entities)
- Approvals from local jurisdictions
- Dock Site Plan, Construction & Lighting Affidavit
- Copy of Signed Contract Cost

NOTICE OF COMMENCEMENT

Space Reserved For Recording:	
-------------------------------	--

PERMIT # _____ PARCEL ID # _____

STATE OF FLORIDA, COUNTY OF FRANKLIN

The **UNDERSIGNED** hereby gives notice that improvements will be made to certain real property, an in accordance with Chapter 713, Florida Statutes, the following information is provided in the Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY: (Include Street Address)
Canal home lot that is wooded with existing seawall and dock requires repair due to failing seawall. Will reconstruct dock and include boat lift and then repair seawall with vinyl within 18 inches of existing wall. Property is 26 Martis Gras Way, Alligator Point, FL 32346

General Description of Improvements: As above, want to reconstruct the dock, rebuilt the existing seawall using vinyl, and add single family boat lift.

Owner Information or Lessee Information Contracted For The Improvements:

Name: Debra and Jame Fadoo **Phone Number:** 850 241-6392
Address: 6387 Belgrand Drive, Tallahassee, FL 32312

Owner's Interest In Site Of The Improvement: We own the lot and maintain it. Want to use for boating access.

Name & Address Of Fee Simple Titleholder: _____
(If Different From Owner Listed Above):

Contractor's Name: David Keith **Phone Number:** 850 508-0469
Address: 270 Baywood Drive, Carreabelle FL 32322

Surety: (If Applicable, A Copy Of The Payment Bond Is Attached): _____
Name & Address: _____ **Amount:** \$ _____

Lender Name: Not Applicable **Phone Number:** _____
Address: _____

PERSONS WITH IN THE STATE OF FLORIDA DESIGNATED BY THE OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED FOR BY FLORIDA STATUTE 713.13(1) (A) 7.

NAME: Not Applicable
ADDRESS: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES THE FOLLOWING PERSON(S) TO RECEIVE A COPY OF THE LEINOR'S NOTICE AS PROVIDED IN SECTION 713.13 (1)(B) FLORIDA STATUTES:
Not Applicable, no loan

EXPIRATION DATE OF NOTICE OF COMMENCEMENT (THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DAT OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED.) _____

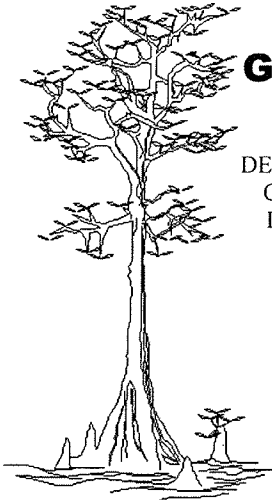
WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOBSITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

NOTARY SEAL:

Owner/Agent Signature: _____
Printed Name: Debra Ann Fadoo

Sworn to me this _____ day of _____ In the year of 20 _____

Notary Signature: _____
Printed Name: _____



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS • CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE MARINA, DOCK, AND SUBDIVISION DESIGN

June 16, 2021

Ms Cortni Bankston
Franklin County Planning & Zoning
33 Commerce Street
Apalachicola, FL 32320

Re: Planning and Zoning Agenda
GEA File No. 21-149
Debra Fadool

Dear Ms. Cortni Bankston:

Please find attached an Application for Development for the referenced project. The proposed project consists of construction of a Single Family Residential Dock. Please find attached a copy of the FDEP permit , which also includes the COE permit, for the referenced project.

As shown on the attached drawings, the access walkway for the proposed dock will be constructed 24 ft. in length and 6 ft. in width (144 Sq. Ft.). A Step-down 6 ft. in length and 3 ft. in width (18 Sq Ft) will be constructed at the end of the dock. The total square footage of the proposed dock will be 162 sq. ft. A boat lift will also be constructed at the proposed dock. The boat lift will be built 12' by 24' (288 Sq Ft). The proposed boat lift will not have a roof.

If you have any questions, please let us know.

Sincerely,

Kevin Burdette, Project Manager
Garlick Environmental Associates, Inc.

Attachments

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Debra Fadool

JOB: 21-149

WATERBODY/CLASS:

DEP:

PURPOSE: Environmental Permitting

COE:

PROJECT LOCATION / USGS: Franklin County - Alligator Harbor

OTHER:

LATITUDE: 29° 53' 54.34"

DATE: June 16 2021

LONGITUDE: 84° 23' 14.05"

SHEET: 1/4

SECTION: 1 TNSHP: 7 South

RNG: 2 West



NOT TO SCALE

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

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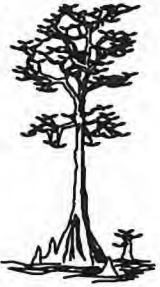
LATITUDE: 29° 53' 54.34"

DATE: June 16 2021

LONGITUDE: 84° 23' 14.05"

SHEET: 2/4

SECTION: 1 TWSHP: 7 South RNG: 2 West



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com
LB No. 7415

APPLICANT/CLIENT: Debra Fadool

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DEP:

PURPOSE: Environmental Permitting

COE:

PROJECT LOCATION / USGS: Franklin County - Alligator Harbor

OTHER:

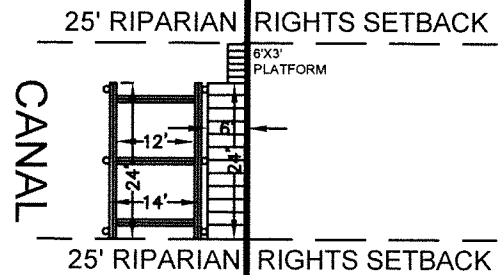
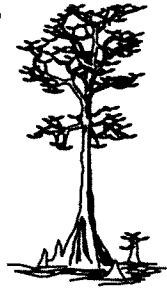
LATITUDE: 29° 53' 54.34"

DATE: June 16 2021

LONGITUDE: 84° 23' 14.05"

SHEET: 3/4

SECTION: 1 TWSHP: 7 South RNG: 2 West



MARDI GRA WAY

SCALE 1" = 30'

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385
LB No. 7415

(850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

APPLICANT/CLIENT: Debra Fadool

JOB: 21-149

WATERBODY/CLASS:

DEP:

PURPOSE: Environmental Permitting

COE:

PROJECT LOCATION / USGS: Franklin County - Alligator Harbor

OTHER:

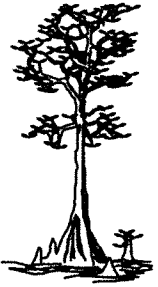
LATITUDE: 29° 53' 54.34"

DATE: June 16, 2021

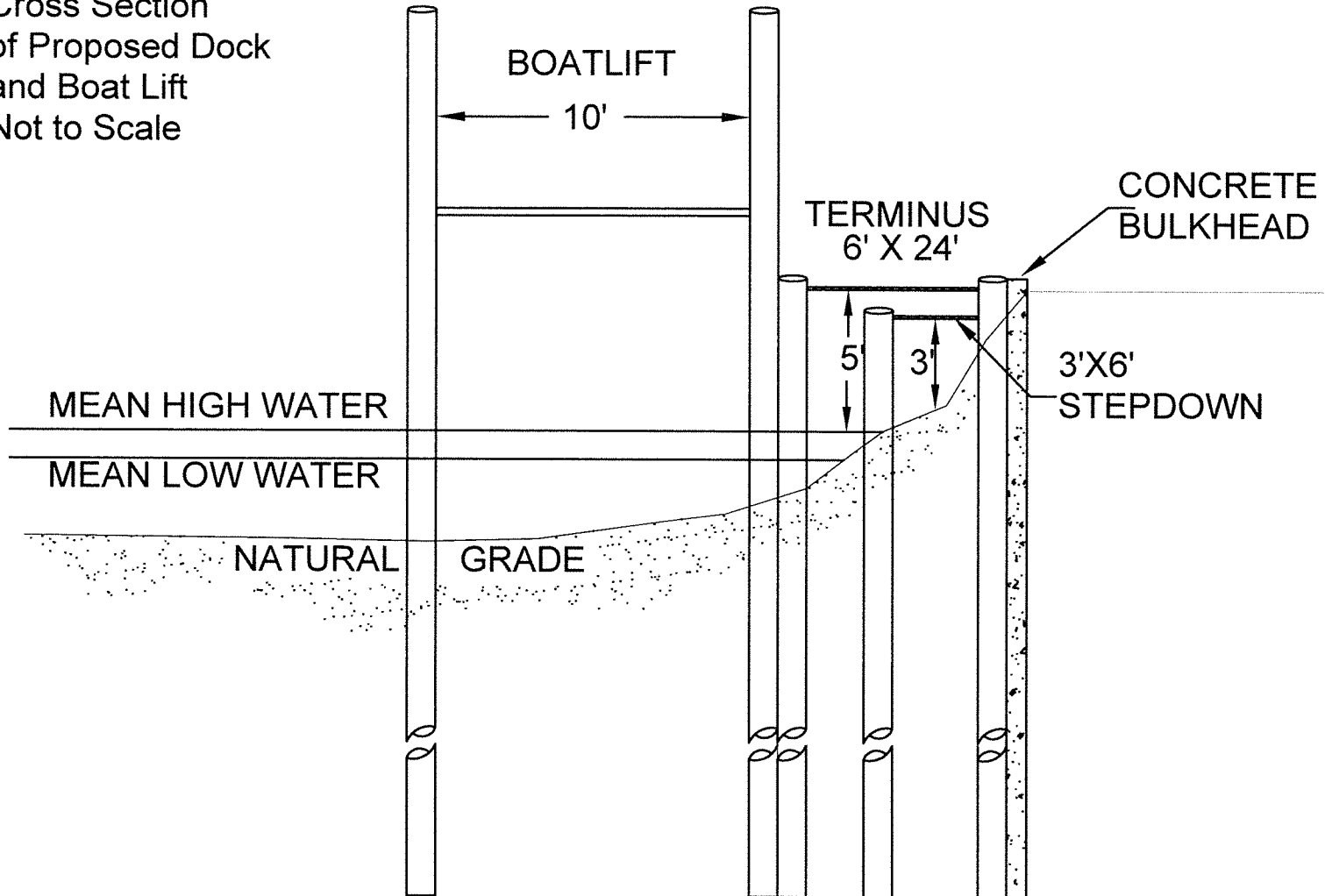
LONGITUDE: 84° 23' 14.05"

SHEET: 4/4

SECTION: 1 TWSHP: 7 South RNG: 2 West



Cross Section
of Proposed Dock
and Boat Lift
Not to Scale



Owner



Overview



Legend

- Parcels
- Roads
- 1443 City Labels

Parcel ID	01-07S-02W-1031-0000-0200	Alternate ID	02W07501103100000200	Owner Address	FADOOL DEBRA ANN & JAMES M
Sec/Twp/Rng	1-7S-2W	Class	VACANT		6387 BELGRAND DRIVE
Property Address	26 MARDI GRAS WAY	Acres	0.22		TALLAHASSEE, FL 32312
District	7				
Brief Tax Description	UNIT 1 LOT 20 HOLIDAY BEACH				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 5/18/2021
 Last Data Uploaded: 5/18/2021 7:40:50 AM

Developed by Schneider
 GEOSPATIAL

Parcel Summary

Parcel ID 01-075-02W-1031-0000-0200
 Location Address 26 MARDI GRAS WAY
 32346
 Brief Tax Description* UNIT 1 LOT 20 HOLIDAY BEACH OR 128/414 155/170 156/564 178/628 194/596 577/773 1202/432 1202/433
 *The Description above is not to be used on legal documents.
 Property Use Code VACANT (000000)
 Sec/Twp/Rng 1-7S-2W
 Tax District Alligator Point (District 7)
 Millage Rate 13.022
 Acreage 0.220
 Homestead N

[View Map](#)

Owner Information

Primary Owner
Fadoo! Debra Ann & James M
 6387 Belgrand Drive
 Tallahassee, FL 32312

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000131	SFR CANAL	9,600.00	SF	80	120

Sales

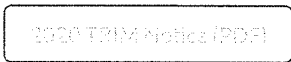
Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	09/15/2017	\$60,000	PR	1202	433	Unqualified (U)	Vacant	ESTATE OF PATRICIA A GROSVERNOR	FADOOL
N	09/14/2017	\$60,000	WD	1202	432	Unqualified (U)	Vacant	HENDERSON	FADOOL
N	06/06/1997	\$29,000	WD	577	773	Qualified (Q)	Vacant	MILLER COUNCIL & LILLIAN	HENDERSON/GROSVERNOR

Valuation

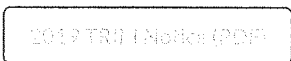
	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$76,800	\$96,000	\$76,800	\$57,600	\$48,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$76,800	\$96,000	\$76,800	\$57,600	\$48,000
Assessed Value	\$76,800	\$84,480	\$76,800	\$52,800	\$48,000
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$76,800	\$84,480	\$76,800	\$52,800	\$48,000
Maximum Save Our Homes Portability	\$0	\$11,520	\$0	\$4,800	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2020



TRIM Notice 2019



No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

This Instrument Prepared by & return to:
Name: W. Crit Smith, Esq.
Susan S. Thompson, Esq.
Frank S. Shaw, III, Esq.
Smith, Thompson & Shaw
Address: Fourth Floor, 3520 Thomasville Rd.
Tallahassee, FL 32309
20172628AMO
Parcel I.D. #: 01-07S-02W-1031-0000-0200

Inst: 201719004854 Date: 09/20/2017 Time: 3:25PM
Page 1 of 2 B: 1202 P: 433, Marcia Johnson, Clerk of Court
Franklin, County, By: SM Deputy Clerk

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

PERSONAL REPRESENTATIVES' DEED

THIS INDENTURE, executed the 15TH day of SEPTEMBER, 2017, by between **MELISSA A GROSVENOR**, as Personal Representative of the ESTATE OF PATRICIA A GROSVENOR, deceased, referred to as "grantor", and **DEBRA ANN FADOO AND JAMES M FADOO, WIFE AND HUSBAND**, whose mailing address is 6387 Belgrand Drive, Tallahassee, FL 32312, referred to below as "grantee(s)"

WITNESSETH:

Grantor, acting under the authority vested in her by the letters of administration entered in the estate of **PATRICIA A GROSVENOR** deceased, Case No. 17 CP 679 Probate Division, Circuit Court for LEON County, Florida, dated August 11, 2017, And in consideration of the premises and of the sum of \$10.00 and other good and valuable consideration paid by grantee, the receipt of which is acknowledged, does grant, bargain, sell, convey, and transfer to grantee and grantee's heirs, successors, and assigns forever the following described real property located FRANKLIN County, Florida: **SEE EXHIBIT "A" ATTACHED HERETO AND BY THIS REFERENCE MADE A PART HEREOF**

Subject to the taxes for the year 2017 and subsequent years. Subject to any restrictions, reservations, and easements of record.

Together with all the tenements, hereditaments, and appurtenances belonging or in any way appertaining to it, and all the right, title, interest, claim, and demand whatsoever which grantor has in and to the property. To have and to hold the same to grantee and grantee's heirs, successors, and assigns forever.

In Witness Whereof, the said grantor has executed this instrument on the date first above written.

[Signature]
Witness Signature
Andrew Power
Witness Printed Name

[Signature]
MELISSA A GROSVENOR, PERSONAL REPRESENTATIVE OF THE ESTATE OF PATRICIA A GROSVENOR, DECEASED
ADDRESS: 4243 Benchmark Trce Tallahassee, FL 32317
PERSONAL REPRESENTATIVE

[Signature]
Witness Signature STANLEY PERZYDOLSKI
STANLEY PERZYDOLSKI
Witness Printed Name

State of Florida
County of LEON

I hereby Certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared **MELISSA A GROSVENOR**, as Personal Representative of the Estate of Patricia A. Grosvenor, deceased known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, and that I relied upon the following forms of identification of the above-named persons: FL DL and that an oath was not taken.

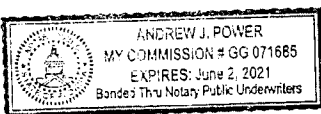
Witness my hand and official seal in the County and State last aforesaid this 15TH day of SEPTEMBER, 2017.

[Signature]
Notary Signature

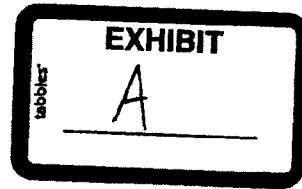
Notary Public Rubber Stamp Seal

Printed Notary Signature

My Commission expires: _____



Lot 20 of HOLIDAY BEACH - UNIT NO. 1, according to the Plat thereof as recorded in Plat Book 3, Page(s) 12, of the Public Records of Franklin County, Florida.



Adjacent Neighbor



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-075-02W-1031-0000-0190	Alternate ID	02W07S01103100000190	Owner Address	BARKEY LORIL
Sec/Twp/Rng	1-7S-2W	Class	SINGLE FAM		22 MARDI GRAS WAY
Property Address	22 MARDI GRAS WAY WAY	Acreage	0.22		PANACEA, FL 32346-9595
District	7				
Brief Tax Description	UNIT 1 LOT 19 HOLIDAY BEACH				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 6/9/2021
 Last Data Uploaded: 6/9/2021 7:42:46 AM

Developed by  **Schneider**
 GEOSPATIAL

Caracent Neighbors



- Legend**
-  Parcels
 -  Roads
 -  City Labels

Parcel ID	01-075-02W-1031-0000-0210	Alternate ID	02W07501103100000210	Owner Address	LUPOLI DAVID M & HENSLEY BRETT
Sec/Twp/Rng	1-7S-2W	Class	SINGLE FAM		1948 TRUMBULL DRIVE
Property Address	28 MARDI GRAS WAY	Acreage	0.183		DUNWOODY, GA 30338
District	7				
Brief Tax Description	UNIT 1 LOT 21 HOLIDAY BEACH <i>(Note: Not to be used on legal documents)</i>				

Date created: 6/9/2021
 Last Data Uploaded: 6/9/2021 7:42:46 AM

Developed by  **Schneider**
 GEOSPATIAL



FLORIDA DEPARTMENT OF
Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Noah Valenstein
Secretary

**CONDITIONS FOR DEPARTMENT OF THE ARMY SELF-CERTIFIED STATE
PROGRAMMATIC GENERAL PERMIT FOR A PROJECT AT A PRIVATE, SINGLE-FAMILY
RESIDENCE**

Self Certification File No.: **0400821001EE**

Verification that the project meets the Project Design Criteria:

You have verified that the project meets the Project Design Criteria (attached in a separate document), and have authorized FDEP to send a copy of this verification to the Corps on your behalf.

General Conditions:

1. The time limit for completing the work authorized on July 26, 2021.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit, you must obtain the signature of the new owner on the enclosed form and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit.
6. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Further Information:

1. Limits of this authorization:
 - a. This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
 - b. This permit does not grant any property rights or exclusive privileges.
 - c. This permit does not authorize any injury to the property or rights of others.
 - d. This permit does not authorize interference with any existing or proposed Federal projects.
2. Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any

liability for the following:

- a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.
 - c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
 - d. Design or Construction deficiencies associated with the permitted work.
 - e. Damage claims associated with any future modification, suspension, or revocation of this permit.
3. Reliance on Applicant's Data: The determination of this office that issuance of this permit is not contrary to the public interest was made in reliance on the information you provided.
 4. Reevaluation of Permit Decision: This office may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
 - a. You fail to comply with the terms and conditions of this permit.
 - b. The information provided by you in support of your permit application proves to have been false, incomplete, or inaccurate (see 3 above).
 - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
 5. Such a reevaluation may result in a determination that it is appropriate to use the suspension, modification, and revocation procedures contained in 33 CFR 325.7 or enforcement procedures such as those contained in 33 CFR 326.4 and 326.5. The referenced enforcement procedures provide for the issuance of an administrative order requiring you comply with the terms and conditions of your permit and for the initiation of legal action where appropriate. You will be required to pay for any corrective measures ordered by this office, and if you fail to comply with such directive, this office may in certain situations (such as those specified in 33 CER 209.170) accomplish the corrective measures by contract or otherwise and bill you for the cost.
 6. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form.
 7. The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the U.S. Army Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal, relocation or alteration.

Manatee Conditions:

1. All personnel associated with the project will be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee will advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
2. All vessels associated with the construction project will operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
3. Siltation or turbidity barriers will be made of material in which manatees cannot become entangled, will be properly secured, and will be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.

4. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
5. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at **ImperiledSpecies@myFWC.com**.
6. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads Caution: Boaters must be posted. A second sign measuring at least 8 ½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at MyFWC.com/manatee. Questions concerning these signs can be sent to the email address listed above.



FLORIDA DEPARTMENT OF
Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Noah Valenstein
Secretary

TERMS AND CONDITIONS

Self Certification File No.: **0400821001EE**

Construction Conditions:

Private residential single family docks are subject to the following criteria in accordance with Section 403.813(1)(b), F.S. The dock to be constructed:

1. Has 1,000 square feet or less over water surface (includes adjacent wetlands) in accordance with Chapter 62-340, F.A.C.;
2. Is constructed on or held in place by pilings and is constructed so as not to involve filling or dredging other than that necessary to install the pilings;
3. Will not substantially impede the flow of water, cause water pollution, or create a navigational hazard;
4. Is used **ONLY** for recreational, noncommercial activities associated with the mooring or storage of boats and boat paraphernalia;
5. Is the sole dock on the parcel; and
6. Must not be subject to any conservation easement or restrictive covenant of record prohibiting the activity.

Boat lifts are subject to the following additional conditions:

1. Is to be installed in a proposed slip or, at or adjacent to the waterward end of the dock;
2. With other mooring will not result in the mooring of more than two vessels (including jet skis);
3. Will not substantially impede the flow of water, cause water pollution, or create a navigational hazard;
4. Will not be located in areas prohibited for mooring by a previously issued permit or other form of authorization issued by a local government;

General Conditions for Sovereignty/State-Owned Submerged Lands Authorizations:

Any use of sovereignty/state-owned submerged lands is subject to the following general conditions that are binding upon the applicant and are enforceable under Chapters 253, F.S. or 258, F.S.

1. Sovereignty/state-owned submerged lands may be used only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use will constitute a violation. Violation of the authorization will result in suspension or revocation of the applicant's use of the sovereignty/state-owned submerged lands unless cured to the satisfaction of the Board of Trustees of the Internal Improvement Trust Fund (Board).
2. Authorization under Rule 18-21.005, F.A.C., conveys no title to sovereignty/state-owned submerged

lands or water column, nor does it constitute recognition or acknowledgment of any other person's title to such land or water.

3. Authorizations under Rule 18-21.005, F.A.C., may be modified, suspended or revoked in accordance with its terms or the remedies provided in Sections 253.04, F.S. or Chapter 18-14, F.A.C.
4. Structures or activities will be constructed and used to avoid or minimize adverse impacts to resources.
5. Construction, use, or operation of the structure or activity will not adversely affect any species which is endangered, threatened or of special concern, as listed in Rules 68A-27.003, 68A-27.004, and 68A-27.005, F.A.C.;
6. Structures or activities will not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity will be modified in accordance with the court's decision.
7. Structures or activities will not create a navigational hazard.
8. Structures will be maintained in a functional condition and will be repaired or removed if they become dilapidated to such an extent that they are no longer functional.
9. Structures or activities will be constructed, operated, and maintained solely for water dependent purposes.
10. The applicant agrees to indemnify, defend and hold harmless the Board and the State of Florida from all claims, actions, lawsuits and demands in any form arising out of the authorization to use sovereignty/state-owned submerged lands or the applicant's use and construction of structures on sovereignty/state-owned submerged lands. This duty to indemnify and hold harmless will include any and all liabilities that are associated with the structure or activity including special assessments or taxes that are now or in the future assessed against the structure or activity during the period of the authorization.
11. Failure by the Board to enforce any violation of the authorization or waiver by the Board of any provision of the authorization will not invalidate the provision not enforced or waived, nor will the failure or waiver prevent the Board from enforcing the waived or unenforced provision in the event of a future violation of that provision.
12. Applicant binds itself and its successors and assigns to abide by the provisions and conditions set forth in the authorization. If the applicant or its successors or assigns fails or refuses to comply with the provisions and conditions of the authorization, the authorization may be terminated by the Board after written notice to the applicant or its successors or assigns. Upon receipt of such notice, the applicant or its successors or assigns will have thirty (30) days in which to correct the violations. Failure to correct the violations within this period will result in the automatic revocation of this authorization.
13. All costs incurred by the Board in enforcing the terms and conditions of the authorization will be paid by the applicant. Any notice required by law will be made by certified mail at the address shown on page one of the authorization. The applicant will notify the Board in writing of any change of address at least ten days before the change becomes effective.
14. This authorization does not allow any activity prohibited in a conservation easement or restrictive covenant of record that prohibits the activity.

Manatee Conditions:

The following conditions are intended to protect manatees from direct project effects; THESE CONDITIONS APPLY ONLY IN WATERS THAT ARE ACCESSIBLE TO MANATEES:

1. All personnel associated with the project will be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee will advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
2. All vessels associated with the construction project will operate at 'Idle Speed/No Wake' at all times

- while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
3. Siltation or turbidity barriers will be made of material in which manatees cannot become entangled, will be properly secured, and will be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
 4. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
 5. Any collision with or injury to a manatee will be reported immediately to the FWC Hotline at 1-888-404-FWCC. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida.
 6. Temporary signs concerning manatees will be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Awareness signs that have already been approved for this use by the Florida Fish and Wildlife Conservation Commission (FWC) must be used (see MyFWC.com). One sign which reads Caution: Boaters must be posted. A second sign measuring at least 8 1/2" by 11" explaining the requirements for 'Idle Speed/No Wake' and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities.

Self-Certification Requirements:

The user agrees to the following:

1. The information provided herein is true and accurate.
2. **Construction of the project must be completed within one year from the self-certification date.** If the project cannot be completed within that time frame, or the project is to be modified, the Department must be contacted for authorization requirements.
3. Any substantial modifications in the plans for this project must be submitted to the Department for review, as changes may result in a permit being required.
4. This self-certification will automatically expire if site conditions materially change; if the terms, conditions, and limitations of the self-certification are not followed; or if the governing statutes or rules are amended before the project is completed.
5. Department personnel will be allowed to enter the property for purposes of inspecting the project for compliance with the terms and conditions of this self-certification.

**FLORIDA DEPARTMENT OF
Environmental Protection****Ron DeSantis**
GovernorBob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400**Jeanette Nuñez**
Lt. Governor**Noah Valenstein**
Secretary**Receipt for Submission****SELF-CERTIFICATION FOR A PROJECT AT A
PRIVATE, RESIDENTIAL SINGLE-FAMILY****03/22/2021**Self-Certification File No.: **0400821001EE**File Name: **26 Martis Gras Way Alligator Point, FL 32346 - Self-Certification Modify With Boat Lift (General)**

Dear **Debra Fadool**: On **03/22/2021** you used the Florida Department of Environmental Protection's electronic Self Certification Process to certify compliance with the terms and conditions of the Single-Family Dock ERP Exemption Self Certification Process for a project at private, single-family residence located at:

LAT - Degrees: **29** Minutes: **53** Seconds: **54.3174**LONG - Degrees: **-84** Minutes: **23** Seconds: **14.3367**SITE ADDRESS: **26 Martis Gras Way Alligator Point, FL 32346**COUNTY: **Franklin**

For:

Debra Ann Fadool**6387 Belgrand Drive Tallahassee, FL 32312**

You have certified that the project you propose to construct at the above location meets all the conditions of the Self-Certification Process. A project that is built in conformance to those conditions (attached for reference) will:

1. Qualify for a regulatory exemption under Section 403.813(1)(b) of the Florida Statutes (F.S.) and Chapter 62-330, Florida Administrative Code (F.A.C.). As such, it is exempt from the need to obtain a DEP Environmental Resource Permit.;
2. Qualify for Consent by Rule or Letter of Consent (as applicable) under Chapter 253, F.S. and Chapter 18-21, F.A.C. (and Chapter 258, F.S. and Chapter 18-20, F.A.C., if applicable), when the project is located on submerged lands owned by the State of Florida.

Your Self-Certification is based solely on the information you provided under this process, and applies only to the statutes and rules in effect when your certification was completed. The certification is effective only for the specific project proposed, and only if the project is constructed, operated, and maintained in conformance with all the terms, conditions, and limitations stated in the Self-Certification Process. In

addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required.

You have acknowledged that this Self Certification will automatically expire if:

1. Construction of the project is not completed within one year from the self-certification date;
2. site conditions materially change;
3. the terms, conditions, and limitations of the Self Certification are not followed; or
4. the governing statutes or rules are amended before construction of the project.

Completion of the Self Certification constitutes your authorization for Department or Corps personnel to enter the property for purposes of inspecting for compliance.

Receipt of this Self-Certification constitutes authorization to use sovereignty/state-owned submerged lands, as required by rule 18-21.005, F.A.C.

The authorization must be visibly posted during all construction activities.

In waters that are accessible to manatees, obtain information on your mandatory Manatee Protection sign by clicking [here](#).

FEDERAL STATE PROGRAMMATIC GENERAL PERMIT (SPGP)

You have certified that the project you propose to construct at the above location meets all the conditions of the SPGP Self-Certification Process and will be built in conformance to those conditions (attached for reference). Your proposed activity as certified is in compliance with the SPGP program. U.S. Army Corps of Engineers (Corps) Specific conditions apply to your project, attached. **No further permitting for this activity is required by the Corps. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.**

Notifications to the Corps. For all authorizations under this SPGP V-R1, including Self-Certifications, the Permittee shall provide the following notifications to the Corps:

1. Commencement Notification. Within 10 days before the date of initiating the work authorized by this permit or for each phase of the authorized project, the Permittee shall provide a written notification of the date of commencement of authorized work to the Corps
2. Corps Self-Certification Statement of Compliance form. Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the "Self-Certification Statement of Compliance" form (attached) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the "Self-Certification Statement of Compliance" form. The description of any deviations on the "Self-Certification Statement of Compliance" form does not constitute approval of any deviations by the Corps.
3. Permit Transfer. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form.
4. Reporting Address. The Permittee shall submit all reports, notifications, documentation, and correspondence required by the general and special conditions of this permit to the following

address.

1. For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Enforcement Section, P.O. Box 4970, Jacksonville, FL, 32232-0019.
2. For electronic mail: SAJ-RD-Enforcement@usace.army.mil (not to exceed 10 MB). The Permittee shall reference this permit number, SAJ-2015-2575 on all submittals.

This SPGP Self-Certification is based solely on the information you provided under this process, and applies only to the statutes and rules in effect when your certification was completed. You have recognized that your certification is effective only for the specific project proposed, and provided the project is constructed, operated, and maintained in conformance with all the terms, conditions, and limitations stated in the SPGP Self-Certification Process. This Self-Certification will not apply if any substantial modifications are made to the project. You agree to contact the Department for review of any plans to construct additional structures or to modify the project, as changes may result in a permit being required.

You have acknowledged that this Self-Certification will automatically expire if:

1. construction of the project is not completed by midnight, July 25, 2021, unless construction commenced or a contract to construct was executed before July 25, 2021, in which case the time limit for completing the work authorized by the SPGP ends at midnight, July 25, 2022. However, in no case can construction continue for more than one year beyond the Self-Certification date;
2. site conditions materially change;
3. the terms, conditions, and limitations of the Self-Certification are not followed; or
4. the governing statutes or rules are amended before construction of the project.

Completion of the Self-Certification constitutes your authorization for Department or Corps personnel to enter the property for purposes of inspecting for compliance.

If you have any questions, please contact your local Department District Office. Contact information can be found at:

https://floridadep.gov/sites/default/files/SLERC_contacts_web_map_01-2017_0.pdf.

For further information, contact the Corps directly at:

<https://www.saj.usace.army.mil/Missions/Regulatory.aspx>. When referring to your project, please use the SPGP Self-Certification file number listed above.

Authority for review - an agreement with the U.S. Army Corps of Engineers entitled Coordination Agreement between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.

ADDITIONAL INFORMATION

This Self-Certification Process does not relieve you from the responsibility of obtaining other permits or authorizations from other agencies (federal, state, Water Management District, or local) that may be required for the project. Failure to obtain all applicable authorizations prior to construction of the project may result in enforcement.

If you have any questions or issues with the attached documents, please contact your local Department

District Office:
Northwest District
NWD_ERP_Applications@FloridaDEP.gov

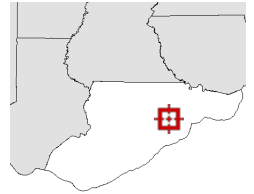
Sincerely,
Florida Department of Environmental Protection.

Attachments:

FDEP Terms and Conditions
SPGP Terms and Conditions
Project Design Criteria



Overview



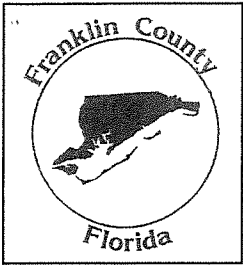
Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	06-07S-01W-0000-0290-0000	Alternate ID	01W07S06000002900000	Owner Address	FLING STEVEN E
Sec/Twp/Rng	6-7S-1W	Class	SINGLE FAM		147 HARBOR CIRCLE
Property Address	147 HARBOR CIR	Acreage	0.389		ALLIGATOR POINT, FL 32346
District	7				
Brief Tax Description	65X299.5 FT ON AKA TRACT 4				
	(Note: Not to be used on legal documents)				

Date created: 7/7/2021
 Last Data Uploaded: 7/7/2021 7:39:57 AM

Developed by  Schneider
 GEOSPATIAL



DOCK PERMIT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT
34 Forbes Street, Suite 1, Apalachicola, Florida 32320
Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____
FEE: \$ _____
C.S.I : \$ _____
TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:
VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:
ISSUANCE DATE: _____ EXPIRES: _____

EXISTING HOUSE: Yes No
DEP PERMIT: Yes No
ARMY COE PERMIT: Yes No
APPROVED: Yes No

APPLICATION MUST BE COMPLETE:

Property Owner/s: Steven Fling
Contact Information: Home #: 850-933-2385 Cell #: 850-933-2385
Mailing Address: 147 Harbor Circle City/State/Zip: Alligator Point, FL 32346
EMAIL Address: flingonthepoint@msn.com

Contractor Name: _____ Business Name: _____
Contact Information: Office #: _____ Cell #: _____
State License #: _____ County Registration #: _____
Mailing Address: _____ City/State/Zip: _____
EMAIL Address: _____ @ _____

PROPERTY DESCRIPTION:: _____
Lot/s: Tract 4 Block: _____ Alligator Harbor Unit: 1
Parcel Identification #: 06-07S-01W-0000-0290-0000

JURISDICTION: Franklin County Cit of Apalachicola City of Carrabelle
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point
X SINGLE FAMILY DOCK/PIER MULTI-FAMILY DOCK/PIER COMMERCIAL

DESCRIPTION: Proposed Dock w/2 Boat Lifts w/ROOFS

ZONING DISTRICT: _____ CONTRACT COST: _____
TOTAL SQUARE FOOT: _____ FOUNDATION TYPE: _____
ROOF MATERIAL: _____

APPROVED BY: Planning & Zoning Date: _____ County Commissioners Date: _____
 City of Carrabelle Date: _____ City of Apalachicola Date: _____

WATER BODY: East Bay
CRITICAL SHORELINE DISTRICT: YES OR NO CRITICAL HABITAT ZONE: YES OR NO

BUILDING OFFICIAL **Date** **OWNER (Required)** **Date** **CONTRACTOR (Required)** **Date**

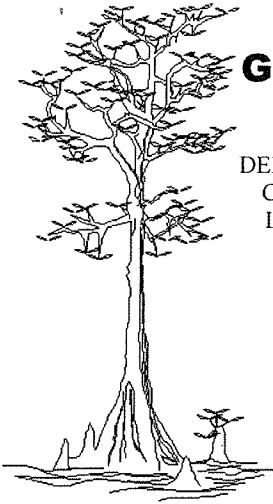
FRANKLIN COUNTY DOCK CHECKLIST & FEE SCHEDULE

CHECKLIST:

- Application
- DEP
- Army CORPS
- Site Plan
- Drawings (Approved by all entities)
- Approvals from local jurisdictions

FEE SCHEDULE:

DOCKS	SQUARE FOOT		X	\$5.00	=	\$
BOAT LIFTS	SQUARE FOOT		X	\$5.00	=	\$
TOTAL VALUATION:						\$
Critical Shoreline Fee:						\$ 100.00
PERMIT FEE:						\$



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL
 DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS •
 CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL
 LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE
 MARINA, DOCK, AND SUBDIVISION DESIGN

June 16, 2021

Ms Cortni Bankston
 Franklin County Planning & Zoning
 33 Commerce Street
 Apalachicola, FL 32320

Re: Planning and Zoning Agenda
 GEA File No. 21-150
 Steven Fling

Dear Ms. Cortni Bankston:

Please find attached an Application for Development for the referenced project. The proposed project consists of construction of a Single Family Residential Dock. Please find attached a copy of the FDEP permit for the referenced project. We have not received the permits from FDEP nor COE but hope to have it by the meeting.

As shown on the attached drawings, the access walkway for the proposed dock will be constructed 231 ft. in length and 4 ft. in width (924 Sq. Ft.). The terminus of the proposed dock will be constructed 26'x4.5', with a step down 26' x1.5' for a total of 160 sq. ft. Two boat lifts with roofs will also be constructed at the proposed dock, one on each side of the access walkway. Each boat lift will be built 16' by 26' (416 Sq. Ft.).

If you have any questions, please let us know.

Sincerely,

Kevin Burdette, Project Manager
 Garlick Environmental Associates, Inc.

Attachments

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Ssteven Fling

WATERBODY/CLASS: Alligator Harbor

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Alligator Harbor / Franklin County

LATITUDE: 29° 53' 48.2"

LONGITUDE: 84° 22' 29.5"

SECTION: 6 TOWNSHIP: 7 South

RANGE: 1 West

JOB: 21-150

DEP:

COE:

OTHER:

DATE: May 25, 2021

SHEET: 1/4



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Steven E. Fling

WATERBODY/CLASS: Alligator Harbor

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Alligator Harbor, Franklin County

LATITUDE: 29° 53' 48.2"

LONGITUDE: 84° 22' 29.5"

SECTION: 27 TOWNSHIP: 4

RNG: 29

JOB: 21-150

DEP:

COE:

OTHER:

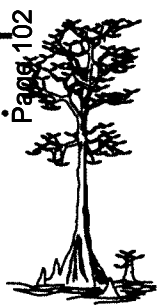
DATE: May 25, 2021

SHEET: 2/4



Page 101





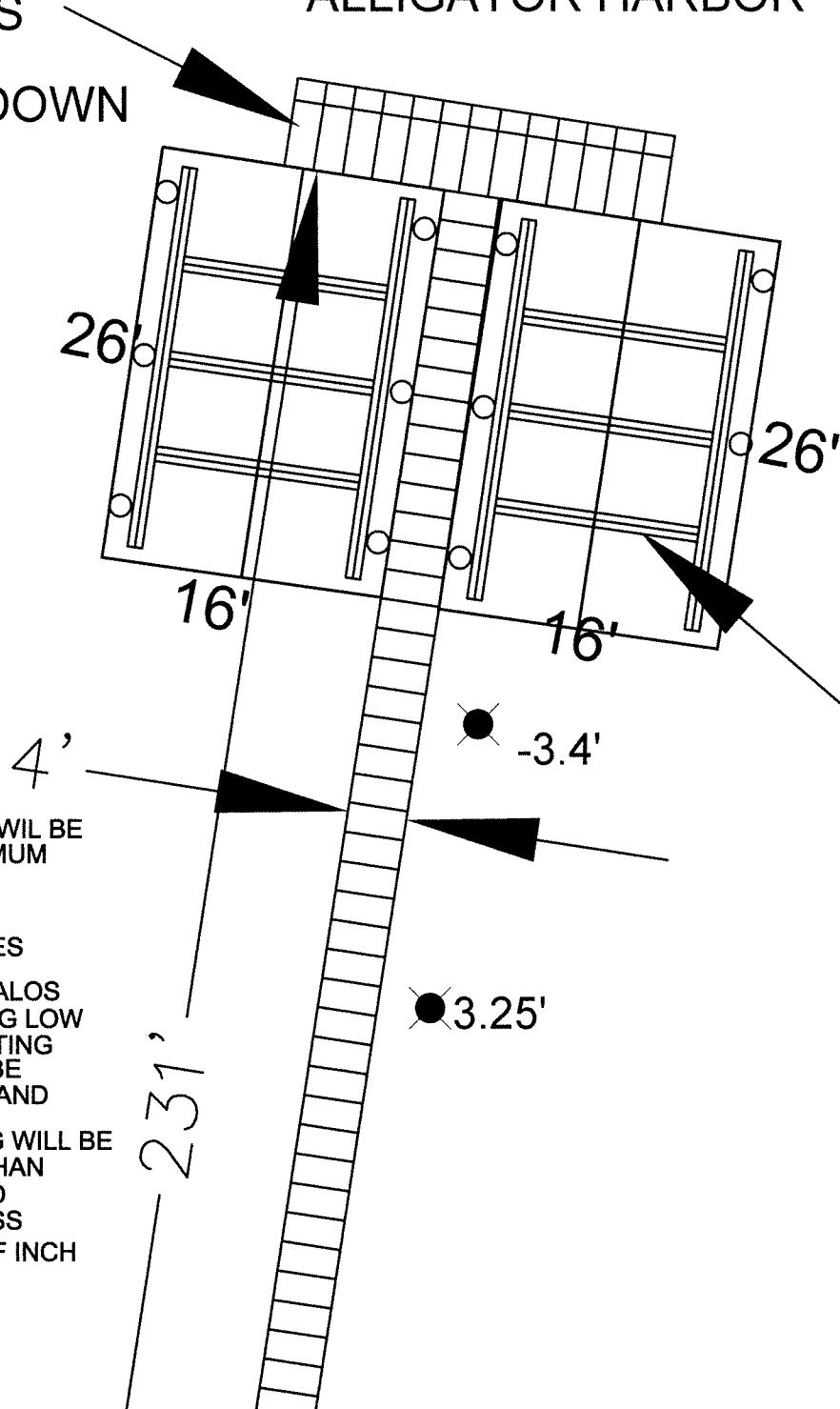
PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

APPLICANT/CLIENT: Steven E. Fling
WATERBODY/CLASS: Alligator Harbor
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Alligator Point / Franklin County
LATITUDE:
LONGITUDE:
SECTION: 27 TOWNSHIP: 4 South RING: 29 West

JOB: 21-150
DEP:
COE:
OTHER:
DATE: May 25, 2021
SHEET: 3/4

PROPOSED
TERMINUS
26' X 4.5'
W/STEP DOWN
26' X 1.5'

ALLIGATOR HARBOR



PROPOSED
(2) BOAT LIFTS
WITH ROOF
26' X 16'

WOOD PILINGS WILL BE
PLACED A MINIMUM
OF 10' APART

PILINGS SIZE
WILL BE 6 INCHES

ANY DONUTS/HALOS
FORMED DURING LOW
PRESSURE JETTING
OF PILES WILL BE
REMOVED BY HAND

WOOD DECKING WILL BE
NO GREATER THAN
8" IN WIDTH AND
SPACED NO LESS
THAN ONE-HALF INCH
APART AFTER
SHRINKAGE.



NOT TO SCALE

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Steven E. Fling

WATERBODY/CLASS: Alligator Harbor

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Alligator Harbor, Franklin County

LATITUDE: 29± 53' 48.2"

LONGITUDE: 84° 22' 29.5"

SECTION: 27 TWSHP: 4

RNG: 29

JOB: 21-150

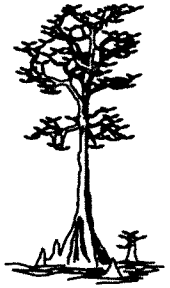
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COE:

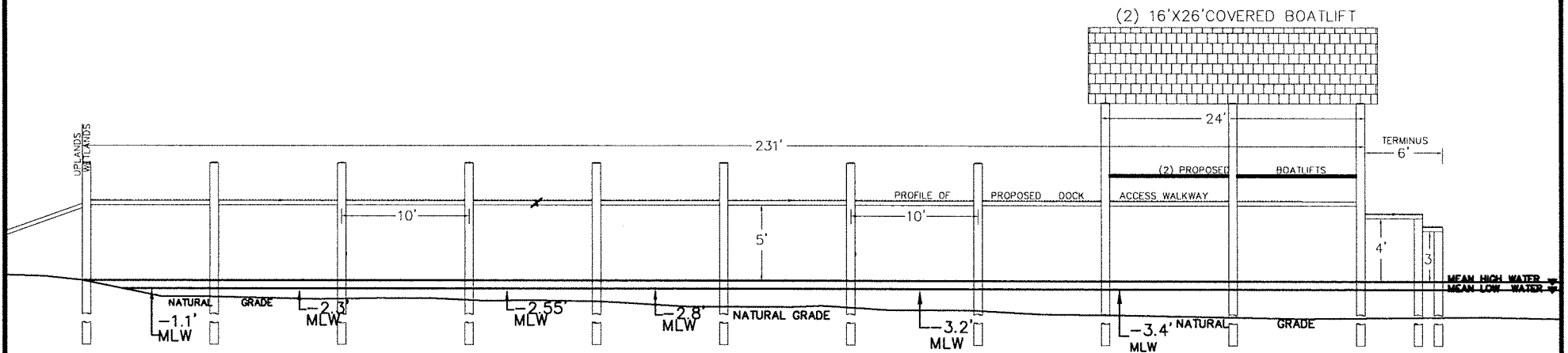
OTHER:

DATE: May 25, 2021

SHEET: 4/4



CROSS SECTION
OF PROPOSED DOCK
Not To Scale



WOOD PILINGS WILL BE
PLACED A MINIMUM
OF 10' APART

PILINGS SIZE
WILL BE 6 INCHES

ANY DONUTS/HALOS
FORMED DURING LOW
PRESSURE JETTING
OF PILES WILL BE
REMOVED BY HAND

WOOD DECKING WILL BE
NO GREATER THAN
8" IN WIDTH AND
SPACED NO LESS
THAN ONE-HALF INCH
APART AFTER
SHRINKAGE.

These drawings are for
permitting purposes
only. Not intended for
construction purposes

Owner



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	06-07S-01W-0000-0290-0000	Alternate ID	01W07S06000002900000	Owner Address	FLING STEVEN E
Sec/Twp/Rng	6-7S-1W	Class	SINGLE FAM		147 HARBOR CIRCLE
Property Address	147 HARBOR CIR	Acreage	0.389		ALLIGATOR POINT, FL 32346
District	7				
Brief Tax Description	65X299.5 FT ON AKA TRACT 4 (Note: Not to be used on legal documents)				

Date created: 5/19/2021
 Last Data Uploaded: 5/19/2021 7:42:50 AM

Developed by Schneider
 GEOSPATIAL

Parcel Summary

Parcel ID 06-075-01W-0000-0290-0000
Location Address 147 HARBOR CIR
 32346
Brief Tax Description* 65X299.5 FT ON AKA TRACT 4 ALLIGATOR HARBOR 799/263 1044/742
* The Description above is not to be used on legal documents.
Property Use Code SINGLE FAM (000100)
Sec/Twp/Rng 6-75-1W
Tax District Alligator Point (District 7)
Millage Rate 13.022
Acreage 0.389
Homestead Y

[View Map](#)

Owner Information

Primary Owner
 Fling Steven E
 147 Harbor Circle
 Alligator Point, FL 32346

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
011103	APT BAY FRONT	16,960.00	SF	80	212

Residential Buildings

Building 1
Type ALPT PILIN
Total Area 1,219
Heated Area 768
Exterior Walls AVERAGE
Roof Cover COMP SHNGL
Interior Walls PLYWOOD
Frame Type N/A
Floor Cover CARPET
Heat AIR DUCTED
Air Conditioning CENTRAL
Bathrooms 1
Bedrooms 0
Stories 1
Effective Year Built 1977

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0080	DECK	1	4 x 4 x 0	16	SF	1977
0665	STEPS W/RAILS	1	14 x 4 x 0	56	SF	1977
0320	CONCRETE	1	23 x 24 x 0	552	SF	1977
0020	BARN BLOCK	1	9 x 16 x 0	144	UT	1982

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	09/07/2011	\$225,000	WD	1044	742	Qualified (Q)	Improved	NOEL	FLING
N	07/07/2004	\$100	WD	799	263	Unqualified (U)	Improved	NOEL	NOEL FAMILY TRUST

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$73,856	\$50,721	\$51,451	\$51,451	\$52,181
Extra Features Value	\$3,094	\$3,094	\$3,094	\$3,094	\$3,094
Land Value	\$169,600	\$169,600	\$135,680	\$135,680	\$118,720
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$246,550	\$223,415	\$190,225	\$190,225	\$173,995
Assessed Value	\$167,202	\$163,443	\$160,395	\$157,096	\$153,865
Exempt Value	\$50,000	\$50,000	\$50,000	\$50,000	\$50,000
Taxable Value	\$117,202	\$113,443	\$110,395	\$107,096	\$103,865
Maximum Save Our Homes Portability	\$79,348	\$59,972	\$29,830	\$33,129	\$20,130

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

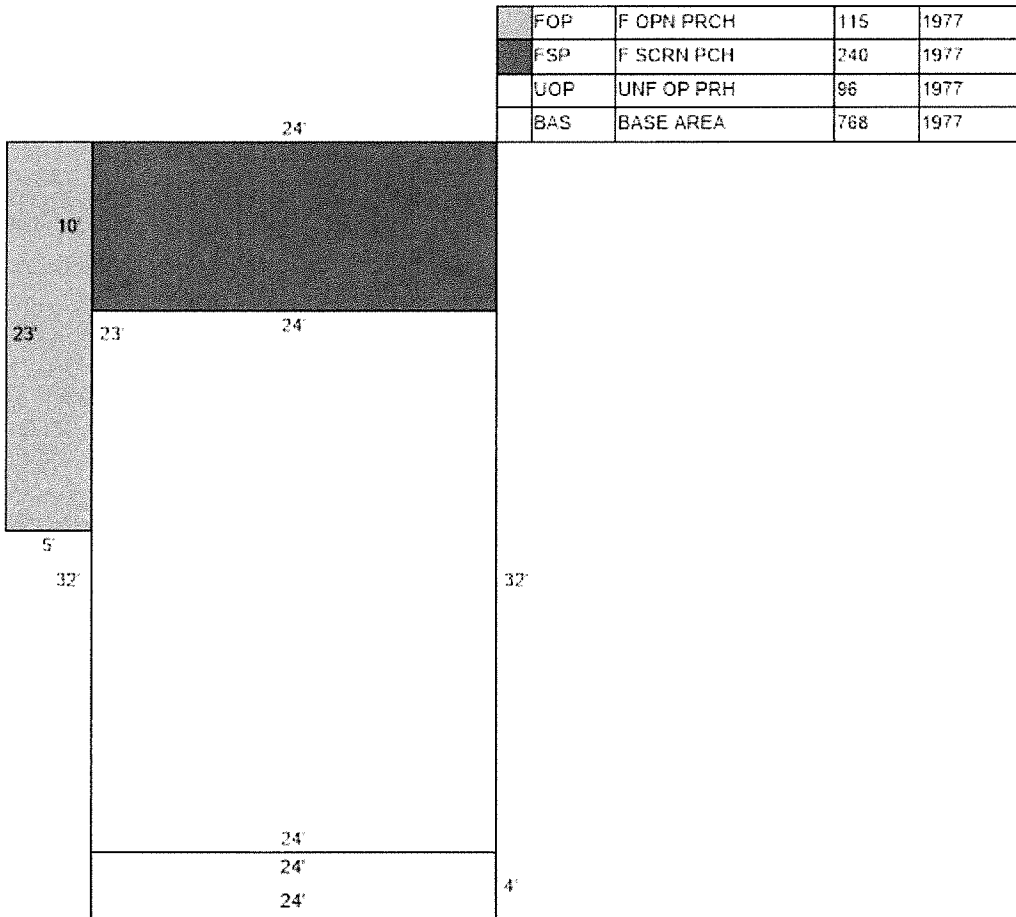
TRIM Notice 2020



TRIM Notice 2019



Sketches



THIS INSTRUMENT PREPARED BY AND RETURN TO:

JAN H. COLVIN
WAKULLA TITLE COMPANY, INC.
3004 Crawfordville Highway
Crawfordville, FL 32326

Inst:201119014947 Date:9/9/2011 Time:3:56 PM
Doc Stamp-Deed:1575.00
CBS DC, Marcia Johnson, Franklin County B:1044 P:742

Property Appraisers Parcel Identification (Folio) Numbers: 06-07S-01W-0000-0290-0000

Space Above This Line For Recording Data

THIS WARRANTY DEED, made the 7th day of September, 2011 by HARRY S. NOEL and ETHEL L. NOEL, TRUSTEES, OF THE HARRY S. NOEL AND ETHEL L. NOEL FAMILY TRUST UTA dated 6/14/2004, herein called the grantors, to STEVEN E. FLING, whose post office address is 147 HARBOR CIRCLE, ALLIGATOR POINT, FL 32346, hereinafter called the Grantee;

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantors, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in FRANKLIN County, State of Florida, viz.:

SEE EXHIBIT 'A' ATTACHED HERETO AND MADE A PART HEREOF.

Subject to restrictions, easements and reservations of record, if any, not specifically reimposed or extended hereby.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantors hereby covenant with said grantee that the grantors are lawfully seized of said land in fee simple; that the grantors have good right and lawful authority to sell and convey said land, and hereby warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2010.

IN WITNESS WHEREOF, the said grantors have signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
Witness #1 Signature

Jan H Colvin
Witness #1 Printed Name

[Signature]
Witness #2 Signature

Trease Wright
Witness #2 Printed Name

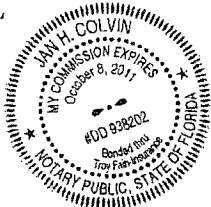
[Signature]
HARRY S. NOEL, Individually and as Trustee
1150 OLD FORT DRIVE, TALLAHASSEE, FL 32301

[Signature]
ETHEL L. NOEL, Individually and as Trustee
1150 OLD FORT DRIVE, TALLAHASSEE, FL 32301

STATE OF FLORIDA
COUNTY OF WAKULLA

The foregoing instrument was acknowledged before me this 7th day of September, 2011 by HARRY S. NOEL and ETHEL L. NOEL who are personally known to me or have produced FLDL as identification.

SEAL



[Signature]
Notary Public

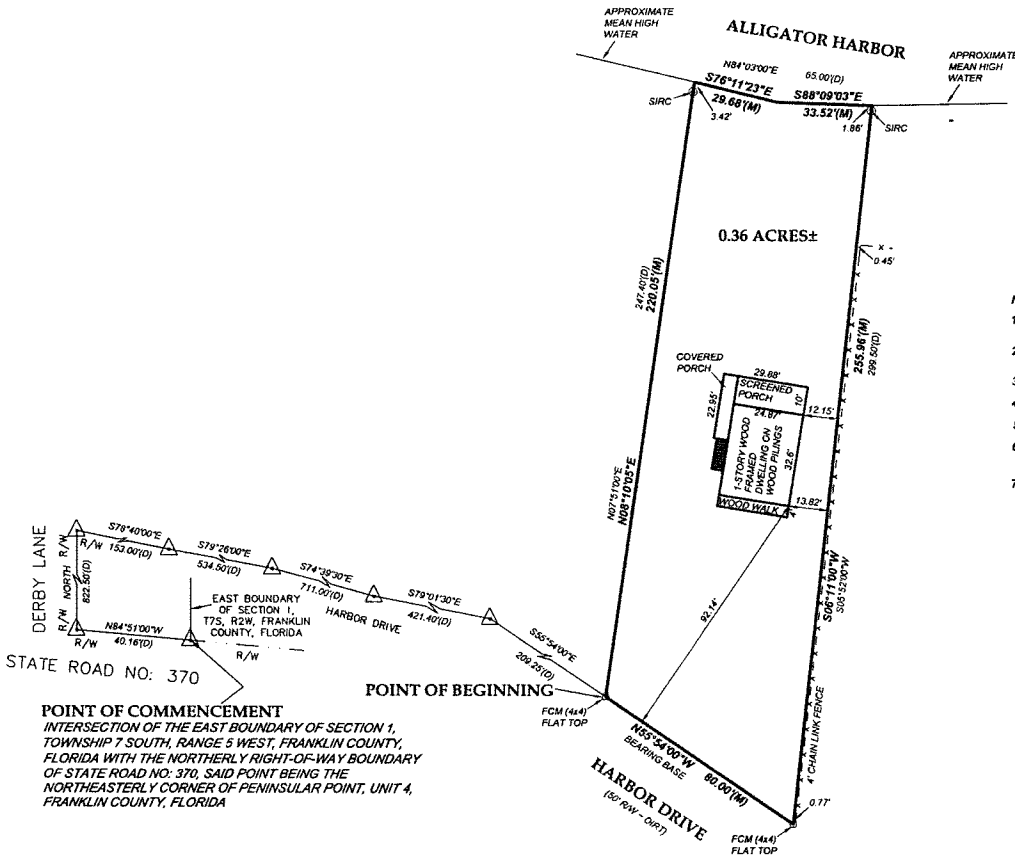
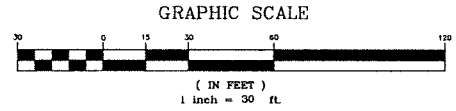
Printed Notary Name

EXHIBIT "A"

TRACT 4

Commence at the point of intersection of the East boundary of Section 1, Township 7 South, Range 2 West, with the Northern boundary of Gulf Shore Boulevard (State Road No. 370), said point being marked by a concrete monument and being the Northeastern corner of lands platted as Peninsular Point Unit No. 4, said plat being of record in the Office of the Clerk of the Circuit Court of Franklin County, Florida; from said point run thence North 84 degrees 51 minutes West 40.16 feet along the Northern boundary of Gulf Shore Boulevard to a point marked by a concrete monument and being the Southeast corner of a lot deeded by Peninsular Point, Inc., a Florida corporation, as grantor to R. E. Kestner of Leon County, Florida, as grantee, in December 1949, said Kestner property being a strip of land approximately 100 feet in width extending from the Northern boundary of said Gulf Shore Boulevard (State Road No. 370) North to the waters of Alligator Bay, also known as Alligator Harbor, and being bounded on the West by certain lands of the State Board of Education of Florida, a public corporation of the State of Florida (F.S.U. Marine Laboratory), from the said Southeast corner of the said R. E. Kestner property deeded to R. E. Kestner about December 1949, as aforesaid, run thence due North along the East boundary of the said R. E. Kestner property and parallel to the East boundary line of Section 1, Township 7 South, Range 2 West, a distance of 822.5 feet to a point, thence run South 78 degrees 40 minutes East a distance of 153.0 feet, thence South 79 degrees 26 minutes East 534.5 feet, thence South 74 degrees 39 minutes 30 seconds East 711 feet, to a point marked by a concrete monument, thence South 79 degrees 01 minutes 30 seconds East 421.4 feet, thence South 55 degrees 54 minutes East along the Northern boundary of a proposed 50 foot right-of-way containing an existing rock paved street or road, a distance of 209.25 feet to the Point of Beginning; from the Point of Beginning, run North 7 degrees 51 minutes East 247.4 feet to the South shore of Alligator Bay, also known as Alligator Harbor, thence North 84 degrees 03 minutes East along the said Southern shore line 65 feet, thence South 5 degrees 52 minutes West 299.5 feet to the Northern boundary of the said right-of-way of the proposed road, thence North 55 degrees 54 minutes West along the said Northern boundary of the proposed road right-of-way a distance of 80 feet to the Point of Beginning, in Fractional Section 6, Township 7 South, Range 1 West, Franklin County, pursuant to the attached plat, with permanent right of ingress, egress, and regress to, from and over said proposed right-of-way and said rock paved road, including a connecting causeway to S.R. 370 (Gulf Shore Boulevard), said Tract 4 fronting on Alligator Bay Beach and located on the bay-harbor side of the island type peninsular now commonly known as Alligator Point; same being a part of the property conveyed by deed dated July 14, 1969 from Harry Morrison and wife to B. K. Roberts and recorded at Page 576, Volume 91, Official Records of Franklin County, Florida.

**PLAT OF BOUNDARY SURVEY CERTIFIED TO:
STEVE FLING**



POINT OF COMMENCEMENT
INTERSECTION OF THE EAST BOUNDARY OF SECTION 1,
TOWNSHIP 7 SOUTH, RANGE 5 WEST, FRANKLIN COUNTY,
FLORIDA WITH THE NORTHERLY RIGHT-OF-WAY BOUNDARY
OF STATE ROAD NO. 370, SAID POINT BEING THE
NORTHEASTERLY CORNER OF PENINSULAR POINT, UNIT 4,
FRANKLIN COUNTY, FLORIDA

- NOTES:**
1. SURVEY SOURCE: Deed of record and a field survey performed by the undersigned surveyor.
 2. BEARING REFERENCE: Northernly right-of-way boundary of Harbor Drive being North 55 degrees 54 minutes 00 seconds West as per record deed.
 3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
 4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
 5. This survey is dependent upon EXISTING MONUMENTATION.
 6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 7. See attached sheet for legal description.

LEGEND

△	POINT NOT SET OR FOUND
FIRC	FOUND IRON ROD & CAP
SIRC	SET 5/8" RE-ROD #7160
DEP	DEPARTMENT OF ENVIRONMENTAL PROTECTION
M	MEASURED
D	DEED CALL
R/W	RIGHT-OF-WAY
NOT TO SCALE	
POB	POINT OF BEGINNING

FLOOD ZONE INFORMATION: Subject property is located in Zone "VE" (EL 17) as per Flood Insurance Rate Map Community Panel Number: 120088 0294E, Index Date: June 17, 2002, Franklin County, Florida.

I hereby certify that this is a true and correct representation of the property shown hereon and that this survey meets the minimum technical standards for land surveying (Chapter 61G17-6, Florida Administrative Code).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No: 4261

THURMAN RODDENBERRY & ASSOCIATES, INC PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 310 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 904-942-2376 FAX NUMBER: 904-942-1183 L.B. # 7160			
FILE: 12104.DWG	DATE OF LAST FIELD WORK: 04/23/12	JOB NUMBER: 12-104	

Adjacent Neighbor



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	06-075-01W-0000-0260-0000	Alternate ID	01W07506000002600000	Owner Address	ELWELL DARRELL H
Sec/Twp/Rng	6-7S-1W	Class	SINGLE FAM		149 HARBOR CIRDRIVE
Property Address	149 HARBOR CIR	Acreage	0.408		ALLIGATOR POINT, FL 32346-5131
District	7				
Brief Tax Description	TRACT 3 78 FT X 208 FT X				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 5/26/2021
 Last Data Uploaded: 5/26/2021 7:43:01 AM

Developed by  Schneider
 GEOSPATIAL

Parcel Summary

Parcel ID 06-075-01W-0000-0260-0000
Location Address 149 HARBOR CIR
 32346
Brief Tax Description* TRACT 3 78 FT X 208 FT X 78 FT X 247 FT OR/106/89 OR 139/552 OR/169/497 OR 139/552 OR 169/497 642/744
**The Description above is not to be used on legal documents.*
Property Use Code SINGLE FAM (000100)
Sec/Twp/Rng 6-7S-1W
Tax District Alligator Point (District 7)
Millage Rate 13.022
Acreage 0.408
Homestead Y

[View Map](#)
Owner Information

Primary Owner
 Elwell Darrell H
 149 Harbor Cir Drive
 Alligator Point, FL 323465131

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
011103	APT BAY FRONT	17,784.00	SF	78	228

Residential Buildings

Building 1
Type ALPT PILIN
Total Area 1,644
Heated Area 920
Exterior Walls AVERAGE
Roof Cover COMP SHNGL
Interior Walls PLYWOOD
Frame Type N/A
Floor Cover VINYL ASB; CARPET
Heat AIR DUCTED
Air Conditioning CENTRAL
Bathrooms 2
Bedrooms 0
Stories 1
Effective Year Built 1983

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0080	DECK	1	0 x 0 x 0	416	SF	2000
0300	STEPS	1	0 x 0 x 0	52	UT	0
0330	STORAGE, UTILITY	1	0 x 0 x 0	200	UT	0
0320	CONCRETE	1	0 x 0 x 0	600	UT	0
0340	SHOWER	1	0 x 0 x 0	16	UT	0
0300	STEPS	1	0 x 0 x 0	25	UT	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	06/29/2000	\$135,000	WD	642	744	Unqualified (U)	Improved	MCGOWAN	ELWELL
N	07/01/1980	\$65,950	WD	169	497	Unqualified (U)	Vacant		

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$91,365	\$62,727	\$63,592	\$63,592	\$64,457
Extra Features Value	\$5,901	\$5,901	\$5,901	\$5,901	\$5,901
Land Value	\$177,840	\$177,840	\$142,272	\$142,272	\$124,488
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$275,106	\$246,468	\$211,765	\$211,765	\$194,846
Assessed Value	\$84,013	\$82,124	\$80,593	\$78,935	\$77,311
Exempt Value	\$50,000	\$50,000	\$50,000	\$50,000	\$50,000
Taxable Value	\$34,013	\$32,124	\$30,593	\$28,935	\$27,311
Maximum Save Our Homes Portability	\$191,093	\$164,344	\$131,172	\$132,830	\$117,535

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

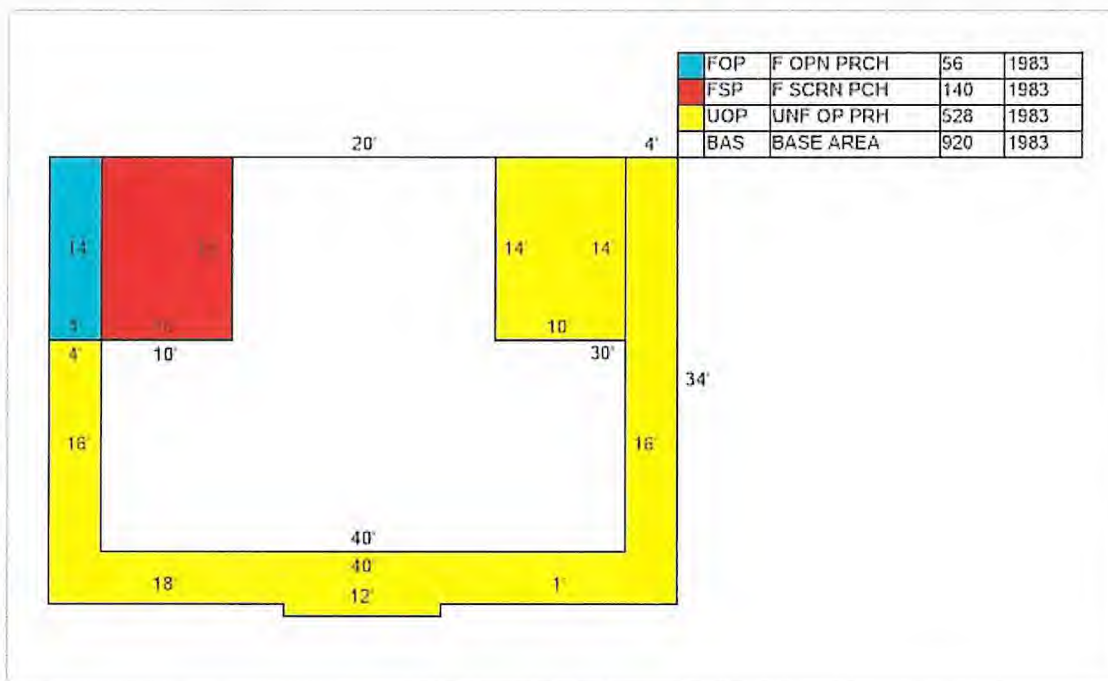
TRIM Notice 2020



TRIM Notice 2019



Sketches



No data available for the following modules: Commercial Buildings.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

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 Schneider
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Adjacent Neighbor



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	06-075-01W-0000-0130-0000	Alternate ID	01W07506000001300000	Owner Address	DAVIS ALAN & KAREN
Sec/Twp/Rng	6-75-1W	Class	SINGLE FAM		143 HARBOR CIRCLE
Property Address	143 HARBOR CIRCLE	Acreeage	0.439		PANACEA, FL 32346
District	7				
Brief Tax Description	85 FT X 355.1 FT A.K.A. LOT 5				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 5/26/2021
 Last Data Uploaded: 5/26/2021 7:43:01 AM

Developed by  **Schneider**
 GEOSPATIAL

Parcel Summary

Parcel ID 06-075-01W-0000-0130-0000
Location Address 143 HARBOR CIRCLE
 32346
Brief 85 FT X 355.1 FT A.K.A. LOT 5 ALLIGATOR HARBOR UN-RECORDED OR 95/396-97 186/346 225/376 335/48 443/240 446/229 477/177 610/215
Tax Description* 1227/531 1235/536
 *The Description above is not to be used on legal documents.
Property Use Code SINGLE FAM (000100)
Sec/Twp/Rng 6-75-1W
Tax District Alligator Point (District 7)
Millage Rate 13.022
Acreage 0.439
Homestead N

[View Map](#)
Owner Information

Primary Owner
 Davis Alan & Karen
 143 Harbor Circle
 Panacea, FL 32346

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
011103	APT BAY FRONT	19,125.00	SF	85	225

Residential Buildings

Building 1
Type SINGLE FAM
Total Area 1,536
Heated Area 1,200
Exterior Walls AVERAGE
Roof Cover COMP SHINGL
Interior Walls PLYWOOD
Frame Type N/A
Floor Cover CARPET
Heat AIR DUCTED
Air Conditioning CENTRAL
Bathrooms 2
Bedrooms 3
Stories 2
Effective Year Built 1976

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0300	STEPS	1	0 x 0 x 0	12	UT	0
0080	DECK	1	0 x 0 x 0	45	UT	0
0320	CONCRETE	1	0 x 0 x 0	72	UT	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	02/05/2019	\$115,000	WD	1235	536	Unqualified (U)	Improved	MTGLQ INVESTORS, L.P.	DAVIS
N	09/11/2018	\$100	CT	1227	531	Unqualified (U)	Improved	WHITE	MTGLQ
N	01/20/1999	\$77,000	WD	610	215	Qualified (Q)	Improved	GREENE DEANNA JANE	WHITE PAMELA
N	01/09/1991	\$48,535	WD	335	48	Qualified (Q)	Improved	AKINS	METER

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$65,005	\$65,479	\$56,938	\$56,938	\$57,752
Extra Features Value	\$422	\$422	\$422	\$422	\$422
Land Value	\$191,250	\$191,250	\$153,000	\$153,000	\$133,875
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$256,677	\$257,151	\$210,360	\$210,360	\$192,049
Assessed Value	\$256,677	\$257,151	\$210,360	\$91,211	\$89,335
Exempt Value	\$0	\$0	\$50,000	\$50,000	\$50,000
Taxable Value	\$256,677	\$257,151	\$160,360	\$41,211	\$39,335
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$119,149	\$102,714

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

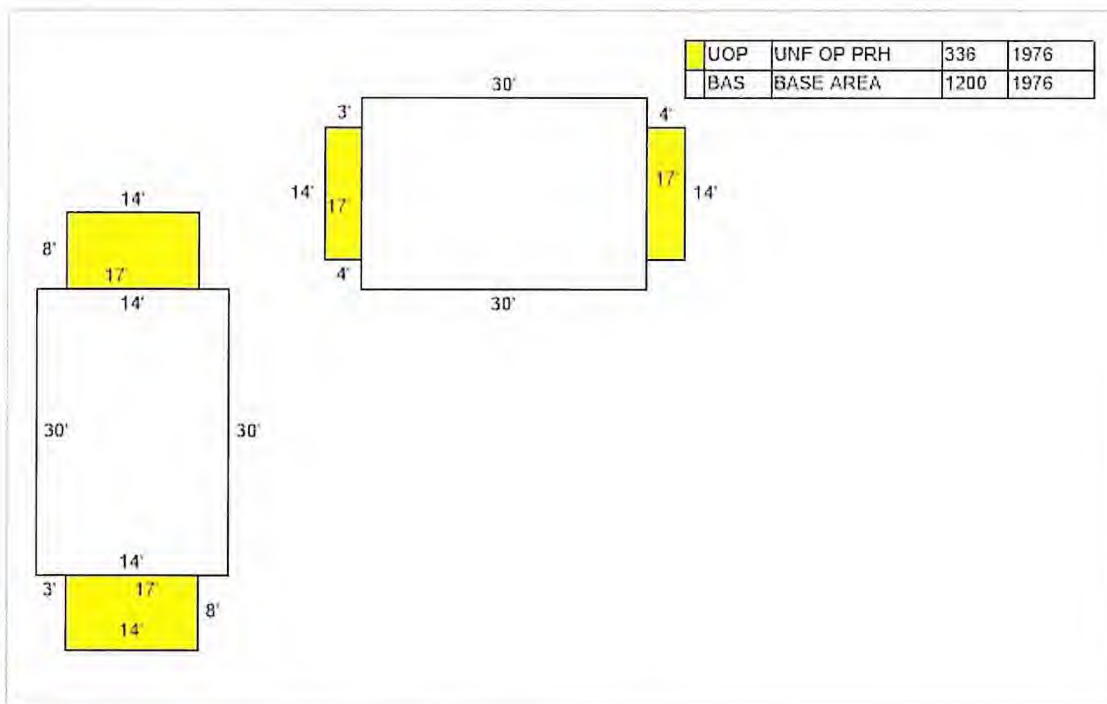
TRIM Notice 2020



TRIM Notice 2019



Sketches



No data available for the following modules: Commercial Buildings.

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Version 2.3.121



Owner



Overview



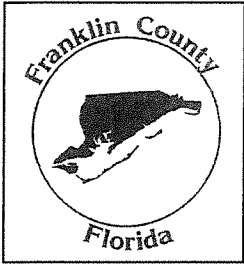
Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	24-075-05W-0180-0005-0030	Alternate ID	05W07524018000050030	Owner Address	BLUE GRAY VENTURES,LLC
Sec/Twp/Rng	24-7S-5W	Class	SINGLE FAM		229 BENJAMIN HILL ROAD
Property Address	333 RIVER RD	Acreage	0.252		FITZGERALD, GA 31750
District	1				
Brief Tax Description	BL 5 CARRABELLE RIVER SUB				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 6/23/2021
 Last Data Uploaded: 6/23/2021 8:06:36 AM

Developed by  **Schneider**
 GEOSPATIAL



DOCK PERMIT APPLICATION
FRANKLIN COUNTY BUILDING DEPARTMENT
 34 Forbes Street, Suite 1, Apalachicola, Florida 32320
 Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

Page 117

PERMIT # _____
 FEE: \$ _____
 C.S.I : \$ _____
 TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:
VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:
 ISSUANCE DATE: _____ EXPIRES: _____

EXISTING HOUSE: Yes No
DEP PERMIT: Yes No
ARMY COE PERMIT: Yes No
APPROVED: Yes No

APPLICATION MUST BE COMPLETE:

Property Owner/s: John Mooney – Blue Gray Ventures
 Contact Information: Home #: _____ Cell #: 70640-3874
 Mailing Address: 229 Benjamin H. Hill City/ Fitzgerald State/ GA Zip: 31750 Alligator Point, FL 32346
 EMAIL Address: johnwmooney@gmail.com
 Contractor Name: _____ Business Name: _____
 Contact Information: Office #: _____ Cell #: _____
 State License #: _____ County Registration #: _____
 Mailing Address: _____ City/State/Zip: _____
 EMAIL Address: _____ @ _____

PROPERTY DESCRIPTION::

Lot/s: 3 & N35 Ft of Lot 4 Block: 5 Unit: _____
 Parcel Identification #: 24-07S-05W-0180-0005-0030

JURISDICTION: Franklin County Cit of Apalachicola City of Carrabelle
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

SINGLE FAMILY DOCK/PIER **MULTI-FAMILY DOCK/PIER** **COMMERCIAL**

DESCRIPTION: Single Family Residential Dock w- 1 Boat Lift with Roof

ZONING DISTRICT: _____ CONTRACT COST: _____

TOTAL SQUARE FOOT: _____ FOUNDATION TYPE: _____

ROOF MATERIAL: _____

APPROVED BY: **Planning & Zoning Date:** _____ **County Commissioners Date:** _____
 City of Carrabelle Date: _____ **City of Apalachicola Date:** _____

WATER BODY: Carrabelle River
 CRITICAL SHORELINE DISTRICT: YES OR NO CRITICAL HABITAT ZONE: YES OR NO

BUILDING OFFICIAL **Date** **OWNER (Required)** **Date** **CONTRACTOR (Required)** **Date**

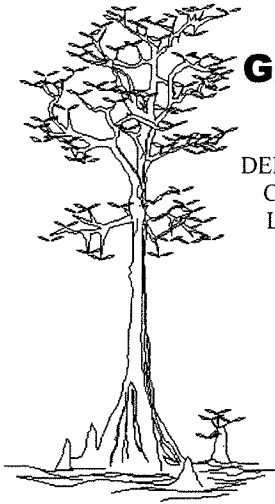
FRANKLIN COUNTY DOCK CHECKLIST & FEE SCHEDULE

CHECKLIST:

- Application
- DEP
- Army CORPS
- Site Plan
- Drawings (Approved by all entities)
- Approvals from local jurisdictions

FEE SCHEDULE:

DOCKS	SQUARE FOOT		X	\$5.00	=	\$
BOAT LIFTS	SQUARE FOOT		X	\$5.00	=	\$
TOTAL VALUATION:						\$
Critical Shoreline Fee:						\$ 100.00
PERMIT FEE:						\$



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL
DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS •
CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL
LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE
MARINA, DOCK, AND SUBDIVISION DESIGN

June 24, 2021

Cortni Bankston
Franklin County Planning & Zoning
33 Commerce Street
Apalachicola, FL 32320

Re: Planning and Zoning Agenda
GEA File No. 20-194
John Mooney/Blue Gray Ventures

Dear Ms. Bankston:

Please find attached an Application for Development for the referenced project. The proposed project consists of development of RV Park.

Attached are the following information sheets:

- 1) Application for Development
- 2) Cad drawings indicting the proposed dock and boat lift;
- 3) Proof of Ownership in the form of a Warranty Deed;
- 4) Property Appraiser Sheet for Owner;
- 5) Property Appraiser Sheets for Adjacent Neighbors

If you have any questions, please let us know.

Sincerely,

A handwritten signature in black ink, appearing to read 'K. Burdette'.

Kevin Burdette, Project Manager
Garlick Environmental Associates, Inc.

Attachments

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: John Mooney

WATERBODY/CLASS: Carrabelle River

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Carrabelle - Franklin County

LATITUDE: 29.85485

LONGITUDE: 84.69055

SECTION: 24 TOWNSHIP: 7 South

RANGE: 5 West

JOB: 21-194

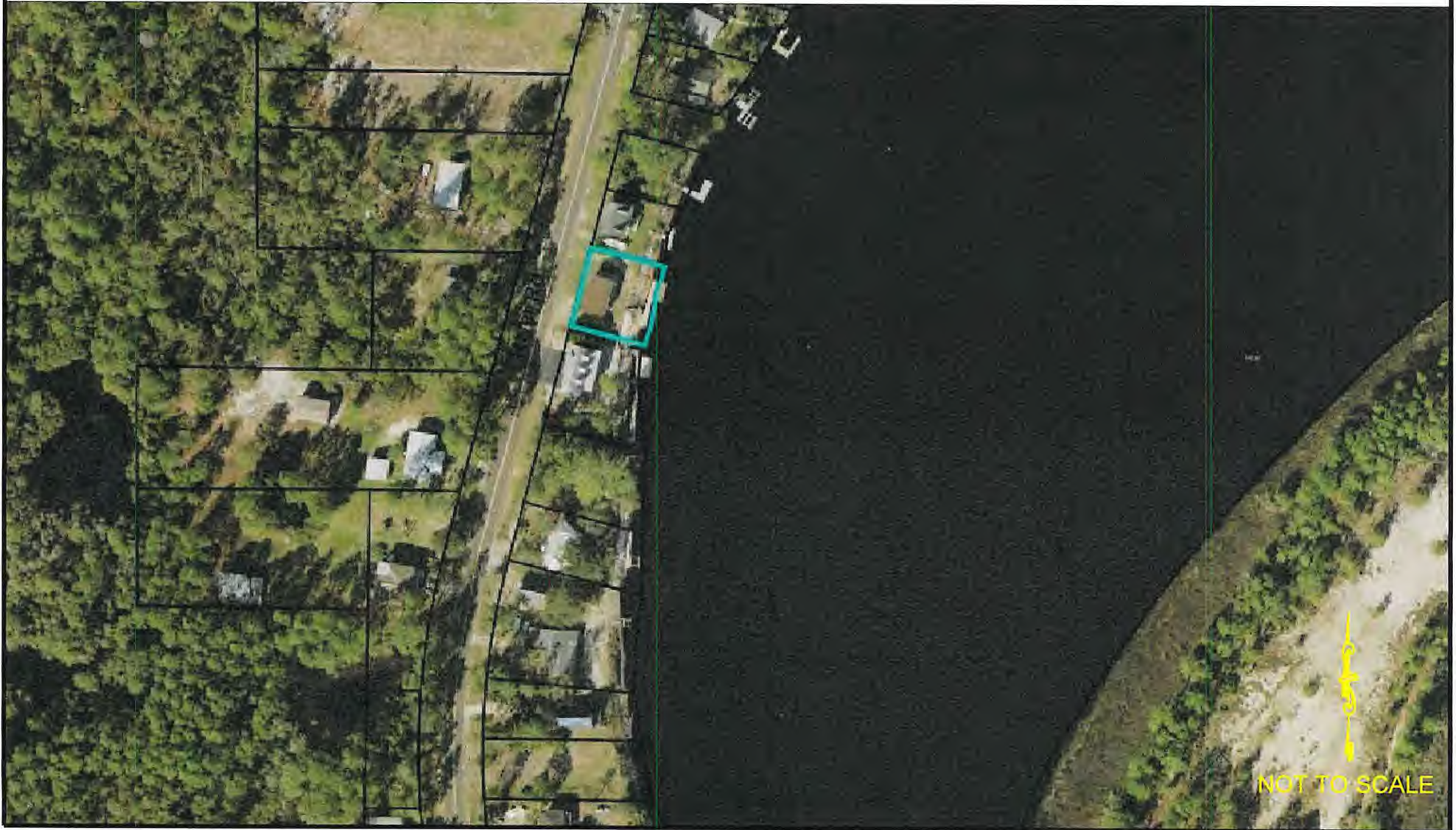
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COE:

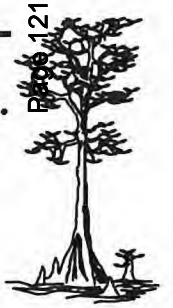
OTHER:

DATE: June 18, 2021

SHEET: 1/4

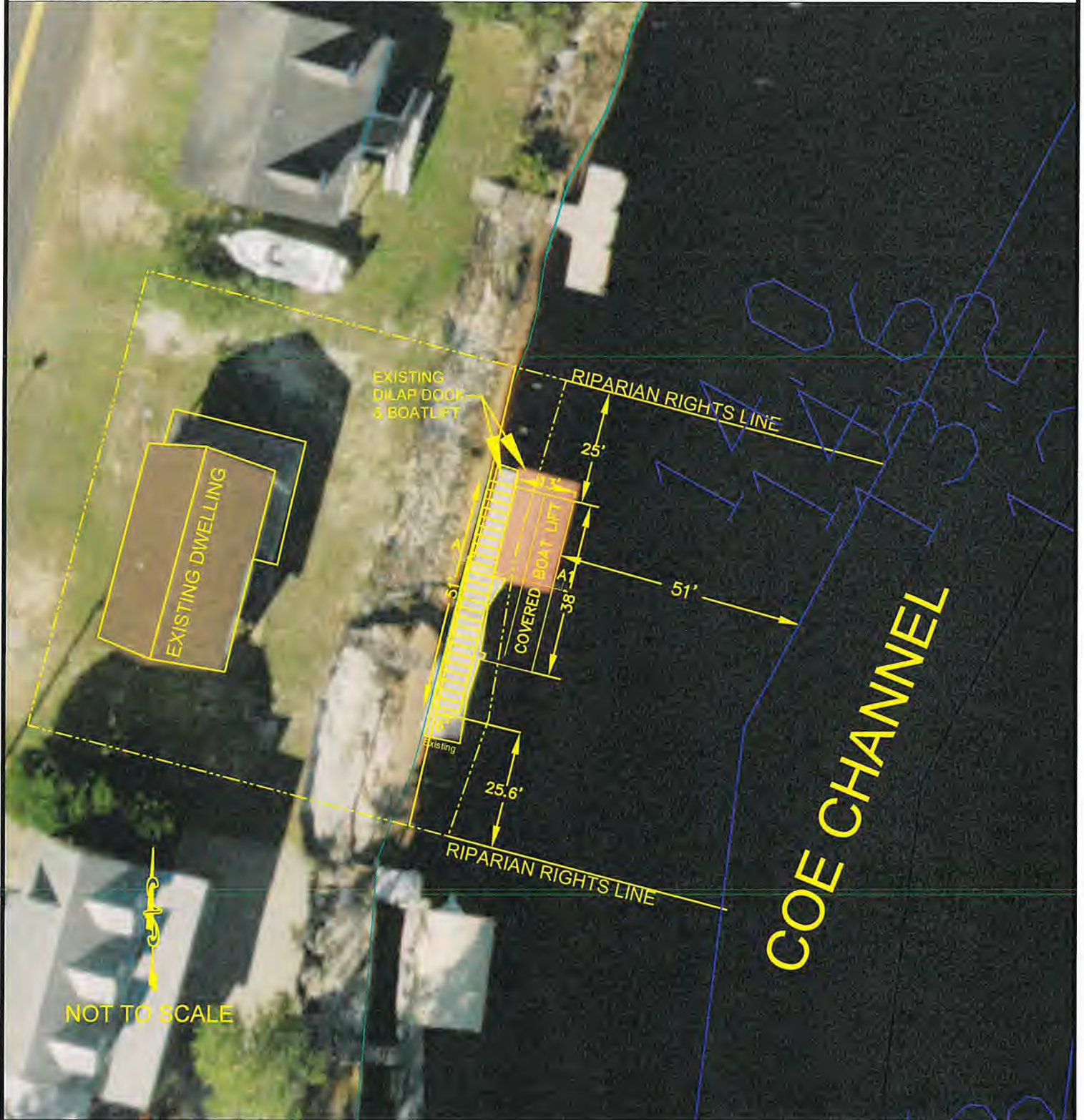


PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: John Mooney
WATERBODY/CLASS: Carrabelle River
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Franklin County
LATITUDE: 29 43' 35.31"
LONGITUDE: 84° 58' 52.10"
SECTION: 1 TWSHP: 9 South RNG: 8 West

JOB: 21-194
DEP:
COE:
OTHER:
DATE: June 18, 2021
SHEET: 2/4



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: John Mooney

WATERBODY/CLASS: Carrabelle River

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Carrabelle / Franklin County

LATITUDE: 29.85485

LONGITUDE: 84.69055

SECTION: 24 TWSHP: 7 South

RNG: 5 West

JOB: 21-194

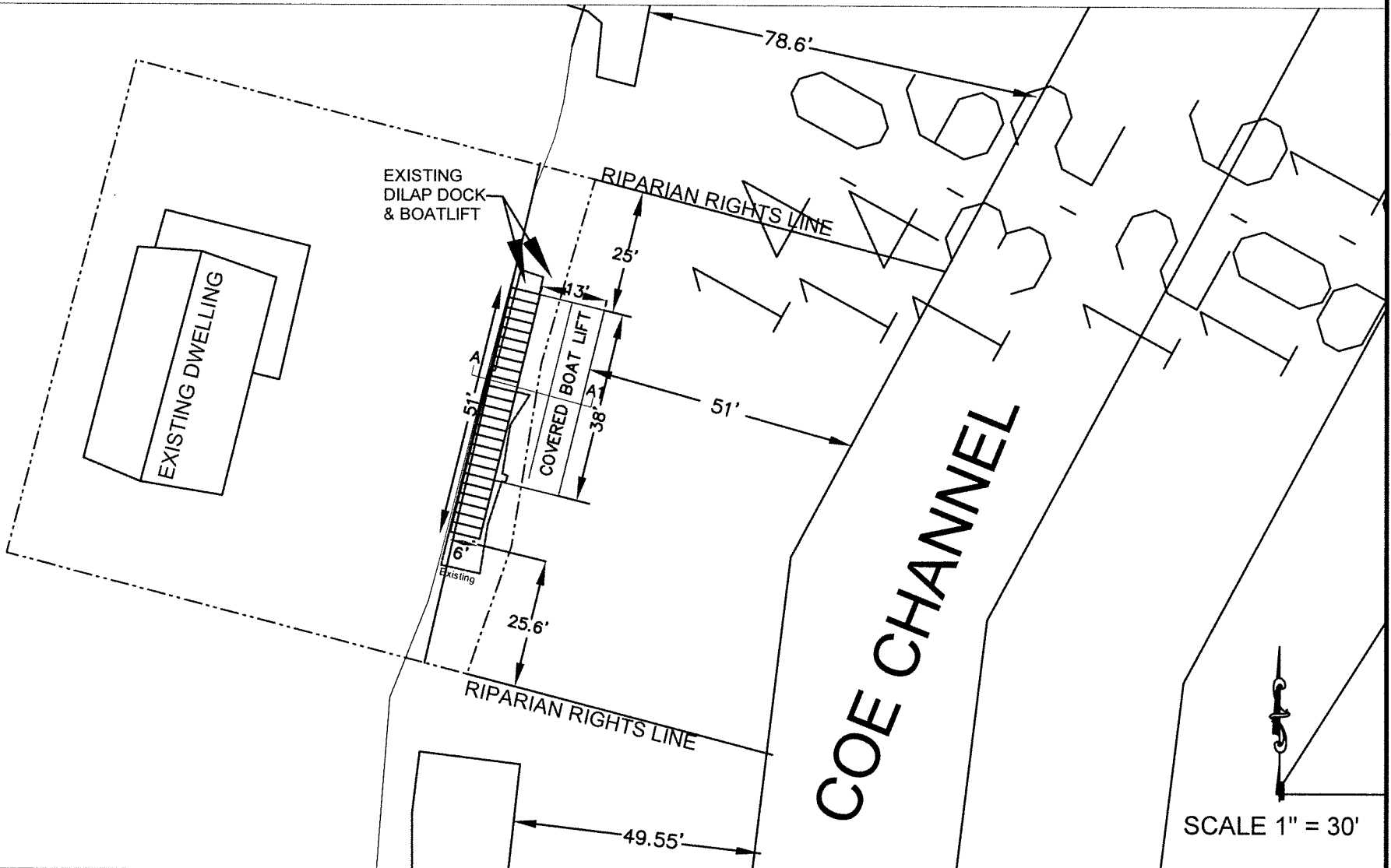
DEP:

COE:

OTHER:

DATE: June 18, 2021

SHEET: 3/4



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

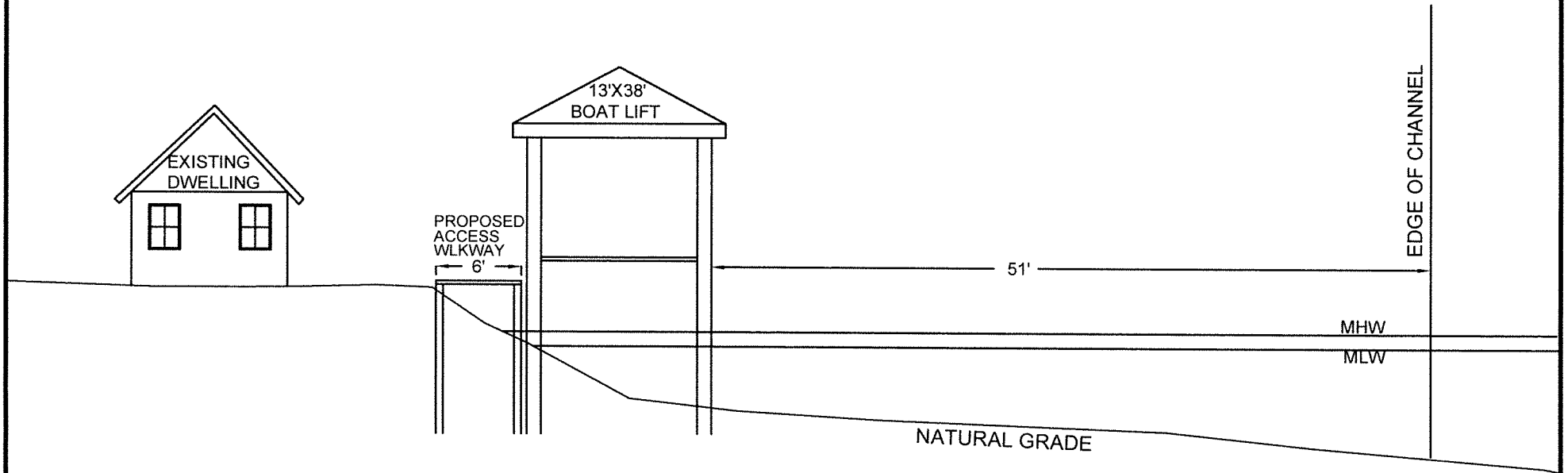
P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com
LB No. 7415

APPLICANT/CLIENT: John Mooney
WATERBODY/CLASS: Carrabelle River
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Carrabelle / Franklin County
LATITUDE: 29.85485
LONGITUDE: 84.69055
SECTION: 24 TOWNSHIP: 7 South RING: 5 West

JOB: 21-194
DEP:
COE:
OTHER:
DATE: June 18, 2021
SHEET: 4/4



CROSS SECTION PROPOSED WALKWAY AND BOAT LIFT



Parcel Summary

Parcel ID 24-07S-05W-0180-0005-0030
Location Address 333 RIVER RD
 32322
Brief Tax Description* BL 5 CARRABELLE RIVER SUB LOT 3 & N 35 FT OF LOT 4 OR 189/418 ORB 189 PAGE 418 0 OR 242/117 OR 271/256 OR 231/436 1304/96
**The Description above is not to be used on legal documents.*
Property Use Code SINGLE FAM (000100)
Sec/Twp/Rng 24-7S-5W
Tax District County (District 1)
Millage Rate 11.2322
Acreage 0.252
Homestead N

[View Map](#)
Owner Information

Primary Owner
 Blue Gray Ventures, LLC
 229 Benjamin Hill Road
 Fitzgerald, GA 31750

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000130	SFR WATER	110.00	FF	110	100

Residential Buildings

Building 1
Type SFR PILING
Total Area 1,180
Heated Area 912
Exterior Walls AVERAGE
Roof Cover COMP SHNGL
Interior Walls DRYWALL
Frame Type N/A
Floor Cover SHT VINYL; CARPET
Heat AIR DUCTED
Air Conditioning CENTRAL
Bathrooms 2
Bedrooms 0
Stories 1
Effective Year Built 1987

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0330	STORAGE, UTILITY	1	0 x 0 x 0	80	UT	0
0300	STEPS	1	0 x 0 x 0	60	UT	0
0430	DOCK	1	0 x 0 x 0	950	UT	0
0690	BOAT SHED	1	0 x 0 x 0	264	UT	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	06/02/2021	\$275,000	WD	1304	96	Qualified (Q)	Improved	HOLDEN/WEST	BLUE GRAY VENTURES, LLC
N	01/01/1971	\$3,000	WD	101	509	Unqualified (U)	Vacant		

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$63,799	\$56,674	\$57,625	\$57,625	\$58,766
Extra Features Value	\$9,440	\$9,440	\$9,440	\$9,440	\$9,440
Land Value	\$38,500	\$38,500	\$38,500	\$50,000	\$50,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$111,739	\$104,614	\$105,565	\$117,065	\$118,206
Assessed Value	\$111,739	\$104,614	\$105,565	\$117,065	\$118,206
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$111,739	\$104,614	\$105,565	\$117,065	\$118,206
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

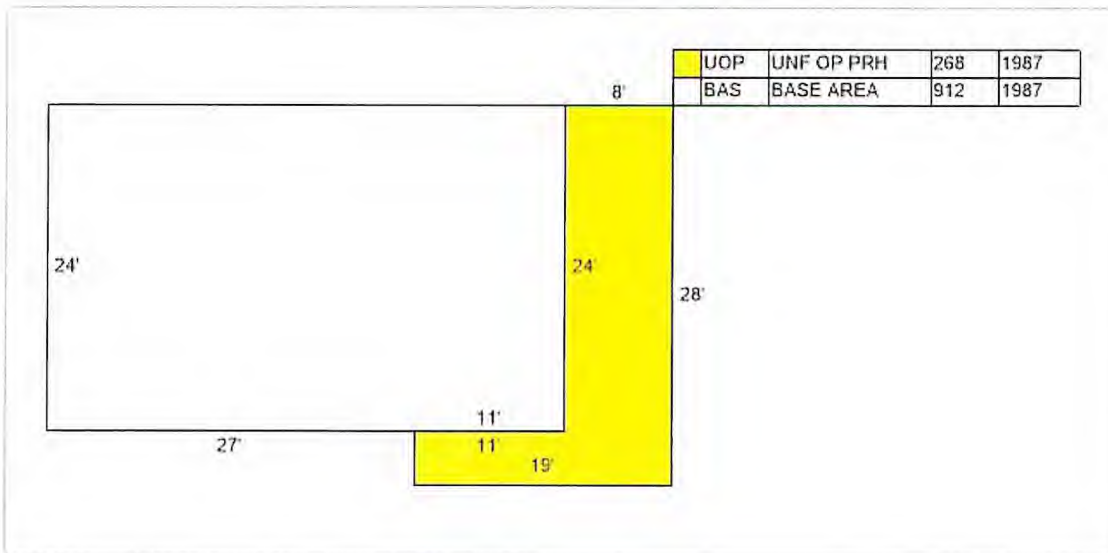
TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)

TRIM Notice 2019

[2019 TRIM Notice \(PDF\)](#)

Sketches



No data available for the following modules: Commercial Buildings.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Last Data Upload: 6/23/2021, 8:06:36 AM

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 Schneider
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Version 2.3.127



GEORGIA
CORPORATIONS
DIVISION

Page 126
GEORGIA SECRETARY OF STATE
BRAD RAFFENSPERGER

[HOME \(/\)](#)

BUSINESS SEARCH

BUSINESS INFORMATION

Business Name: **BLUE GRAY VENTURES
L.L.C.**

Control Number: **09023008**

Business Type: **Domestic Limited
Liability Company**

Business Status: **Active/Compliance**

Business Purpose: **NONE**

Principal Office Address: **229 Benjamin H Hill Dr
W, Fitzgerald, GA,
31750**

Date of Formation /
Registration Date: **3/30/2009**

State of Formation: **Georgia**

Last Annual Registration
Year: **2021**

REGISTERED AGENT INFORMATION

Registered Agent Name: **Mooney, John William**

Physical Address: **229 Benjamin H Hill Dr W Fitzgerald, GA 31750, Fitzgerald, GA, 31750, USA**

County: **Ben Hill**

[Back](#)

[Filing History](#)

[Name History](#)

[Return to Business Search](#)

Prepared By and Return To:
Manausa, Shaw & Minacci, P.A.
140-D West First St
St. George Island, FL 32328

File No. 21-0265MJ

Property Appraiser's Parcel I.D. (folio) Number(s)
24-07S-05W-0180-0005-0030

WARRANTY DEED

THIS WARRANTY DEED dated June 3, 2021, by Robert L. Holden, a married man and William M. West, a married man, whose post office address is 3670 Old 179 N, Whigham, GA 39897, hereinafter called the grantor, to Blue Gray Ventures, L.L.C. , a Georgia Limited Liability Company, whose post office address is 229 Benjamin Hill Road, Fitzgerald, GA 31750, hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all the certain land situated in Franklin County, Florida, to wit

All of Lot 3 and the North 35 feet of Lot 4, Block 5, CARRABELLE RIVER SUBDIVISION, a subdivision as per map or plat thereof recorded in Plat Book 3, Page 21 of the Public Records of Franklin County, Florida.

The property described herein is not the homestead property of, nor adjacent to the homestead property of either of the grantors.

Subject to easements, restrictions, reservations and limitations of record, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in any wise appertaining.

TO HAVE AND TO HOLD the same in Fee Simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to: December 31, 2020

WARRANTY DEED
(Continued)

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Paul W. Bruner
(Witness Signature)

Robert L. Holden
Robert L. Holden

Paula W. Bruner

Courtney Harrison
(Witness Signature)

3670 Old 179 N
(Address)

Courtney Harrison

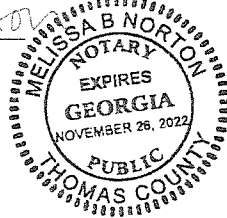
Whigham, GA 39897
(Address)

STATE OF GEORGIA

COUNTY OF Grady

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 17th day of June, 2021 by Robert L. Holden, who is personally known to me or who has produced license as identification.

Melissa B Norton
Notary Public



WARRANTY DEED
(Continued)

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Paul W. Bernier
(Witness Signature)

William M. West
William M. West

Paul W. Bernier

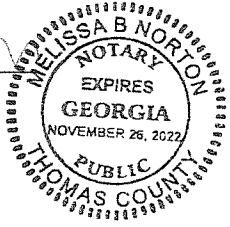
Courtney Harrison
(Witness Signature)

Courtney Harrison

STATE OF Georgia
COUNTY OF Bradley

The foregoing instrument was acknowledged before me by means of physical presence of online notarization, this 17th day of June, 2021 by William M. West who is personally known to me or who has produced license as identification.

Melissa B Norton
Notary Public





GEORGIA
CORPORATIONS
DIVISION

GEORGIA SECRETARY OF STATE

BRAD RAFFENSPERGER

[HOME \(/\)](#)

BUSINESS SEARCH

BUSINESS INFORMATION

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L.L.C.**

Control Number: **09023008**

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W, Fitzgerald, GA,
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Registration Date: **3/30/2009**

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Year: **2021**

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Registered Agent Name: **Mooney, John William**

Physical Address: **229 Benjamin H Hill Dr W Fitzgerald, GA 31750, Fitzgerald, GA, 31750, USA**

County: **Ben Hill**

[Back](#)

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[Name History](#)

[Return to Business Search](#)

Adjacent Neighbor



Overview



Legend

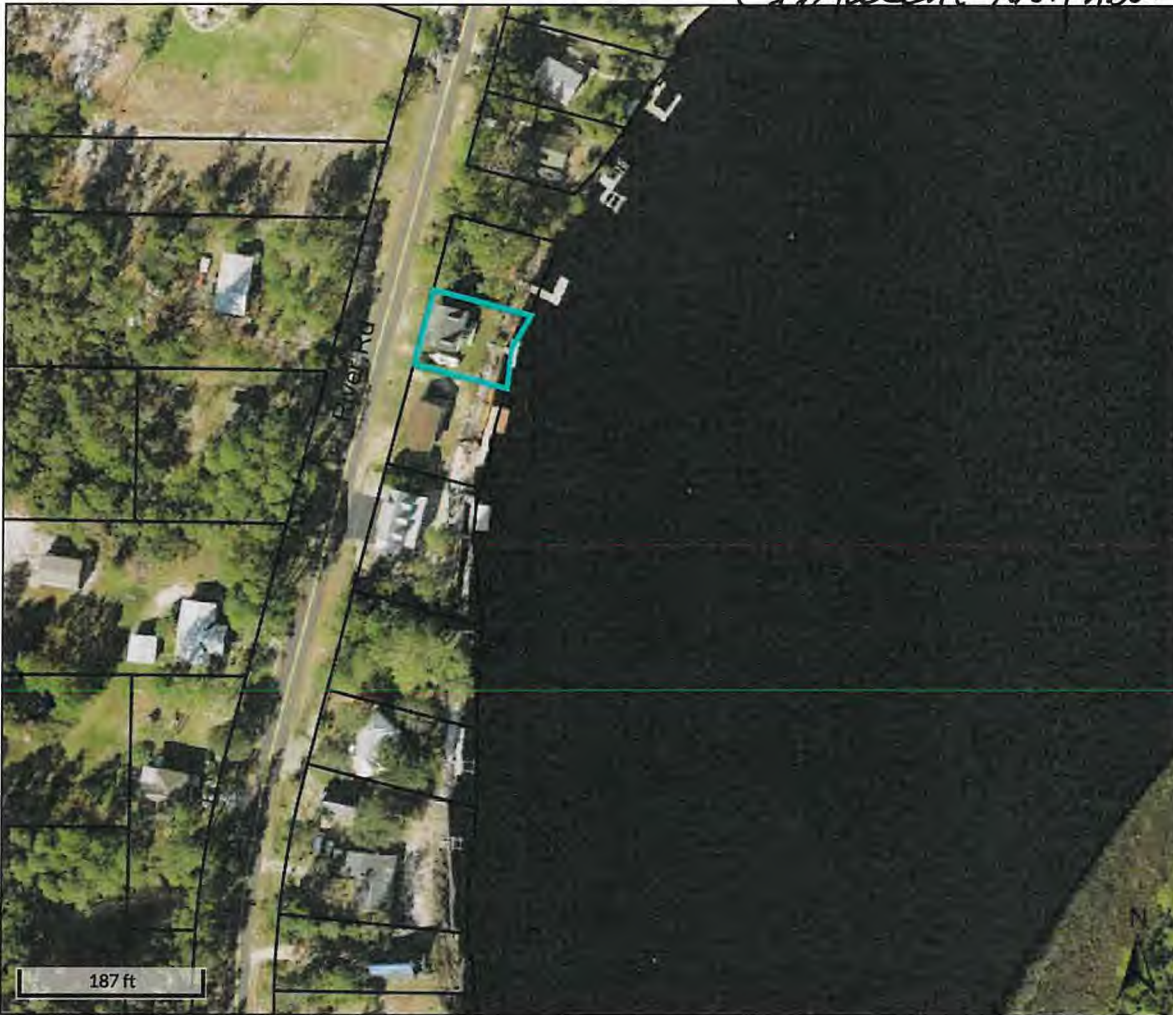
- Parcels
- Roads
- City Labels

Parcel ID	24-07S-05W-0180-0005-0040	Alternate ID	05W07S24018000050040	Owner Address	GRUNAU RICHARD & SYLVIA
Sec/Twp/Rng	24-7S-5W	Class	SINGLE FAM		331 RIVER ROAD
Property Address	331 RIVER RD	Acreage	0.325		CARRABELLE, FL 32322
	CARRABELLE				
District	1				
Brief Tax Description	BLK 5 S 40 FT OF LOT 4 AND ALL				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 6/17/2021
 Last Data Uploaded: 6/17/2021 11:17:10 AM

Developed by  **Schneider**
 GEOSPATIAL

Adjacent Neighbor



Overview



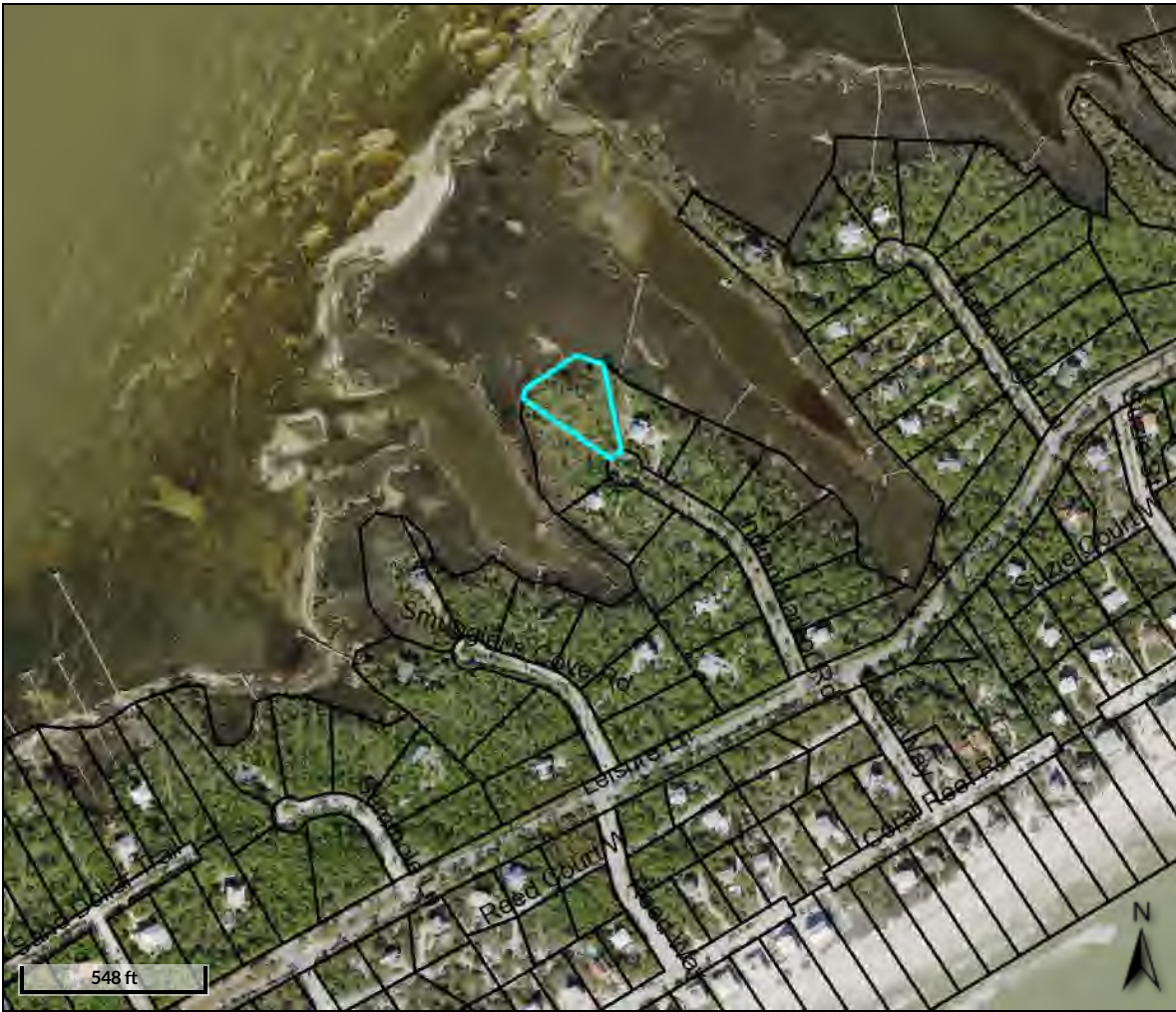
Legend

- Parcels
- Roads
- City Labels

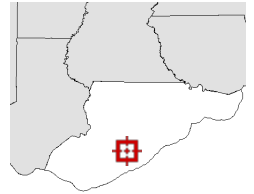
Parcel ID	24-07S-05W-0180-0005-0020	Alternate ID	05W07S24018000050020	Owner Address	BRANCH RONALD G ETAL
Sec/Twp/Rng	24-7S-5W	Class	SINGLE FAM		1814 HWY 41 N
Property Address	337 RIVER RD	Acreage	0.163		TIFTON, GA 31794
District	1				
Brief Tax Description	BL 5 LOT 2 C' BELLE RIVER SUB				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 6/17/2021
 Last Data Uploaded: 6/17/2021 11:17:10 AM

Developed by  **Schneider**
 GEOSPATIAL



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	29-09S-06W-7337-0000-0070	Alternate ID	06W09S29733700000070	Owner Address	ORCIANI JARED & AMY
Sec/Twp/Rng	29-9S-6W	Class	VACANT		963 DAVE WHITAKER ROAD
Property Address	1927 INDIAN HARBOR ROAD	Acreage	n/a		HORSE SHOE, NC 28742
	ST GEORGE ISLAND				

District 1
Brief Tax Description LOT 7 INDIAN BAY VILL
 (Note: Not to be used on legal documents)

Date created: 7/7/2021
 Last Data Uploaded: 7/7/2021 7:39:57 AM

Developed by 



DOCK PERMIT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountvflorida.com/planning_building.aspx

PERMIT # _____

FEE: \$ _____

C.S.I \$ _____

TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:

VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:
ISSUANCE DATE: _____ EXPIRES: _____

EXISTING HOUSE: Yes No

DEP PERMIT: Yes No

ARMY COE PERMIT: Yes No

APPROVED: Yes No

APPLICATION MUST BE COMPLETE:

Property Owner/s: Jared & Amy Orsian
Contact Information: Home #: _____ Cell #: _____
Mailing Address: 963 DAVE WH. TAKER Rd City/State/Zip: HORSE SHOE, NC 28742
EMAIL Address: _____ @ _____

Contractor Name: Reid Hicks Business Name: BETTER BU.'IT DOCK
Contact Information: Office #: 850.899.5313 Cell #: 850.519.7396
State License #: _____ County Registration #: 1429
Mailing Address: 1208 NW 3rd St City/State/Zip: CARRABELLE, FL 32322
EMAIL Address: betterbu.itdocks @ dot-com

PROPERTY DESCRIPTION: 911 Address: 1927 Indian Harbor DR
Lot/s: 7 Block: _____ Subdivision: Indian Bay Village Unit: _____
Parcel Identification #: 29-095-06W-7337-0000-0070

JURISDICTION: Franklin County City of Carrabelle
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

SINGLE FAMILY DOCK/PIER MULTI-FAMILY DOCK/PIER COMMERCIAL

DESCRIPTION: Build 4x237' Dock, Build 6'x26' TERMINUS
Build 1.5' STEPDOWN

ZONING DISTRICT: _____ CONTRACT COST: \$36,432.00

TOTAL SQUARE FOOT: _____ FOUNDATION TYPE: _____
ROOF MATERIAL: _____

APPROVED BY: Planning & Zoning Date: _____ County Commissioners Date: _____

WATER BODY: _____
CRITICAL SHORELINE DISTRICT YES NO CRITICAL HABITAT ZONE YES NO

BUILDING OFFICIAL _____ **OWNER (Required)** _____ **CONTRACTOR (Required)** Reid Hicks 6/22/21
Date Date Date

BETTER BUILT DOCKS, INC

QUOTE

1208 NW 3rd St
Carrabelle, Fl 32322
850.519.7396
850.899.5313
betterbuiltdocks@aol.com

QUOTE # J ORCIANI
DATE 4/15/21

Jared Orciani
Indian Harbor Rd
St George Island, Fl

Description

Amount

Provide & Set Dock Pilings @ HandRail Height

Total OWED

\$6,500.00

Make all checks payable to **BETTER BUILT DOCKS** ... If you have any questions concerning this invoice, contact Reid @ 850.519.7396

THANK YOU FOR YOUR BUSINESS!

material list

SS Screws
Galvanized Bolts
PT 2x8 Framing
PT 2x6 Decking
Marine Treated Pilings



DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS JACKSONVILLE DISTRICT
415 RICHARD JACKSON BOULEVARD, SUITE 411
PANAMA CITY BEACH, FLORIDA 32407

January 25, 2021

Regulatory Division
North Permit Branch
Panama City Permits Section
SAJ-2020-05121(GP-KAB)

Mr. Jared Orciani
963 Dave Whitaker Road
Horseshoe, NC 28742

Dear Mr. Orciani:

The U.S. Army Corps of Engineers (Corps) assigned your application for a Department of the Army permit, which the Corps received on December 14, 2020, the file number SAJ-2020-05121. A review of the information and drawings provided indicates that the proposed work would result in the construction of a 1,104 SF dock associated with a single-family residence. The activities subject to this permit are authorized pursuant to authorities under Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. § 403). The project is located at 1927 Indian Harbor Road, in Section 29, Township 9 South, Range 6 West, St. George Island, Franklin County, Florida.

Your project, as depicted on the enclosed drawings, is authorized by Regional General Permit (GP) SAJ-20. This authorization is valid until March 27, 2023. Please access the Corps' Jacksonville District Regulatory Division Internet page to view the special and general conditions for SAJ-20, which apply specifically to this authorization. The Internet URL address is:

<http://www.saj.usace.army.mil/Missions/Regulatory.aspx>

Please be aware this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Once there you will need to click on "Source Book"; and, then click on "General Permits." Then you will need to click on the specific SAJ permit noted above. You must comply with all of the special and general conditions of the permit; and, any project-specific conditions noted below, or you may be subject to enforcement action. The following project-specific conditions are included with this authorization:

1. Reporting Address: The Permittee shall submit all reports, notifications, documentation and correspondence required by the general and special conditions of this permit to either (not both) of the following addresses:

a. For electronic mail (preferred): SAJ-RD-Enforcement@usace.army.mil (not to exceed 15 MB).

b. For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.

The Permittee shall reference this permit number, SAJ-2020-05121(GP - KAB), on all submittals.

2. **Commencement Notification:** Within 10 days from the date of initiating the work authorized by this permit the Permittee shall submit a completed "Commencement Notification" Form (Attachment A).

3. **Self-Certification:** Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the attached "Self-Certification Statement of Compliance" form (Attachment B) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the "Self-Certification Statement of Compliance" form. The description of any deviations on the "Self-Certification Statement of Compliance" form does not constitute approval of any deviations by the Corps.

4. **Agency Changes/Approvals:** Should any other agency require and/or approve changes to the work authorized or obligated by this permit, the Permittee is advised a modification to this permit instrument is required prior to initiation of those changes. It is the Permittee's responsibility to request a modification of this permit from the Panama City Permits Section. The Corps reserves the right to fully evaluate, amend, and approve or deny the request for modification of this permit.

5. **Assurance of Navigation and Maintenance:** The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

6. **Posting of Permit:** The Permittee shall have available and maintain for review a copy of this permit and approved plans at the construction site.

7. Cultural Resources/Historic Properties:

a. No structure or work shall adversely affect impact or disturb properties listed in the *National Register of Historic Places* (NRHP) or those eligible for inclusion in the NRHP.

b. If during the ground disturbing activities and construction work within the permit area, there are archaeological/cultural materials encountered which were not the subject of a previous cultural resources assessment survey (and which shall include, but not be limited to: pottery, modified shell, flora, fauna, human remains, ceramics, stone tools or metal implements, dugout canoes, evidence of structures or any other physical remains that could be associated with Native American cultures or early colonial or American settlement), the Permittee shall immediately stop all work and ground-disturbing activities within a 100-meter diameter of the discovery and notify the Corps within the same business day (8 hours). The Corps shall then notify the Florida State Historic Preservation Officer (SHPO) and the appropriate Tribal Historic Preservation Officer(s) (THPO(s)) to assess the significance of the discovery and devise appropriate actions.

c. Additional cultural resources assessments may be required of the permit area in the case of unanticipated discoveries as referenced in accordance with the above Special Condition ; and if deemed necessary by the SHPO, THPO(s), or Corps, in accordance with 36 CFR 800 or 33 CFR 325, Appendix C (5). Based, on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume on non-federal lands without written authorization from the SHPO for finds under his or her jurisdiction, and from the Corps.

d. In the unlikely event that unmarked human remains are identified on non-federal lands, they will be treated in accordance with Section 872.05 Florida Statutes. All work and ground disturbing activities within a 100-meter diameter of the unmarked human remains shall immediately cease and the Permittee shall immediately notify the medical examiner, Corps, and State Archeologist within the same business day (8-hours). The Corps shall then notify the appropriate SHPO and THPO(s). Based, on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume without written authorization from the State Archeologist and from the Corps.

8. Turbidity Barriers: Prior to the initiation of any of the work authorized by this permit, the Permittee shall install floating turbidity barriers with weighted skirts that extend to the bottom around all work areas that are in, or adjacent to, surface waters. The turbidity barriers shall remain in place and be maintained until the authorized work has been completed and all suspended and erodible materials have been stabilized. Turbidity barriers shall be removed upon stabilization of the work area.

9. Manatee Conditions: The Permittee shall comply with the "Standard Manatee Conditions for In-Water Work – 2011" (Attachment C).

10. Jacksonville District Programmatic Biological Opinion (JAXBO), November 2017, Project Design Criteria (PDCs): Structures authorized under this permit must comply with all applicable PDCs, based on the permitted activity, as required by JAXBO. Please note that failure to comply with the applicable PDCs, where a take of listed species occurs, would constitute an unauthorized take, and noncompliance with this permit. The NMFS is the appropriate authority to enforce the terms and conditions of JAXBO. The most current version of JAXBO can be accessed at the Jacksonville District Regulatory Division internet webpage in the Endangered Species section of the Sourcebook located at:

<http://www.saj.usace.army.mil/Missions/Regulatory/SourceBook.aspx>

Note - JAXBO may be subject to revision at any time. The most recent version of these conditions must be utilized during the design and construction of the permitted work. In accordance with the Endangered Species Act, and for those projects which do not comply with JAXBO, the Corps will seek individual consultation with the NMFS.

Note - some authorized activities may deviate from the PDCs. In cases, where the activity (i.e., structure dimensions, length, etc.) deviates from the PDCs, the permit drawings shall supersede the PDCs.

For each of the following authorized activities subject of this permit, the permittee shall adhere to the following PDCs, which are attached to, and made part of, this authorization/verification letter:

Activity 2 - Pile-supported Structures and Anchored Buoys: (AP.1-14; A2.1-16; S.1; S.2; S.4) (Attachment D)

Please note U.S. Coast Guard regulations may require you as permittee to provide information for a Notice to the maritime community regarding your project. You should contact the Coast Guard Sector Mobile Waterways Management Branch (spw), 1500

15th Street, Mobile, AL 36615 or by phone at 251-441-5684 to determine if a Notice is necessary. Also any safety lights, signs and signals prescribed by the U.S. Coast Guard through their regulations or otherwise, must be installed and maintained at your expense as permittee on authorized facilities in navigable waters of the United States. To receive a U.S. Coast Guard Private Aids to Navigation marking determination, you are advised to contact the Eighth Coast Guard District (dpw), 500 Poydras St. Suite 1230, New Orleans, LA 70130, 504-671-2328 or via email to: D8oanPATON@uscg.mil prior to installation/construction of any fixed structures. For general information related to Private Aids to Navigation please visit the Eighth CG District web site at: <http://www.atlanticarea.uscg.mil/district-8/district-divisions/waterways/PATON>

This authorization does not obviate the necessity to obtain any other Federal, State, or local permits, which may be required. Prior to the initiation of any construction, projects qualifying for this NWP/RGP permit must qualify for an exemption under section 403.813(1), F.S. or 373.406, F.S., or otherwise be authorized by the applicable permit required under Part IV of Chapter 373, F.S., by the Department of Environmental Protection, a water management district under section 373.069, F.S., or a local government with delegated authority under section 373.441, F.S., and receive Water Quality Certification (WQC) and applicable Coastal Zone Consistency Concurrence (CZCC) or waiver thereto, as well as any authorizations required for the use of state-owned submerged lands under Chapter 253, F.S., and, as applicable, Chapter 258, F.S. You should check State-permitting requirements with the Florida Department of Environmental Protection or the appropriate water management district.

This authorization does not include conditions that would prevent the 'take' of a state-listed fish or wildlife species. These species are protected under sec. 379.411, Florida Statutes, and listed under Rule 68A-27, Florida Administrative Code. With regard to fish and wildlife species designated as species of special concern or threatened by the State of Florida, you are responsible for coordinating directly with the Florida Fish and Wildlife Conservation Commission (FWC). You can visit the FWC license and permitting webpage (<http://www.myfwc.com/license/wildlife/>) for more information, including a list of those fish and wildlife species designated as species of special concern or threatened. The Florida Natural Areas Inventory (<http://www.fnai.org/>) also maintains updated lists, by county, of documented occurrences of those species.

This authorization does not give absolute Federal authority to perform the work as specified on your application. The proposed work may be subject to local building restrictions mandated by the National Flood Insurance Program. You should contact your local office that issues building permits to determine if your site is located in a flood-prone area, and if you must comply with the local building requirements mandated by the National Flood Insurance Program.

If you are unable to access the internet or require a hardcopy of any of the conditions, limitations, or expiration date for the above RGP(s), please contact Mrs. Kelly Bunting by telephone at 850-362-8150.

Thank you for your cooperation with our permit program. The Corps' Jacksonville District Regulatory Division is committed to improving service to our customers. We strive to perform our duty in a friendly and timely manner while working to preserve our environment. We invite you to complete our automated Customer Service Survey at http://corpsmapu.usace.army.mil/cm_apex/f?p=regulatory_survey. Please be aware this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Your input is appreciated – favorable or otherwise.

Sincerely,

A handwritten signature in cursive script that reads "Kelly Bunting".

Kelly Bunting
Project Manager

Enclosures

cc: Mr. Kevin Burdette, Garlick Environmental Assoc., Inc.

GENERAL CONDITIONS
33 CFR PART 320-330

1. The time limit for completing the work authorized ends on the **dates identified in the letter.**
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit you must obtain the signature of the new owner in the space provided and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit. For your convenience, a copy of the certification is attached if it contains such conditions.
6. You must allow a representative from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

DEPARTMENT OF THE ARMY PERMIT TRANSFER REQUEST

PERMIT NUMBER: SAJ-2020-05121(GP-KAB)

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.

To validate the transfer of this permit and the associated responsibilities associated with compliance with its terms and conditions, have the transferee sign and date below and mail to the U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019 or by electronic mail at saj-rd-enforcement@usace.army.mil.

(TRANSFEEE-SIGNATURE)

(SUBDIVISION)

(DATE)

(LOT)

(BLOCK)

(NAME-PRINTED)

(STREET ADDRESS)

(MAILING ADDRESS)

(CITY, STATE, ZIP CODE)

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Jared Orciani

JOB: 20-084

WATERBODY/CLASS: Apalachicola Bay

DEP:

PURPOSE: DFA

COE:

PROJECT LOCATION / USGS: SGI POA Franklin County

OTHER:

LATITUDE: 29° 37' 44.53"

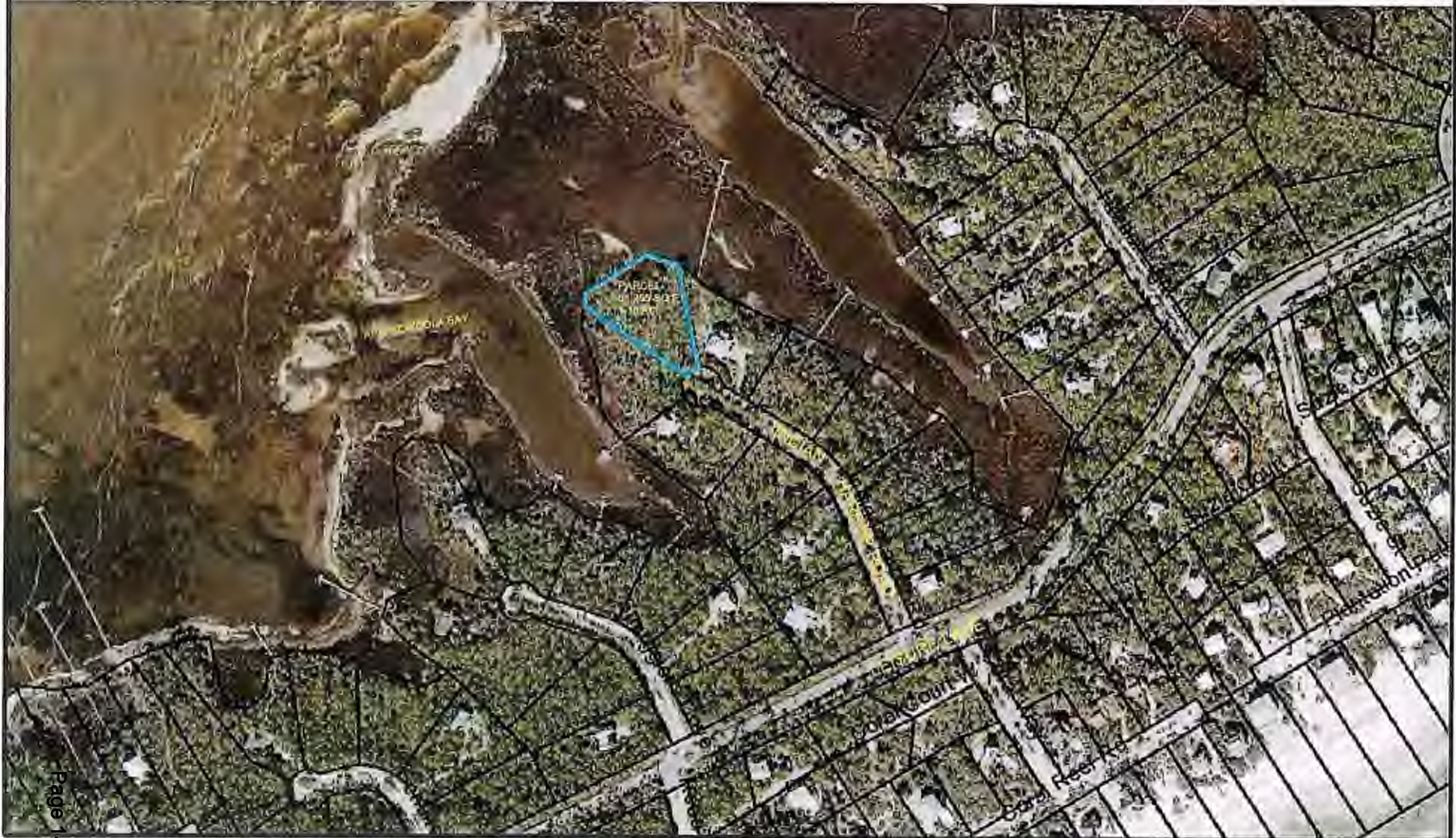
DATE: October 30, 2020

LONGITUDE: 84° 56' 18.95"

SHEET: 1/4

SECTION: 29 TWNShP: 9South

RNG: 6 West



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Jarad Orlandi

WATERBODY/CLASS: Apalachicola Bay

PURPOSE: DFA

PROJECT LOCATION / USGS: SGI POA Franklin County

LATITUDE: 29° 37' 44.53"

LONGITUDE: 84° 56' 18.95"

SECTION: 29 TWSHP: 9South

RNG: 6 West

JOB: 20-084

DEP:

COE:

OTHER:

DATE: October 30, 2020

SHEET: 2/4





PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Jared Orciani

WATERBODY/CLASS: Apalachicola Bay

PURPOSE: DFA

PROJECT LOCATION / USGS: SGI POA Franklin County

LATITUDE: 29° 37' 44.53"

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SECTION: 29 TOWNSHIP: 9South

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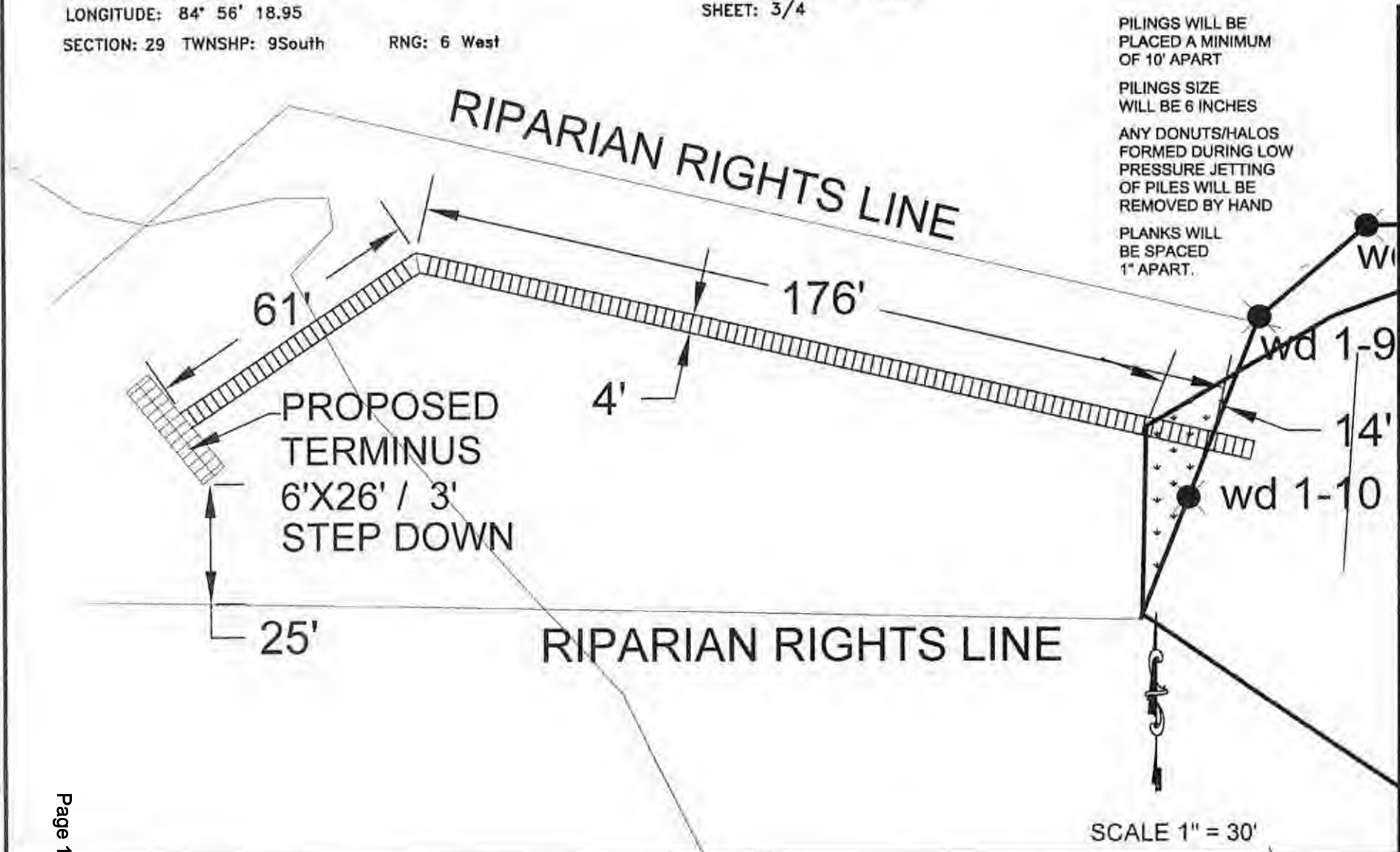
SHEET: 3/4

PILINGS WILL BE PLACED A MINIMUM OF 10' APART

PILINGS SIZE WILL BE 6 INCHES

ANY DONUTS/HALOS FORMED DURING LOW PRESSURE JETTING OF PILES WILL BE REMOVED BY HAND

PLANKS WILL BE SPACED 1" APART.



SCALE 1" = 30'

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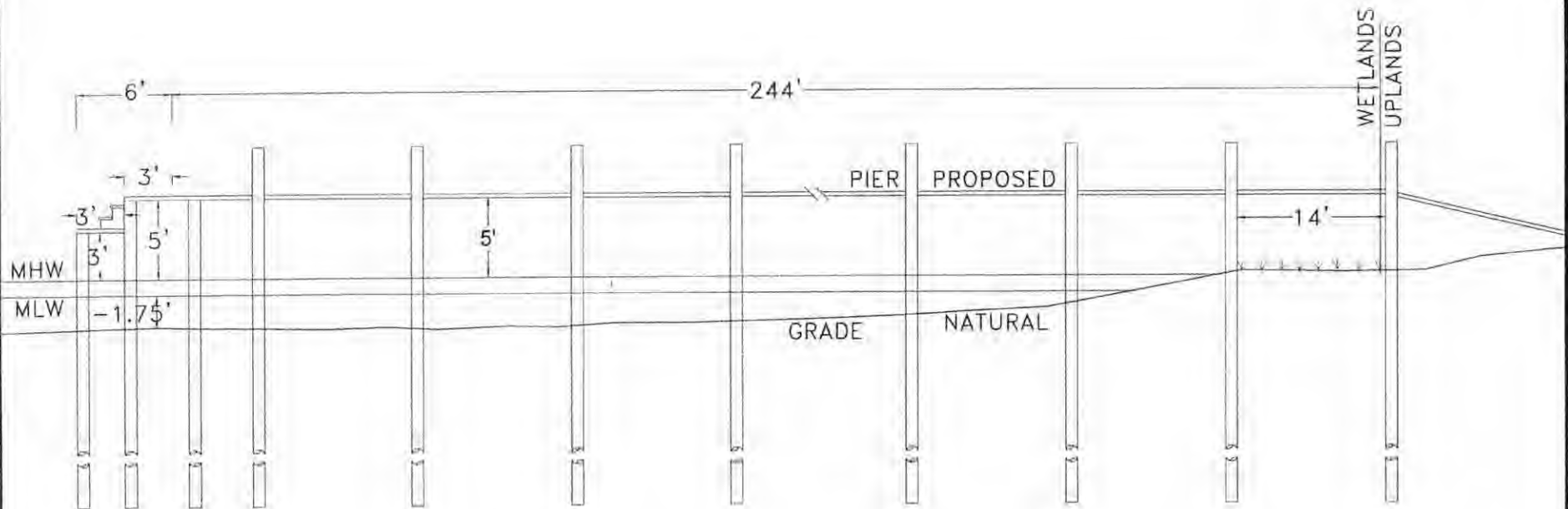
OTHER:

DATE: October 30, 2020

SHEET: 4/4



Cross Section
of Proposed Pier
NOT TO SCALE



COMMENCEMENT NOTIFICATION

*Within ten (10) days of initiating the authorized work, submit this form via electronic mail to saj-rd-enforcement@usace.army.mil (preferred, not to exceed 15 MB) **or** by standard mail to U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.*

1. **Department of the Army Permit Number:** SAJ-2020-05121(GP-KAB)

2. **Permittee Information:**

Name: _____

Email: _____

Address: _____

Phone: _____

3. **Construction Start Date:** _____

4. **Contact to Schedule Inspection:**

Name: _____

Email: _____

Phone: _____

Signature of Permittee

Printed Name of Permittee

Date

SELF-CERTIFICATION STATEMENT OF COMPLIANCE

*Within sixty (60) days of completion of the authorized work, submit this form via electronic mail to saj-rd-enforcement@usace.army.mil (preferred, not to exceed 15MB) **or** by standard mail to U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.*

1. **Department of the Army Permit Number:** SAJ-2020-05121(GP-KAB)

2. **Permittee Information:** Name: _____

Email: _____

Address: _____

Phone: _____

3. **Date Authorized Work Started:** _____ **Completed:** _____

4. **Contact to Schedule Inspection:** Name: _____

Email: _____

Phone: _____

5. **Description of Authorized Work (e.g. bank stabilization, fill placed within wetlands, docks, dredging, etc.):** _____

6. **Acreage or Square Feet of Impacts to Waters of the United States:** _____

7. **Describe Mitigation completed (if applicable):** _____

8. **Describe any Deviations from Permit (attach drawing(s) depicting the deviations):**

I certify that all work and mitigation (if applicable) was done in accordance with the limitations and conditions as described in the permit. Any deviations as described above are depicted on the attached drawing(s).

Signature of Permittee

Printed Name of Permittee

Date

STANDARD MANATEE CONDITIONS FOR IN-WATER WORK

2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or in Vero Beach (1-772-562-3909) for south Florida, and emailed to FWC at ImperiledSpecies@myFWC.com.
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at http://www.myfwc.com/WILDLIFEHABITATS/manatee_sign_vendors.htm. Questions concerning these signs can be forwarded to the email address listed above.

Project Design Criteria (PDCs) Applicable to All Projects

NOTE - You are required to comply with the following PDCs, which serve to address requirements pursuant to Section 7, Endangered Species Act (ESA) for those listed species and designated critical habitat under purview of the National Marine Fisheries Service Protected Resources Division. These PDCs are taken from the Programmatic Biological Opinion (PBO) referred to as JaxBO. These criteria serve to address ESA requirements only, and additional conditions may be required to address other Federal laws, including the Magnuson-Stevens Fishery Conservation and Management Reauthorization Act. Authorization under this permit is conditional upon your compliance with all applicable PDCs, which are made part of this permit. You are reminded that you must complete the attached self-certification statement of compliance following completion of the authorized work. Your statement of compliance does not obviate the need to satisfy all PDCs, including those requirements (e.g., such as structural dimensions and educational signs) that are observable post-construction, and those requirements (e.g., construction methods or procedures to be followed) that are not observable post-construction. Please note that failure to comply with the applicable PDCs of this PBO, where a take of the listed species occurs, would constitute an unauthorized take, and it would also constitute noncompliance with this permit. The NMFS is the appropriate authority to determine compliance with the terms and conditions of this PBO.

AP.1. The applicant must agree to adhere to PDCs for *In-Water Activities* (provided below).

AP.2. All projects involving the installation of piles or sheet piles shall follow the PDCs for *In-Water Noise from Pile and Sheet Pile Installation* (Section 2.2). This Opinion does not cover projects that use seismic surveys, low frequency sonar, explosions, and seismic air guns.

AP.3. All projects proposed in or near areas with mangroves, seagrasses, corals, or hard bottom habitat must refer to PDCs for *Mangroves, Seagrasses, Corals, and Hard Bottom for All Projects* (provided below) to determine whether the project is covered under the Opinion and, if it is covered, to ensure it is sited, designated, and implemented following all of the PDCs in that section.

AP.4. For every project, the USACE must determine if the project is located within:

- a) Smalltooth sawfish critical habitat limited exclusion zones (Section 2.1.1.1)
- b) Gulf sturgeon critical habitat migratory restriction zones (Section 2.1.1.2)
- c) Atlantic sturgeon critical habitat exclusion zone (St. Marys River) (Section 2.1.1.3)
- d) North Atlantic right whale educational sign zones (Section 2.1.1.4)
- e) U.S. Caribbean sea turtle critical habitat restriction zones (Section 2.1.1.5)
- f) Bryde's whale exclusion zone (Section 2.1.1.6)

Where the activity is excluded from the Opinion within a particular zone, the application must be processed under a separate consultation. Where additional restrictions apply to activities within that zone, the USACE or other authorizing entity must ensure that the project meets the requirements for that zone.

AP.5. This Opinion only covers new construction (i.e., installation, repair, replacement) and does not apply to after-the-fact consultations or enforcement actions handled by the Corps.

AP.6. All activities must be completed during daylight hours.

Project Design Criteria (PDCs) for In-Water Activities

AP.7. Education and Observation: The permittee must ensure that all personnel associated with the project are instructed about the potential presence of species protected under the ESA and the Marine Mammal Protection Act (MMPA). All on-site project personnel are responsible for observing water-related activities for the presence of protected species. All personnel shall be advised that there are civil and criminal penalties for harming, harassing, or killing ESA-listed species or marine mammals. To determine which species may be found in the project area, please review the relevant Protected Species List at:

http://sero.nmfs.noaa.gov/protected_resources/section_7/threatened_endangered/index.html

AP.8. Reporting Interactions with Protected Species:

- a) Any collision(s) with and/or injury to any sea turtle, sawfish, whale, or sturgeon occurring during the construction of a project, shall be reported immediately to NMFS's Protected Resources Division (PRD) at (1-727-824-5312) or by email to: takeareport.nmfs@noaa.gov and SAJ-RD-Enforcement@usace.army.mil.
- b) Smalltooth sawfish: Report sightings to 1-844-SAWFISH or email: Sawfish@MyFWC.com
- c) Sturgeon: Report dead sturgeon to 1-844-STURG 91 (1-844-788-7491) or email: nmfs_ser_sturgeonnetwork@noaa.gov
- d) Sea turtles and marine mammals: Report stranded, injured, or dead animals to 1-877-WHALE HELP (1-877-942-5343).
- e) North Atlantic right whale: Report injured, dead, or entangled right whales to the USCG via VHF Channel 16.

AP.9. Vessel Traffic and Construction Equipment: All vessel operators must watch for and avoid collision with species protected under the ESA and MMPA. Vessel operators must avoid potential interactions with protected species and operate in accordance with the following protective measures:

- a) *Construction Equipment:*
 - i) All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while operating in water depths where the draft of the vessel provides less than a 4-foot (ft) clearance from the bottom, and in all depths after a protected species has been observed in and has departed the area.
 - ii) All vessels will follow marked channels and/or routes using the maximum water depth whenever possible.
 - iii) Operation of any mechanical construction equipment, including vessels, shall cease immediately if a listed species is observed within a 50-ft radius of construction equipment and shall not resume until the species has departed the area of its own volition.
 - iv) If the detection of species is not possible during certain weather conditions (e.g., fog, rain, wind), then in-water operations will cease until weather conditions improve and detection is again feasible.

b) *All Vessels:*

- i) Sea turtles: Maintain a minimum distance of 150 ft.
- ii) North Atlantic right whale: Maintain a minimum 1,500-ft distance (500 yards).
- iii) Vessels 65 ft in length or longer must comply with the Right Whale Ship Strike Reduction Rule (50 CFR 224.105) which includes reducing speeds to 10 knots or less in Seasonal Management Areas (<http://www.fisheries.noaa.gov/pr/shipstrike/>).
- iv) Mariners shall check various communication media for general information regarding avoiding ship strikes and specific information regarding right whale sightings in the area. These include NOAA weather radio, USCG NAVTEX broadcasts, and Notices to Mariners.
- v) Marine mammals (i.e., dolphins, whales [other than North Atlantic right whales], and porpoises): Maintain a minimum distance of 300 ft.
- vi) When these animals are sighted while the vessel is underway (e.g., bow-riding), attempt to remain parallel to the animal's course. Avoid excessive speed or abrupt changes in direction until they have left the area.
- vii) Reduce speed to 10 knots or less when mother/calf pairs or groups of marine mammals are observed, when safety permits.

AP.10. Turbidity Control Measures during Construction: Turbidity must be monitored and controlled. Prior to initiating any of the work covered under this Opinion, the Permittee shall install turbidity curtains as described below. In some instances, the use of turbidity curtains may be waived by the USACE project manager if the project is deemed too minimal to generate turbidity (e.g., certain ATON installation, scientific survey device placement, marine debris removal) or if the current is too strong for the curtains to stay in place. Turbidity curtains specifications:

- a) Install floating turbidity barriers with weighted skirts that extend to within 1 ft of the bottom around all work areas that are in, or adjacent to, surface waters.
- b) Use these turbidity barriers throughout construction to control erosion and siltation and ensure that turbidity levels within the project area do not exceed background conditions.
- c) Position turbidity barriers in a way that does not block species' entry to or exit from designated critical habitat.
- d) Monitor and maintain turbidity barriers in place until the authorized work has been completed and the water quality in the project area has returned to background conditions.
- e) In the range of ESA-listed corals (St. Lucie Inlet, Martin County south to the Dry Tortugas and the U.S. Caribbean) and Johnson's seagrass (Turkey Creek/Palm Bay south to central Biscayne Bay in the lagoon systems on the east coast of Florida):
 - i. Projects that include upland earth moving (e.g., grading to install a building or parking lot associated with a dock and seawall project), must install sediment control barriers to prevent any upland sediments from reaching estuarine or marine waters.
 - ii. The turbidity curtain requirement cannot be waived for any project that moves or removes sediment (e.g., dredging, auger to create a pile, trenching to install a cable

line). If turbidity curtains are not feasible in an area based on site conditions such as water current, high wave action, or stormy conditions, the project must undergo individual Section 7 consultation and is not covered under this Programmatic Opinion.

AP.11. Entanglement: All turbidity curtains and other in-water equipment must be properly secured with materials that reduce the risk of entanglement of marine species (described below). Turbidity curtains likewise must be made of materials that reduce the risk of entanglement of marine species.

- a) In-water lines (rope, chain, and cable, including the lines to secure turbidity curtains) must be stiff, taut, and non-looping. Examples of such lines are heavy metal chains or heavy cables that do not readily loop and tangle. Flexible in-water lines, such as nylon rope or any lines that could loop or tangle, must be enclosed in a plastic or rubber sleeve/tube to add rigidity and prevent the line from looping and tangling. In all instances, no excess line is allowed in the water.
- b) Turbidity curtains and other in-water equipment must be placed in a manner that does not entrap species within the construction area or block access for them to navigate around the construction area.

Project Design Criteria (PDCs) for Mangroves, Seagrasses, Corals and Hard Bottom for All Projects

Note: **For projects authorized in reliance on this Opinion only**, the PDCs below supercede any other guidance documents otherwise applicable to reduce or avoid impacts to mangroves, seagrasses, and corals. This includes the NMFS's *Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation, Marsh, or Mangrove Habitat* dated August 2001, and NMFS's *Key for Construction Conditions for Docks or Other Minor Structures Constructed in or over Johnson's Seagrass (Halophila johnsonii)*, dated October 2002. NMFS may still apply these guidance documents in other consultations, including consultations on Essential Fish Habitat under the Magnuson-Stevens Fishery Conservation and Management Act, as appropriate.

AP.12. Mangroves:

- a) To qualify for coverage under this Opinion, all projects must be sited and designed to avoid or minimize impacts to mangroves.
- b) Mangrove removal must be conducted in a manner that avoids any unnecessary removal and is limited to the following instances:
 - i. Removal to install up to a 4-ft-wide walkway for a dock.
 - ii. Removal to install up to an 8-ft-wide walkway for public docks, where the walkway is necessary to address compliance with the Americans with Disability Act (ADA).
 - iii. Removal to install culverts necessary to improve water quality or restore hydrology between 2 water bodies. Such mangrove removal is limited to a maximum of 20 linear feet (lin ft) of shoreline per culvert opening.
 - iv. Removal of mangroves above mean high water (MHW) provided that the tree does not have any prop roots that extend into the water below the MHWL.
- c) Mangrove Trimming. Mangrove trimming is regulated by FDEP, Puerto Rico Department of Natural and Environmental Resources, and U.S. Virgin Islands Department of Planning and Natural Resources. Consistent with those authorities, when used in this Opinion, mangrove trimming refers to the removal (using hand equipment such as chain saws and/or machetes) of lateral branches (i.e., no alteration of the trunk of the tree) in a manner that ensures survival of the tree. This Opinion does not limit or supersede any restrictions on mangrove removal required under any federal, state, or local law.
 - i. This Opinion only covers projects with associated mangrove trimming occurring waterward of MHW if such trimming (1) occurs within the area where the authorized structures are placed or will be placed (e.g., removal of branches that overhang a dock),
 - ii. (2) is necessary to provide temporary construction access, and (3) is conducted in a manner that avoids any unnecessary trimming.

- iii. The Opinion does not apply to projects proposing to remove red mangrove props roots waterward of MHW, except for removal to install the dock walkways, as described above (up to a 4-ft walkway and up to a 8-ft ADA compliant walkway) and to install culverts necessary to improve water quality or restore hydrology between 2 water bodies.

AP.13. Seagrass:

- a) Pile-supported structures must follow the PDCs for *Docks or Other Minor Structures* (PDC A2.17, Section 2.2.2)

Johnson's seagrass:

- b) This Opinion does not apply to projects where Johnson's seagrass is found within the project footprint except for:
 - i. Installation of pile-supported structures that meet the PDCs for *Docks or Other Minor Structures* (PDC A2.17, Section 2.2.2).
 - ii. Maintenance dredging of previously authorized areas. This is limited to the removal of no more than 0.1 acre (ac) (4,356 ft²) of Johnson's seagrass per year (Activity 3; see Section 2.2.3).
 - iii. Transmission/utility line repairs within the same footprint of the lines being repaired (Activity 8; see Section 2.2.8).

Non-listed seagrasses:

- a) All impacts to non-ESA listed native, non-invasive seagrasses should be avoided and minimized to the extent practicable.
- b) This Opinion does not apply to projects located within the geographic boundary of U.S. Caribbean sea turtle critical habitat (hawksbill, leatherback, and the NA DPS of green sea turtle critical habitat identified in Section 2.1.1.5) if non-ESA listed, native, non-invasive seagrasses are found within the project footprint.
- c) This Opinion does not apply to projects that may affect, directly or indirectly, ESA-listed corals.
- d) Projects occurring within in the Florida Keys National Marine Sanctuary (FKNMS) may require separate consultation or authorization from NOAA's FKNMS. Projects authorized to occur in the FKNMS shall comply with any measures NOAA FKNMS has developed to avoid, minimize, and/or mitigate any effects on non-listed corals. For projects occurring outside of the FKNMS, if non-listed corals are found within the project footprint, we recommend relocating all non-listed corals, when possible, in a manner that is protective of the corals.

AP.14. Coral and Hard Bottom Habitat:

- a) This Opinion does not apply to projects that may affect, directly or indirectly, ESA-listed corals.
- b) Projects occurring within in the Florida Keys National Marine Sanctuary (FKNMS) may require separate consultation or authorization from NOAA's FKNMS. Projects authorized to occur in the FKNMS shall comply with any measures NOAA FKNMS has developed to avoid, minimize, and/or mitigate any effects on non-listed corals. For projects occurring outside of the FKNMS, if non-listed corals are found within the project footprint, we recommend relocating all non-listed corals, when possible, in a manner that is protective of the corals.
- c) This Opinion does not apply to projects where hard bottom habitat is found within the project footprint, except for the temporary placement (up to 24 months) of scientific survey devices (Activity 5) that have a footprint of less than 1 square foot (ft²) per device and are installed in a manner that does not permanently alter the hardbottom (e.g., the devices are not installed by drilling). For this Opinion, we define hard bottom in 2 ways:
 - i. Natural consolidated hard substrate that is suitable to support corals, coral larval settlement, reattachment and recruitment of asexual coral fragments. These areas of hard bottom or dead coral skeleton must be free from fleshy or turf macroalgae cover and sediment cover.
 - ii. Nearshore and surf-zone, low-profile hard bottom outcroppings (e.g., worm-rock reef [sabellariid worm reefs] and eolianite, granodiorite). This habitat can be persistent or ephemeral, cycling through periods of exposure and cover by sand. The range of this hard bottom habitat extends along the southeastern coast of Florida from Cape Canaveral to Miami-Dade County and in the U.S. Caribbean. It is an important developmental habitat for juvenile hawksbill and green sea turtles, which use it for both foraging and refuge.

Project Design Criteria (PDCs) Specific to Activity 2 for Pile-Supported Structures and Anchored Buoys

- A2.1.** Activities covered by this Opinion include the installation, repair, replacement, and removal of structures as described below:
- A2.1.1. The pile-supported and anchored structures included in this Opinion are: docks and piers, boatlifts, mooring piles and dolphin piles associated with docks/piers; ATONs and PATONs; floating docks; pile-supported chickees (i.e., small, back-country, over-water, pile-supported, primitive camping shelters); boardwalks (as long as they are designed and clearly marked to prohibit fishing and vessel mooring); mooring fields and buoys; and other minor pile-supported structures. This does not include structures that support large commercial vessels including ferries, tankers, and cargo ships such as ferry terminals and large ports.
 - A2.1.2. Pile-supported docks/piers for a single-family residential lot are limited to 4 slips for motorized vessels. Slips for non-motorized vessels (e.g., kayak, canoe, and paddleboard) and associated launching areas do not count toward the total slip number.
 - A2.1.3. Pile-supported structures for marinas, multi-family facilities (e.g., condo complexes, trailer parks, subdivisions when the homeowners association owns and controls the in-water structures). Docks and piers for multi-family residential properties (e.g., condos, trailer parks, apartment complexes), and marinas are limited to a maximum of 50 total slips (i.e., combination of wet and dry slips for existing plus proposed slips).
 - A2.1.4. Anchored buoys and temporary pile-supported structures associated with marine events. Upon completion of the event, these structures must be removed and, to the maximum extent practical, the site must be restored to pre-construction elevations. Water depths in the area of marine events must be deep enough to support at least 5 ft of water depth under the keel of a vessel and between the keel of a vessel and ESA-listed coral colonies when transiting to the mooring areas. There is no limit on the number of vessel slips allowed for temporary structures associated marine events such as boat shows.
 - A2.1.5. Mooring fields are limited to a maximum of 50 motorized vessels (there is no limit on the number of non-motorized vessels).
 - A2.1.6. All pile-supported structures constructed must comply with PDC 2.17 for *Docks or Other Minor Structures Constructed in Florida Under this Opinion* (see below).

The following PDCs apply to all the activities described in PDC A2.1 above:

- A2.2.** For commercial, multi-family, or public facilities, and marine events, signs must be posted in a visible location(s), alerting users of listed species in the area susceptible to vessel strikes and hook-and-line captures. The most current version of the signs that must be downloaded and sign installation guidance are available at: http://sero.nmfs.noaa.gov/protected_resources/section_7/protected_species_educational_signs/index.html). The signs required to be posted by area are stated below:
- A2.2.1. All projects in Florida shall use the Save Sea Turtle, Sawfish, and Dolphin sign. These signs shall include contact information to the sea turtle and marine

- mammal stranding networks and smalltooth sawfish encounter database.
- A2.2.2.** Projects within the North Atlantic right whale educational sign zone (as defined in Section 2.1.1.4) shall post the Help Protect North Atlantic Right Whales sign.
- A2.2.3.** On the east coast of Florida, projects located within the St. John's River and those occurring north of the St. Johns River to the Florida-Georgia line shall post the Report Sturgeon sign. On the west coast of Florida, projects occurring from the Cedar Key, Florida north to the Florida-Alabama line.
- A2.2.4.** We are still developing the signs to be used in the U.S. Caribbean. Once developed, those signs will be included at the website above.
- A2.3.** For commercial, multi-family, or public facilities, monofilament recycling bins must be provided at the docking facility to reduce the risk of turtle or sawfish entanglement in, or ingestion of, marine debris. Monofilament recycling bins must:
- A2.3.1.** Be constructed and labeled according to the instructions provided at <http://mrrp.myfwc.com>.
- A2.3.2.** Be maintained in working order and emptied frequently (according to <http://mrrp.myfwc.com> standards) so that they do not overflow.
- A2.4.** For any dock project (new construction, repair, or replacement) at a private residence located within 11 nautical miles of North Atlantic right whale critical habitat (as measured in a radius from the center of the nearest inlet to open ocean and described in Section 2.1.1.4), the property owner will be provided a handout with their USACE permit describing the presence of North Atlantic right whales in the area and the Federal regulations governing the approach to North Atlantic right whales (Appendix C).
- A2.5.** ATONs and PATONs must be approved by and installed in accordance with the requirements of the USCG (see 33 CFR, chapter I, subchapter C, part 66 and RHA Section 10 and any other pertinent requirements).
- A2.6.** Chickees must be less than 500 ft² and support no more than 2 slips.
- A2.7.** No activities associated with municipal or commercial fishing piers are covered under this Opinion.
- A2.8.** Docks installed within visible distance of ocean beaches are required to comply with turtle-friendly lighting, if lighting is necessary to the project. Turtle-friendly lighting is explained and examples are provided on the Florida Fish and Wildlife Conservation Commission website:
<http://myfwc.com/wildlifehabitats/managed/sea-turtles/lighting/>
- A2.9.** Project construction will take place from uplands or from floating equipment (e.g., barge); prop or wheel-washing is prohibited.

Additional PDCs for Activity 2 applicable in Critical Habitat

- A2.10.** *Acropora* critical habitat and the U.S. Caribbean: This Opinion does not cover new and expanded pile-supported structures in *Acropora* critical habitat where the essential features are present. The distance from ATONs to ESA-listed corals and *Acropora* critical habitat shall ensure there are no impacts to the corals or the essential feature of *Acropora* critical habitat from the movement of buoys and tackle. The appropriate distance shall be based on the size of the anchor chain or other tackle to be installed to secure the buoy to its anchor, particularly when the design of the ATON does not prohibit contact of tackle with the marine bottom. In all cases, buoy tackle will include flotation to ensure there is no contact between the anchor chain or line and the marine bottom.
- A2.11.** Gulf sturgeon critical habitat: Additional noise restrictions are required for pile and sheet pile installation in the Gulf sturgeon critical habitat migratory restriction zones defined in Section 2.1.1.2. The noise restrictions are described in that section.
- A2.12.** Smalltooth sawfish critical habitat: This Opinion does not cover activities occurring in areas identified as smalltooth sawfish limited exclusion zones defined in Section 2.1.1.1.
- A2.13.** North Atlantic right whale critical habitat: This Opinion does not cover installation of anchored ATONs and permanent buoys in North Atlantic right whale critical habitat; temporary buoys for marine events are allowed in North Atlantic right whale critical habitat.
- A2.14.** Johnson's seagrass critical habitat: This Opinion does not cover new marinas or multi-family facilities in Johnson's seagrass critical habitat. Repair, replacement, and reconfiguration of existing marinas or multi-family facilities may be covered if it (1) occurs within same overall footprint (out to the perimeter of the facility, including the outer limits of the structure and permitted mooring locations), (2) does not increase the total aerial extent (i.e., area of coverage from the dock structures) of the existing facility, and (3) does not affect Johnson's seagrass. Mooring fields are allowed in Johnson's seagrass critical habitat and within the range of Johnson's seagrass so long as they occur in waters deeper than -13 ft (-4 m).
- A2.15.** NWA DPS of loggerhead sea turtle critical habitat: ATONs (pile-supported and anchored buoys) are allowed in nearshore reproductive habitat of the NWA DPS of loggerhead sea turtles under this Opinion. No other pile-supported structures are allowed in nearshore reproductive habitat under this Opinion.
- A2.16.** U.S. Caribbean sea turtle critical habitat (hawksbill, leatherback, and the NA DPS of green sea turtle critical habitat): ATONs (pile-supported and anchored buoys) are allowed near sea turtle nesting beaches under this Opinion. No other pile-supported structures are allowed near sea turtle nesting beaches under this Opinion.

Project Design Criteria (PDCs) for Gulf Sturgeon Critical Habitat Migratory Restriction Zones

1. This Opinion does not apply to the placement of living shoreline, oyster reef, and artificial reef materials (Activity 7, PDC A7.26) and temporary platform, fill, and cofferdams (Activity 10, PDC A10.11) in Gulf sturgeon critical habitat migratory restriction zones.
2. This Opinion does not apply to new transmission and utility line installation in the Gulf sturgeon critical habitat migratory restriction zones between September and March, when sturgeon are likely to be present in these areas. Emergency repair/replacement of transmission and utility lines may occur in these areas during this time frame if the work is conducted without the use of heavy in-water equipment (e.g., dredging equipment) (Activity 8, PDC A8.10).
3. This Opinion does not apply to the installation of metal piles and metal sheet piles by impact hammer in the areas identified as Gulf sturgeon critical habitat migratory restriction zones.
4. The allowable pile and sheet pile driving activities vary depending on the width of the project action area, as described below.
5. Areas that are 0-500 ft wide: In areas up to 500 ft wide, the allowable pile or sheet pile driving activities within the Gulf sturgeon critical habitat migratory restriction zones are:
 - a. Creating a pilot hole for any type of pile using an auger or drop punch
 - b. Trenching a shoreline with mechanical equipment to create a space to install any type of sheet pile and backfilling behind it
 - c. Installing any type of piles and sheet piles by jetting.
6. Areas that are 501-1,400 ft wide: In areas over 500 ft wide, but less than 1,400 ft wide, the allowable pile or sheet pile driving activities within the Gulf sturgeon critical habitat migratory restriction zones are:
 - a. The activities described in 1-3 above, and
 - b. Installing any type of piles and sheet piles by vibratory hammer.
7. Areas over 1,401 ft wide: In areas 1,401 ft wide or wider, the allowable pile or sheet pile driving activities within the Gulf sturgeon critical habitat migratory restriction zones are:
 - a. The activities described in 1-4 above, and
 - b. Installing wood, vinyl, and concrete piles and sheet piles by impact hammer.

Project Design Criteria (PDCs) for In-Water Noise from Pile and Sheet Pile Installation

Open Water

The letters A-E in the tables below specify the PDC category. Activities labeled A-D must follow the corresponding PDCs for labeled Category A-D below. Activities labeled E are excluded from this Opinion, as stated in Category E below.

	Trench and	Pilot hole (auger or	Jetting	Vibratory	Impact hammer
Wood piles 14-inch (in) diameter or less when installed via impact hammer and 36-in or less for all other installation methods	A	A	A	A	B
Concrete pile 24-in diameter/width or less in open	A	A	A	A	B
Metal pipe pile 36-in diameter or less	A	A	A	A	E
2 metal boatlift I-beams	A	A	A	A	B
Concrete slab wall- any size	A	A	A	A	B
Vinyl sheet pile- any size	A	A	A	A	B
Metal sheet pile- any size	A	A	A	A	E

Confined Space

In Florida, we consider the confined space to be any area that has a solid object (e.g., shorelines or seawalls) within 150 ft of the pile installation site and in the U.S. Caribbean we consider confined space to be any area that has a solid object within 260 ft of the pile installation site.

	Trench and	Pilot hole (auger or	Jetting	Vibratory	Impact hammer
Wood pile 14-in diameter or less when installed via impact hammer and 36-in or less for all other installation methods	A	A	A	A	B
Concrete pile 24-in diameter/width or less (5 piles	A	A	A	A	C
Concrete pile 24-in diameter/width or less (6-10	A	A	A	A	D
Metal pipe pile 36-in diameter or less	A	A	A	A	E
2 metal boatlift I-beams	A	A	A	A	B
Vinyl sheet pile – any size	A	A	A	A	B
Concrete slab wall- any size (5 slabs or less	A	A	A	A	C
Concrete slab wall- any size (6-10 slabs installed/day)	A	A	A	A	D
Metal sheet pile- any size	A	A	A	A	E

- A. The Projects identified as A above must comply with PDCs identified for all projects in this Opinion. Specific PDCs related to noise include:**
1. All work must occur during daylight hours only (PDC AP.6).
 2. All construction personnel are responsible for observing water-related activities to detect the presence of these species and avoid them (PDC AP.7).
- B. The projects identified as B above must follow all of the conditions under A, above, **AND** also must limit the maximum number of piles installed per day to no more than 10 piles per day.**
- C. The projects identified as C above must follow all of the conditions under A, above, **AND** also must limit the maximum number of piles installed per day to no more than 5 piles per day.**
- D. The projects identified as D above must follow all of the conditions under A and B, above, **AND** also must abide by one of the noise abatement measures below, as chosen by the applicant:**
1. Bubble curtain: The bubble curtain design must adhere to the guidelines for unconfined and confined bubble curtains described in Appendix B.
 2. Temporary noise attenuation pile (TNAP) also known as a pile isolation casing: The TNAP design must be constructed of a double-walled tubular casing (a casing within a larger casing), with at least a 5-in-wide area between the casings that is dewatered to create a hollow space or 5-in wide area between the casings completely filled with closed-cell foam or other noise dampening material between the walls. The TNAP must be long enough to be seated firmly on the sea bottom, fit over the pile being driven, and extend at least 3 ft above the surface of the water.
 3. The use of any other alternative noise control method must receive prior approval by NMFS and the USACE, as described in Section 2.3.
- E. The projects identified as E are not covered under this Opinion.**

Attachment X

North Atlantic Right Whale Federal Regulations Information Handout

Federal Regulations Governing the Approach to North Atlantic Right Whales



1. Federal regulations governing the approach to North Atlantic right whales can be found at 50 CFR 224.103(c). It is illegal to approach and remain within 500 yards of right whales; 500 yards is equal to the distance of 5 football fields.

Prohibitions on approaching right whales are as follows (Excerpts from 50 CFR 224.103(c), available at www.ecfr.gov): Unless otherwise lawfully allowed or unless doing so would create an imminent and serious threat to a person or vessel, it is unlawful to:

- (i) Approach (including by interception) within 500 yards (460 m) of a right whale by vessel
- (ii) Fail to undertake required right whale avoidance measures. If underway, a vessel must steer a course away from the right whale and immediately leave the area at a slow safe speed.



2. Updates can be downloaded from:
 - a. http://www.nmfs.noaa.gov/pr/species/mammals/cetaceans/rightwhale_northatlantic.htm, or
 - b. www.ecfr.gov



FLORIDA DEPARTMENT OF Environmental Protection

Northwest District
160 W. Government Street, Suite 308
Pensacola, FL 32502

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Noah Valenstein
Secretary

Wednesday, November 25, 2020

Jared Orciani
963 Dave Whitaker Road
Horseshoe, North Carolina 28742
jared@pfasterbyo.com

File No.: 0394428-001-EG/19, Franklin County

Dear Mr. Orciani:

On November 06, 2020, we received your notice of intent to use a General Permit (GP) pursuant to Rule 62-330.427, Florida Administrative Code (F.A.C.) to construct a single-family pier not intended for motorized vessel use totaling less than 2,000 square feet within Apalachicola Bay Aquatic Preserve, Class II Outstanding Florida Waters, Approved 1621 Shellfish Harvesting Area. The project is located at 1927 Indian Harbor Road, St. George Island, Florida 32328, Parcel No. 29-09S-06W-7337-0000-0070, in Section 29, Township 09 South, Range 06 West of Franklin County; at approximately 29°37'43.6628"North Latitude, 84°56'18.0431"West Longitude.

Your intent to use a general permit has been reviewed by Department staff for three types of authorization: (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully.

Your project did not qualify for the federal authorization, therefore additional authorization must be obtained prior to commencement of the proposed activity. This letter does not relieve you from the responsibility of obtaining other federal, state, or local authorizations that may be required for the activity. Please refer to the specific section(s) dealing with that portion of the review below for advice on how to proceed.

If you change the project from what you submitted, the authorization(s) granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

1. Regulatory Review – Approved

Based on the forms, drawings, and documents submitted with your notice, it appears that the project meets the requirements for the General Permit under Rule 62-330.427, F.A.C. Any activities performed under a general permit are subject to general conditions required in Rule 62-330.405, F.A.C. (attached) and the specific conditions of Rule 62-330.427, F.A.C. (attached). Any deviations from these conditions may subject the permittee to enforcement action and possible penalties.

Please be advised that the construction phase of the GP must be completed within five years from the date the notice to use the GP was received by the Department. If you wish to continue this GP beyond the expiration date, you must notify the Department at least 30 days before its expiration.

Authority for review – Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, F.A.C., and in accordance with the operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

2. Proprietary Review – Granted

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review activities on sovereign submerged lands under Chapters 253 and 258, F.S. and Chapters 18-20 and 18-21, F.A.C.

The activity appears to be located on sovereign submerged lands owned by the Board of Trustees. The activity is not exempt from the need to obtain the applicable proprietary authorization. As staff to the Board of Trustees, the Department has reviewed the activity described above and has determined that the activity qualifies for a Letter of Consent under Section 253.77, F.S. to construct and use the activity on the specified sovereign submerged lands, as long as the work performed is located within the boundaries as described herein and is consistent with the terms and conditions herein.

During the term of this Letter of Consent you shall maintain satisfactory evidence of sufficient upland interest as required by paragraph 18-21.004(3)(b), F.A.C. If such interest is terminated or the Board of Trustees determines that such interest did not exist on the date of issuance of this Letter of Consent, this Letter of Consent may be terminated by the Board of Trustees at its sole option. If the Board of Trustees terminates this Letter of Consent, you agree not to assert a claim or defense against the Board of Trustees arising out of this Letter of Consent.

Please be advised that any use of sovereign submerged lands without specific prior authorization from the Board of Trustees will be considered a violation of Chapter 253, F.S. and may subject the affected upland riparian property owners to legal action as well as potential fines for the prior unauthorized use of sovereign land.

Authority for review – Chapters 253 and 258, F.S., Chapters 18-20 and 18-21, F.A.C., and Section 62-330.075, F.A.C., as required.

3. Federal Review – SPGP Not Included

Your proposed activity as outlined on your application and attached drawings **does not qualify** for Federal authorization pursuant to the State Programmatic General Permit and a **SEPARATE permit** or authorization **shall be required** from the Corps. You must apply separately to the Corps using their APPLICATION FOR DEPARTMENT OF THE ARMY PERMIT, ENG FORM 4345, or alternative as allowed by their regulations. More information on Corps

permitting may be found online in the Jacksonville District Regulatory Division Source Book at: <https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

Authority for review - an agreement with the USACOE entitled "Coordination Agreement Between the U.S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection (or Duly Authorized Designee), State Programmatic General Permit", Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

Additional Information

Please retain this general permit. The activities may be inspected by authorized state personnel in the future to ensure compliance with appropriate statutes and administrative codes. If the activities are not in compliance, you may be subject to penalties under Chapter 373, F.S. and Chapter 18-14, F.A.C.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until a subsequent order of the Department. Because the administrative hearing process is designed to formulate final agency action, the subsequent order may modify or take a different position than this action.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@FloridaDEP.gov. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. You cannot justifiably rely on the finality of this decision unless notice of this decision and the right of substantially affected persons to challenge this decision has been duly published or otherwise provided to all persons substantially affected by the decision. While you are not required to publish notice of this action, you may elect to do so pursuant Rule 62-110.106(10)(a).

The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C. If you do not publish notice of this action, this waiver may not apply to persons who have not received a clear point of entry.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@FloridaDEP.gov, before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S. by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department. If you have any questions regarding this matter, please contact Jacob Hullett at the letterhead address, at (850)595-0638, or at Jacob.Hullett@FloridaDEP.gov

EXECUTION AND CLERKING

Executed in Orlando, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



Jacob Hullett
Environmental Specialist
Submerged Lands and Environmental Resources Program

Attachments:

1. Rule 62-330.427, F.A.C., 2 pages
2. General Conditions for All General Permits, Rule 62-330.405, F.A.C., 3 pages
3. Special Consent Conditions for Use of Sovereignty Submerged Lands, 1 page
4. General Consent Conditions for Use of Sovereignty Submerged Lands, 2 pages
5. Project Drawings, 4 pages

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this document and all attachments were sent on the filing date below to the following listed persons:

Wade Dandridge, DEP, Wade.Dandridge@FloridaDEP.gov
Jonathan Brucker, DEP AP Manager, Jonathan.Brucker@dep.state.fl.us
Dan Garlick, Agent, Garlick Environmental Assoc., Inc., dant@garlickenv.com
Mary Ann Wasmund, Garlick Environmental Assoc., Inc., maryann@garlickenv.com
Franklin County, michael@franklincountyflorida.com

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to Section 120.52, F.S., with the designated Department Clerk, receipt of which is hereby acknowledged.



Clerk

November 25, 2020

Date

62-330.427 General Permit for Docks, Piers and Associated Structures.

(1) A general permit is granted to any person to construct, extend, or remove a dock or pier and associated structures as described below:

(a) A private, single-family pier or dock with up to two boat lifts that, together with all existing structures on the shoreline of the property, does not exceed a total area of 2,000 square feet over surface waters. Such a structure:

1. Shall not accommodate the mooring of more than two vessels, either in the water or on a boat lift. Solely for purposes of this general permit, up to two personal watercraft as defined in section 327.02(33), F.S., may be moored in lieu of either or both allowable vessels of another type.

These limits shall not apply to the mooring, storage or other use of the dock or pier by:

a. Non-motor-powered vessels less than 16 feet in length that are stored on or under the dock or pier, or within an authorized mooring area; or

b. Personal watercraft, dinghies or similar small vessels that are stowed out of the water, upon a larger parent vessel that is moored at the dock in compliance with this general permit.

2. Shall be located such that all areas used for vessel mooring and navigational access already provide a minimum depth of two feet below the mean low water level for tidal waters, or two feet below the expected average low water depth for non-tidal waters as determined based on best available information for the water body at the project location; and

3. May include a roof over the vessel mooring areas, boat lifts, and terminal platform, or any portions thereof, subject to the applicable provisions of chapters 253 and 258, F.S., and the rules adopted thereunder. Portions of such roofs that overhang beyond the edge of decked portions of the pier or dock shall be included in the calculation of the total square footage of over-water structure allowed under paragraph (1)(a), above.

(b) A public fishing pier that does not exceed a total area of 2,000 square feet provided the structure is designed and built to discourage boat mooring by elevating the fishing pier to a minimum height of five feet above mean high water or ordinary high water, surrounding the pier with handrails, and installing and maintaining signs that state "No Boat Mooring Allowed."

(2) This general permit shall be subject to the following specific conditions:

(a) Construction or extension of the boat lift, boat mooring locations, or terminal platform, shall not occur over submerged grassbeds, coral communities or wetlands. However, the access walkway portion of the pier may traverse these resources provided it is elevated a minimum of five feet above mean high water or ordinary high water, contains handrails that are maintained in such a manner as to prevent use of the access walkways for boat mooring or access, and does not exceed a width of six feet, or a width of four feet in Aquatic Preserves;

(b) There shall be no structures enclosed by walls, screens, or doors on any side;

(c) The dock or pier will not facilitate vessel rentals, charters, or serve any other commercial purpose;

(d) There shall be no fish cleaning facilities, boat repair facilities or equipment, or fueling facilities on the structures authorized by this general permit. In addition, no overboard discharges of trash, human or animal waste, or fuel shall occur from any structures authorized by this general permit;

(e) This general permit shall not authorize the construction or extension of more than one dock or pier per parcel of land or individual lot. For the purposes of this general permit, multi-family living complexes shall be treated as one parcel of property regardless of the legal division of ownership or control of the associated property; and

(f) Notwithstanding any other provisions of this general permit, the design, construction and operation of the dock or pier and associated vessels shall not conflict with any manatee protection plan approved and adopted under section 379.2431(2)(t), F.S.

Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.418, 403.805(1) FS. Law Implemented 373.118(1), 373.406(5), 373.413, 373.4131, 373.414(9), 373.416, 373.418, 373.426, 403.814(1) FS. History—New 10-3-95, Formerly 62-341.427, Amended 10-1-13, 6-1-18.

62-330.405 General Conditions for All General Permits.

The following general permit conditions are binding upon the permittee and are enforceable under chapter 373, F.S. These conditions do not apply to the general permit for stormwater management systems under section 403.814(12), F.S.

(1) The general permit is valid only for the specific activity indicated. Any deviation from the specified activity and the conditions for undertaking that activity shall constitute a violation of the permit and may subject the permittee to enforcement action and revocation of the permit under chapter 373, F.S.

(2) The general permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any construction, alteration, operation, maintenance, removal or abandonment authorized by this permit; and it does not authorize any violation of any other applicable federal, state, local, or special district laws (including, but not limited to, those governing the "take" of listed species).

(3) The general permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the general permit.

(4) The general permit does not relieve the permittee from liability and penalties when the permitted activity causes harm or injury to: human health or welfare; animal, plant or aquatic life; or property. It does not allow the permittee to cause pollution that violates state water quality standards.

(5) Section 253.77, F.S., provides that a person may not commence any excavation, construction, or other activity involving the use of state-owned or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required consent, lease, easement, or other form of authorization authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on state-owned lands.

(6) The authorization to conduct activities under a general permit may be modified, suspended or revoked in accordance with chapter 120, F.S., and section 373.429, F.S.

(7) The general permit is not transferable to a new third party. To be used by a different permittee, a new notice to use a general permit must be submitted in accordance with rule 62-330.402, F.A.C. Activities constructed in accordance with the terms and conditions of a general permit are automatically authorized to be operated and maintained by the permittee and subsequent owners in accordance with subsection 62-330.340(1), F.A.C. Any person holding the general permit, persons working under the general permit, and owners of land while work is conducted under the general permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to sale, conveyance, or other transfer of ownership or control of the permitted project, activity, or the real property at which the permitted project or activity is located.

(8) Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the permitted system to ensure conformity with the plans and specifications approved by the general permit.

(9) The permittee shall maintain any permitted project or activity in accordance with the plans submitted to the Agency and authorized in the general permit.

(10) A permittee's right to conduct a specific activity under the general permit is authorized for a duration of five years.

(11) Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be implemented and maintained immediately prior to, during, and after construction as needed to stabilize all disturbed areas, including other measures specified in the permit to prevent adverse impacts to the water resources and adjacent lands. Erosion and sediment control measures shall be installed and maintained in accordance with the *State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation, June 2007)*, available at <https://www.flrules.org/Gateway/reference.asp?No=Ref-04227>, and the *Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008)*, available at http://publicfiles.dep.state.fl.us/DEAR/Stormwater_Training_Docs/erosion-inspectors-manual.pdf.

(12) Unless otherwise specified in the general permit, temporary vehicular access within wetlands during construction shall be performed using vehicles generating minimum ground pressure to minimize rutting and other environmental impacts. Within forested wetlands, the permittee shall choose alignments that minimize the destruction of mature wetland trees to the greatest extent practicable. When needed to prevent rutting or soil compaction, access vehicles shall be operated on wooden, composite, metal, or other non-earthen construction mats. In all cases, access in wetlands shall comply with the following:

- (a) Access within forested wetlands shall not include the cutting or clearing of any native wetland tree having a diameter four inches or greater at breast height;
- (b) The maximum width of the construction access area shall be limited to 15 feet;
- (c) All mats shall be removed as soon as practicable after equipment has completed passage through, or work has been completed, at any location along the alignment of the project, but in no case longer than seven days after equipment has completed work or passage through that location; and
- (d) Areas disturbed for access shall be restored to natural grades immediately after the maintenance or repair is completed.

(13) Barges or other work vessels used to conduct in-water activities shall be operated in a manner that prevents unauthorized dredging, water quality violations, and damage to submerged aquatic communities.

(14) The construction, alteration, or use of the authorized project shall not adversely impede navigation or create a navigational hazard in the water body.

(15) Except where specifically authorized in the general permit, activities must not:

- (a) Impound or obstruct existing water flow, cause adverse impacts to existing surface water storage and conveyance capabilities, or otherwise cause adverse water quantity or flooding impacts to receiving water and adjacent lands; or
- (b) Cause an adverse impact to the maintenance of surface or ground water levels or surface water flows established pursuant to section 373.042, F.S., or a Works of the District established pursuant to section 373.086, F.S.

(16) If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The permittee or other designee

shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850)245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with section 872.05, F.S.

(17) The activity must be capable, based on generally accepted engineering and scientific principles, of being performed and of functioning as proposed, and must comply with any applicable District special basin and geographic area criteria.

(18) The permittee shall comply with the following when performing work within waters accessible to federally- or state-listed aquatic species, such as manatees, marine turtles, smalltooth sawfish, and Gulf sturgeon:

(a) All vessels associated with the project shall operate at "Idle Speed/No Wake" at all times while in the work area and where the draft of the vessels provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.

(b) All deployed siltation or turbidity barriers shall be properly secured, monitored, and maintained to prevent entanglement or entrapment of listed species.

(c) All in-water activities, including vessel operation, must be shut down if a listed species comes within 50 feet of the work area. Activities shall not resume until the animal(s) has moved beyond a 50-foot radius of the in-water work, or until 30 minutes elapses since the last sighting within 50 feet. Animals must not be herded away or harassed into leaving. All onsite project personnel are responsible for observing water-related activities for the presence of listed species.

(d) Any listed species that is killed or injured by work associated with activities performed shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1(888)404-3922 and ImperiledSpecies@myFWC.com.

(e) Whenever there is a spill or frac-out of drilling fluid into waters accessible to the above species during a directional drilling operation, the FWC shall be notified at ImperiledSpecies@myfwc.com with details of the event within 24 hours following detection of the spill or frac-out.

(19) The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any activity authorized by the general permit.

(20) The permittee shall immediately notify the Agency in writing of any submitted information that is discovered to be inaccurate.

Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.4145, 373.418, 403.805(1) FS. Law Implemented 373.044, 373.118(1), 373.129, 373.136, 373.406(5), 373.413, 373.4131, 373.414(9), 373.4145, 373.416, 373.422, 373.423, 373.429, 403.814(1) FS. History—New 10-3-95, Amended 10-1-07, Formerly 62-341.215, Amended 10-1-13, 6-1-18.

Special Consent Conditions

1. The applicant agrees to indemnify, defend and hold harmless the Board of Trustees and the State of Florida from all claims, actions, lawsuits and demands in any form arising out of the authorization to use sovereignty submerged lands or the applicant's use and construction of structures on sovereignty submerged lands. This duty to indemnify and hold harmless will include any and all liabilities that are associated with the structure or activity including special assessments or taxes that are now or in the future assessed against the structure or activity during the period of the authorization.
2. Failure by the Board of Trustees to enforce any violation of a provision of the authorization or waiver by the Board of Trustees of any provision of the authorization will not invalidate the provision not enforced or waived, nor will the failure to enforce or a waiver prevent the Board of Trustees from enforcing the unenforced or waived provision in the event of a violation of that provision.
3. Applicant binds itself and its successors and assigns to abide by the provisions and conditions set forth in the authorization. If the applicant or its successors or assigns fails or refuses to comply with the provisions and conditions of the authorization, the authorization may be terminated by the Board of Trustees after written notice to the applicant or its successors or assigns. Upon receipt of such notice, the applicant or its successors or assigns will have thirty (30) days in which to correct the violations. Failure to correct the violations within this period will result in the automatic revocation of this authorization.
4. All costs incurred by the Board of Trustees in enforcing the terms and conditions of the authorization will be paid by the applicant. Any notice required by law will be made by certified mail at the address shown on page one of the authorization. The applicant will notify the Board of Trustees in writing of any change of address at least ten days before the change becomes effective.
5. This authorization does not allow any activity prohibited in a conservation easement or restrictive covenant that prohibits the activity.

General Conditions for Authorizations for Activities on State-Owned Submerged Lands:

All authorizations granted by rule or in writing under rule 18-21.005, F.A.C., except those for geophysical testing, shall be subject to the general conditions as set forth in paragraphs (a) through (j) below. The general conditions shall be part of all authorizations under this chapter, shall be binding upon the grantee, and shall be enforceable under chapter 253 or 258, part II, F.S.

(a) Authorizations are valid only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use shall constitute a violation. Violation of the authorization shall result in suspension or revocation of the grantee's use of the sovereignty submerged land unless cured to the satisfaction of the Board.

(b) Authorizations convey no title to sovereignty submerged land or water column, nor do they constitute recognition or acknowledgment of any other person's title to such land or water.

(c) Authorizations may be modified, suspended or revoked in accordance with their terms or the remedies provided in sections 253.04 and 258.46, F.S., or chapter 18-14, F.A.C.

(d) Structures or activities shall be constructed and used to avoid or minimize adverse impacts to sovereignty submerged lands and resources.

(e) Construction, use, or operation of the structure or activity shall not adversely affect any species which is endangered, threatened or of special concern, as listed in rules 68A-27.003, 68A-27.004 and 68A-27.005, F.A.C.

(f) Structures or activities shall not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity shall be modified in accordance with the court's decision.

(g) Structures or activities shall not create a navigational hazard.

(h) Activities shall not interfere with the public easement for traditional uses of the sandy beaches provided in section 161.141, F.S.

(i) Structures shall be maintained in a functional condition and shall be repaired or removed if they become dilapidated to such an extent that they are no longer functional. This shall not be construed to prohibit the repair or replacement subject to the provisions of rule 18-21.005, F.A.C., within one year, of a structure damaged in a discrete event such as a storm, flood, accident, or fire.

(j) Structures or activities shall be constructed, operated, and maintained solely for water dependent purposes, or for non-water dependent activities authorized under paragraph 18-21.004(1)(g), F.A.C., or any other applicable law.

Rulemaking Authority 253.03(7), 253.73 FS. Law Implemented 253.001, 253.03, 253.141, 253.0347, 253.665, 253.71, 253.68, 253.72, 253.74, 253.75, 253.77 FS. History—New 3-27-82,

Amended 8-1-83, Formerly 16Q-21.04, 16Q-21.004, Amended 12-25-86, 1-25-87, 3-15-90, 8-18-92, 10-15-98, 12-11-01, 10-29-03, 12-16-03, 3-8-04, 10-27-05, 4-14-08, 9-1-09, 3-21-19.

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Jared Orclant

WATERBODY/CLASS: Apalachicola Bay

PURPOSE: DFA

PROJECT LOCATION / USGS: SGI POA Franklin County

LATITUDE: 29° 37' 44.53"

LONGITUDE: 84° 56' 18.95"

SECTION: 29 TOWNSHIP: 9South

RNG: 6 West

JOB: 20-084

DEP:

COE:

OTHER: Rev. 11-23-20

DATE: October 30, 2020

SHEET: 1/4



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

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COE:

OTHER: Rev. 11-23-20

DATE: October 30, 2020

SHEET: 2/4



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899 FAX (850) 653-9656 garlck@garlckenv.com

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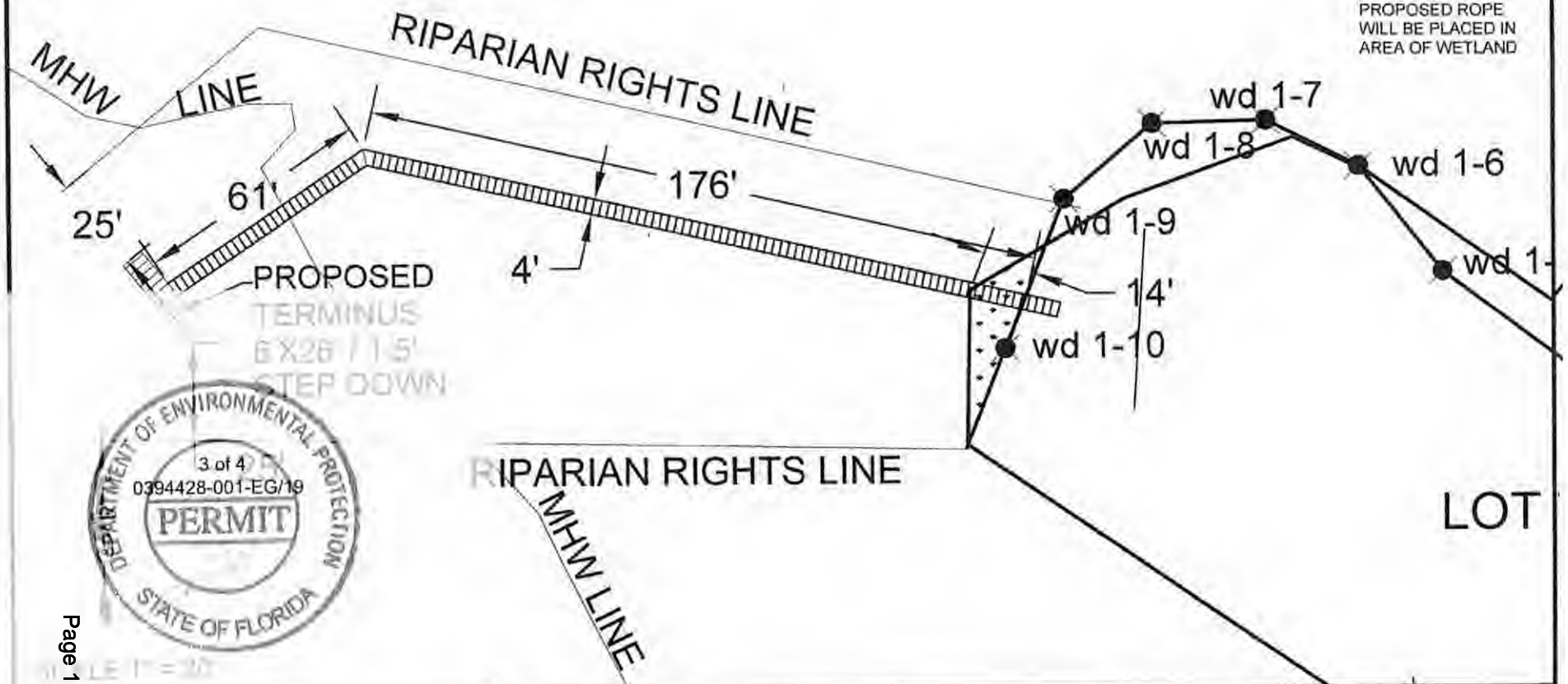
PILINGS WILL BE PLACED A MINIMUM OF 10' APART

PILINGS SIZE WILL BE 6 INCHES

ANY DONUTS/HALOS FORMED DURING LOW PRESSURE JETTING OF PILES WILL BE REMOVED BY HAND

PLANKS WILL BE SPACED 1" APART

PROPOSED ROPE WILL BE PLACED IN AREA OF WETLAND



NOTICE OF COMMENCEMENT

Inst: 202119003328 Date: 05/25/2021 Time: 11:38AM
Page 1 of 1 B: 1302 P: 281, Michele Maxwell, Clerk of Court Fran
County, By: BM
Deputy Clerk

Space Reserved For Recording:

PERMIT # _____ PARCEL ID # 29.095.06W 7337.0000.0070

STATE OF FLORIDA, COUNTY OF FRANKLIN

The UNDERSIGNED hereby gives notice that improvements will be made to certain real property, an in accordance with Chapter 713, Florida Statutes, the following information is provided in the Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY: (Include Street Address)

1927 Indian Harbor DR ST George Island
(Lot 7 Indian Bay Vill
ACK)

General Description of Improvements: SET PilingS for HOMEOWNER

Owner Information or Lessee Information Contracted For The Improvements:

Name: JARED & AMY ORCIAN Phone Number: _____
Address: 963 DAVE WH. TAKER RD HORSE SHOE NC 28742

Owner's Interest In Site Of The Improvement: _____

Name & Address Of Fee Simple Titleholder: _____
(If Different From Owner Listed Above):

Rid HICKS

Contractor's Name: BETTER Bu. IT DOCKS Phone Number: 850.519.7396
Address: 1208 NW 3RD ST CARABELLE, FL 32322

Surety: (If Applicable, A Copy Of The Payment Bond Is Attached): _____

Name & Address: _____ Amount: \$ _____

Lender Name: _____ Phone Number: _____
Address: _____

PERSONS WITH IN THE STATE OF FLORIDA DESIGNATED BY THE OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED FOR BY FLORIDA STATUTE 713.13(1) (A) 7.

NAME: _____
ADDRESS: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES THE FOLLOWING PERSON(S) TO RECEIVE A COPY OF THE LEINOR'S NOTICE AS PROVIDED IN SECTION 713.13 (1)(B) FLORIDA STATUTES:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT (THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DAT OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED.) _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOBSITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

NOTARY SEAL:

Owner/Agent Signature: Michelle Hicks
Printed Name: MICHELLE HICKS

Sworn to me this 25th day of May In the year of 20 21

Notary Signature: Jessica R. Gay
Printed Name: JESSICA R. GAY



Owner

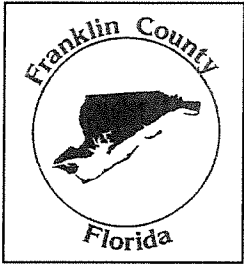


- Legend**
- Parcels
 - Roads
 - City Labels

Parcel ID	36-07S-05W-0000-0031-0000	Alternate ID	05W07S36000000310000	Owner Address	SMITH JAMES E & JENNIFER E
Sec/Twp/Rng	36-7S-5W	Class	SINGLE FAM		9129 RANGPUR CIRCLE
Property Address	1968 HWY 98 W	Acreage	0.585		RIVERSIDE, CA 92508
	CARRABELLE BEACH				
District	1				
Brief Tax Description	LOT 1 CROOKED RIVER LIGHT				
	(Note: Not to be used on legal documents)				

Date created: 4/26/2021
 Last Data Uploaded: 4/26/2021 7:41:43 AM

Developed by  Schneider
 GEOSPATIAL



DOCK PERMIT APPLICATION
FRANKLIN COUNTY BUILDING DEPARTMENT
34 Forbes Street, Suite 1, Apalachicola, Florida 32320
Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____
FEE: \$ _____
C.S.I : \$ _____
TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:
VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:
ISSUANCE DATE: _____ EXPIRES: _____

EXISTING HOUSE: Yes No
DEP PERMIT: Yes No
ARMY COE PERMIT: Yes No
APPROVED: Yes No

APPLICATION MUST BE COMPLETE:

Property Owner/s: Jennifer Smith
Contact Information: Home #: Cell #: 819-6425
Mailing Address: 1968 Highway 98 W City/ Carrabelle / State/ Florida Zip:32322
EMAIL Address: tyler.marsh@southeasternce.com
Contractor Name: _____ Business Name: _____
Contact Information: Office #: _____ Cell #: _____
State License #: _____ County Registration #: _____
Mailing Address: _____ City/State/Zip: _____
EMAIL Address: _____ @ _____

PROPERTY DESCRIPTION::

Lot/s: 1 Block: Block Unit: _____
Parcel Identification #: 36-07S-05W-0000-0031-0000

JURISDICTION: Franklin County City of Apalachicola City of Carrabelle
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

SINGLE FAMILY DOCK/PIER MULTI-FAMILY DOCK/PIER COMMERCIAL

DESCRIPTION: Single Family Residential Dock w- 2 Boat Lifts

ZONING DISTRICT: _____ CONTRACT COST: _____

TOTAL SQUARE FOOT: _____ FOUNDATION TYPE: _____

ROOF MATERIAL: _____

APPROVED BY: Planning & Zoning Date: _____ County Commissioners Date: _____

City of Carrabelle Date: _____ City of Apalachicola Date: _____

WATER BODY: East Bay

CRITICAL SHORELINE DISTRICT: YES OR NO CRITICAL HABITAT ZONE: YES OR NO

BUILDING OFFICIAL **Date** **OWNER (Required)** **Date** **CONTRACTOR (Required)** **Date**

FRANKLIN COUNTY DOCK CHECKLIST & FEE SCHEDULE

CHECKLIST:

- Application
- DEP
- Army CORPS
- Site Plan
- Drawings (Approved by all entities)
- Approvals from local jurisdictions

FEE SCHEDULE:

DOCKS	SQUARE FOOT		X	\$5.00	=	\$
BOAT LIFTS	SQUARE FOOT		X	\$5.00	=	\$
TOTAL VALUATION:						\$
Critical Shoreline Fee:						\$ 100.00
PERMIT FEE:						\$



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS • CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE MARINA, DOCK, AND SUBDIVISION DESIGN

June 16, 2021

Ms Cortni Bankston
Franklin County Planning & Zoning
33 Commerce Street
Apalachicola, FL 32320

Re: Planning and Zoning Agenda
GEA File No. 21-149
Jennifer Smith

Dear Ms. Cortni Bankston:

Please find attached an Application for Development for the referenced project. The proposed project consists of construction of a Single-Family Residential Dock. We have submitted the application for the FDEP and COE permits. Upon receipt, we will send you a copy of each.

As shown on the attached drawings, the access walkway for the proposed dock will be constructed 242 ft. in length and 4 ft. in width (968 Sq. Ft.). The proposed dock will also consist of a deck midway of the access walkway, which will be constructed 15' x 15'. The total square footage of the proposed deck will be 225 sq. ft. The terminus of the proposed dock will be constructed 10' x 16' for a total square footage of 160 sq. ft. Two (2) boat lifts will also be constructed adjacent to each side of the terminus. The boat lift will be built 10' by 20' (200 Sq Ft). The proposed boat lift will not have a roof. If you have any questions, please let us know.

Sincerely,

Kevin Burdette, Project Manager
Garlick Environmental Associates, Inc.

Attachments

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

Page 18
LB No. 7415

APPLICANT/CLIENT: Jennifer Smith

WATERBODY/CLASS: St George Sound / Class II / OFW /

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Franklin County / Carrabelle

LATITUDE: 29° 49' 32.17"

LONGITUDE: 84° 41' 59.18"

SECTION: 36 TOWNSHIP: 7 South

RANGE: 5 West

JOB: 21-115

DEP:

COE:

OTHER:

DATE: June 8, 2021

SHEET: 1/4



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com
LB No. 7415

APPLICANT/CLIENT: Jennifer Smith JOB: 21-115

WATERBODY/CLASS: St George Sound / ClassII / OFW / not an APDEP:

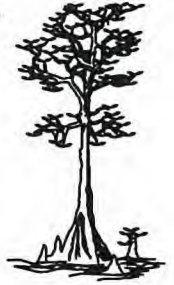
PURPOSE: Environmental Permitting COE:

PROJECT LOCATION / USGS: Franklin County / Carrabelle OTHER:

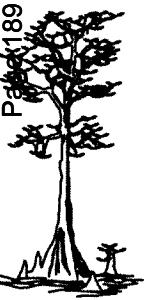
LATITUDE: 29° 49' 32.17" DATE: June 8, 2021

LONGITUDE: 84° 41' 59.18" SHEET: 2/4

SECTION: 36 TNSHP: 7 South RNG: 5 West

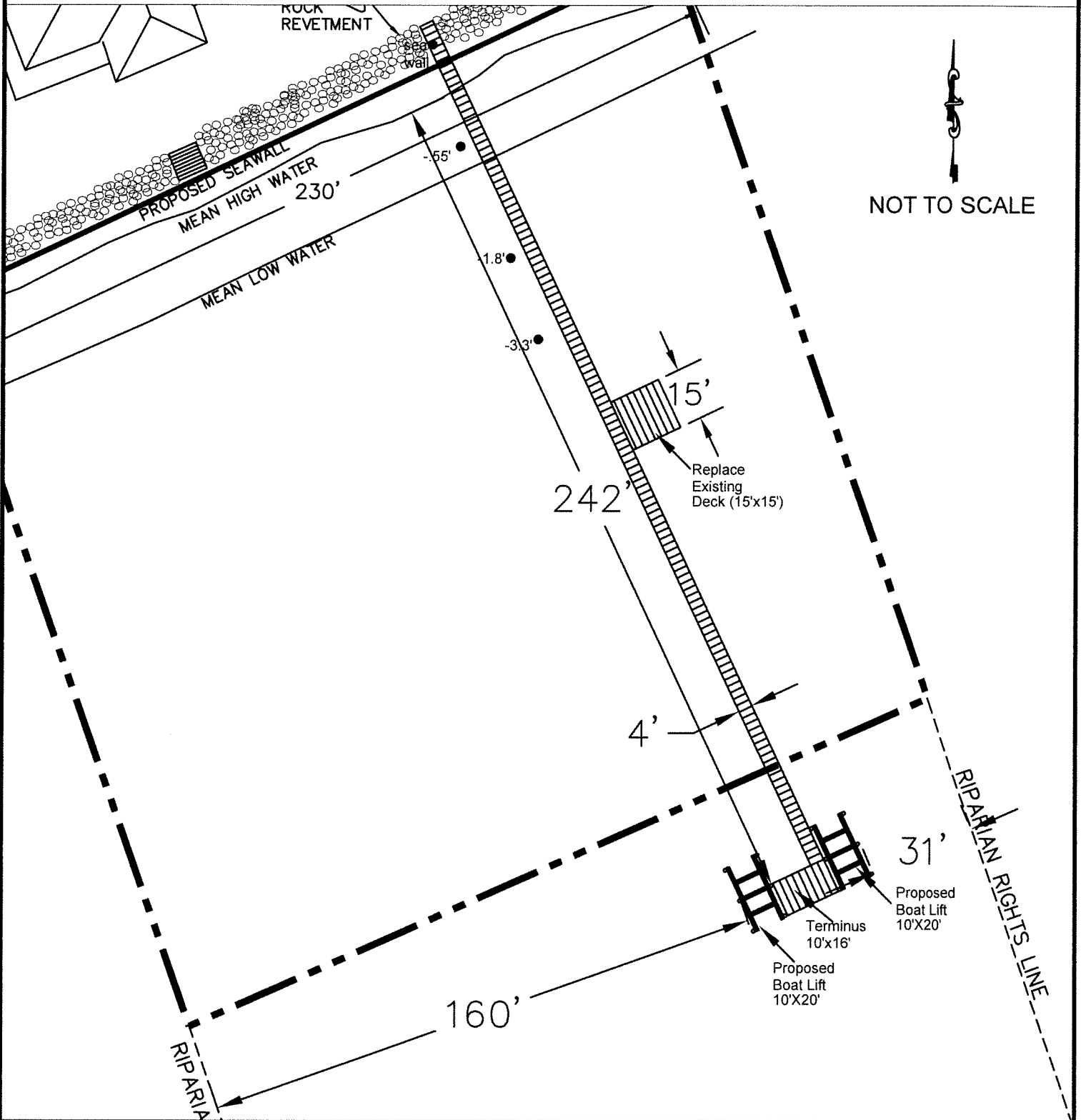


PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Jennifer Smith
WATERBODY/CLASS: St George Sound /
PURPOSE: Rebuild an Existing Dock
PROJECT LOCATION / USGS: Carrabelle / Franklin County
LATITUDE: 29° 49' 32.17"
LONGITUDE: 84° 41' 58.18"
SECTION: 36 TWSHP: 7 South RNG: 5 West

JOB: 21-115
DEP:
COE:
OTHER:
DATE: June 8, 2021
SHEET: 3/4



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Jennifer

JOB: 21-115

WATERBODY/CLASS: St George Sound - Class II, OFW, not an AP

DEP:

PURPOSE: Environmental Permitting

COE:

PROJECT LOCATION / USGS: Franklin County / Carrabelle

OTHER:

LATITUDE: 29° 49' 32.17"

DATE: June 8, 2021

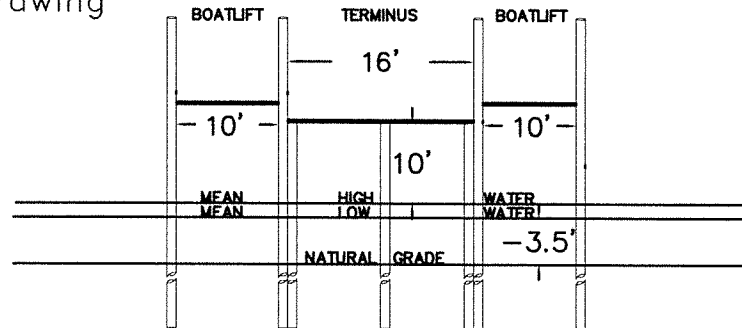
LONGITUDE: 84° 41' 59.18"

SHEET: 4/4

SECTION: 36 TWSHP: 7 South RNG: 5 West

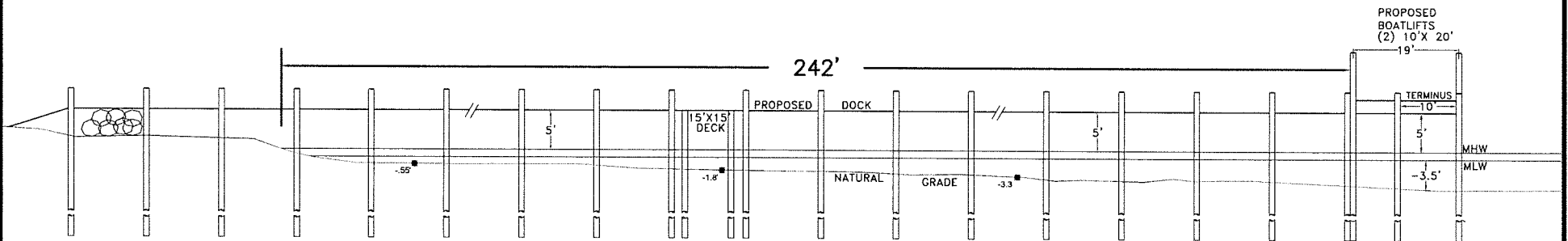


Cross Sectional Drawing of Proposed Dock Not To Scale



These drawings are for permitting purposes only. Not intended for construction purposes

Profile Drawing of Proposed Dock Not To Scale





Parcel Summary

Parcel ID 36-075-05W-0000-0031-0000
 Location Address 1968 HWY 98 W
 CARRABELLE BEACH 32322
 Brief LOT 1 CROOKED RIVER LIGHT HOUSE RESERVATION CONTAINING 1.89 AC M/L OR/185/1 OR 198/378 472/253 691/750 1002/460 1075/456
 Tax Description* 1223/336 1223/357
*The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 36-7S-5W
 Tax District County (District 1)
 Millage Rate 11.2322
 Acreage 0.585
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Smith James E & Jennifer E
 9129 Rangpur Circle
 Riverside, CA 92508

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000125	GULF FRONT ALLI PT	25,520.00	SF	232	110

Residential Buildings

Building 1
 Type SFR PILING
 Total Area 6,140
 Heated Area 2,688
 Exterior Walls AVERAGE
 Roof Cover MODULAR MT
 Interior Walls WALL BD/WD
 Frame Type WOOD FRAME
 Floor Cover SHT VINYL; HARDTILE
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 3
 Bedrooms 4
 Stories 1
 Effective Year Built 1996

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0530	WD SEAWALL	1	0 x 0 x 0	346	LF	2013
0380	WIDOW WALK	1	0 x 0 x 0	1	UT	1996
0650	CON DR WAY	1	0 x 0 x 0	1,595	UT	2002
0330	STORAGE, UTILITY	1	0 x 0 x 0	506	UT	2002
0330	STORAGE, UTILITY	1	0 x 0 x 0	180	UT	2002
0410	WD FENCE	1	0 x 0 x 0	108	UT	2002
0430	DOCK	1	0 x 0 x 0	1,040	SF	0
0357	TERMINUS	1	0 x 0 x 0	200	SF	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	07/05/2018	\$100	QC	1223	357	Unqualified (U)	Improved	FIRST CHOICE GOV, INC	SMITH
N	07/05/2018	\$650,000	WD	1223	336	Qualified (Q)	Improved	FIRST CHOICE GOV, INC	SMITH
N	09/21/2012	\$385,000	TR	1075	456	Unqualified (U)	Improved	ALLMOND MYRA MCLENDON	FIRST CHOICE GOV, INC
N	12/01/2009	\$100	QC	1002	460	Unqualified (U)	Improved	ALLMOND	ALLMOND
N	03/12/2002	\$670,000	WD	691	750	Qualified (Q)	Improved	HATCHER	ALLMOND
N	10/07/1994	\$45,000	WD	472	253	Qualified (Q)	Vacant	RICHARDS JR	HATCHER

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$165,945	\$148,410	\$218,640	\$218,640	\$222,615
Extra Features Value	\$64,664	\$64,664	\$64,664	\$64,664	\$64,664
Land Value	\$114,840	\$114,840	\$100,920	\$207,000	\$207,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$345,449	\$327,914	\$384,224	\$490,304	\$494,279
Assessed Value	\$345,449	\$327,914	\$384,224	\$420,208	\$382,007
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$345,449	\$327,914	\$384,224	\$420,208	\$382,007
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$70,096	\$112,272

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

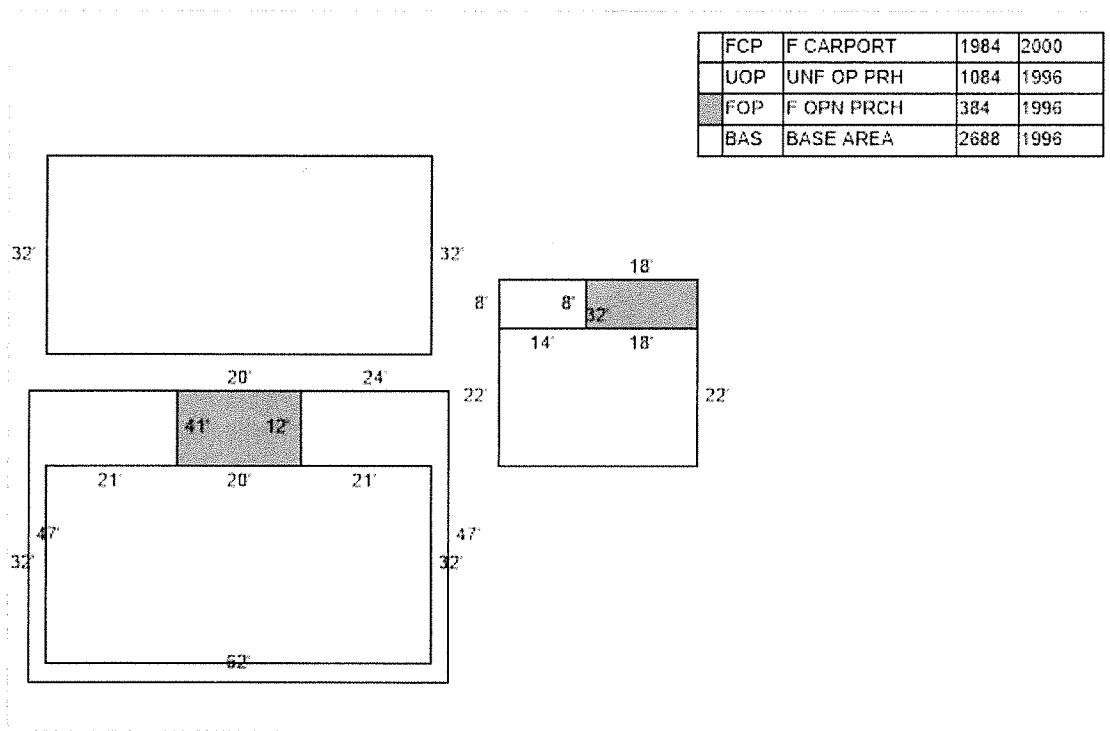
TRIM Notice 2020



TRIM Notice 2019



Sketches



No data available for the following modules: Commercial Buildings.

Florida County makes every effort to provide the most accurate information possible. No warranty, expressed or implied, are provided for any use, benefit, for use or information. The assessment information is from the last certified tax roll. All data is subject to change without notice or approval.

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[GDPR Privacy Notice](#)

Last Data Upload: 4/26/2021 7:41:43 AM

Version 2.0.160



Prepared by and return to:

Joseph R. Boyd, Esq.

Attorney at Law

Tallahassee Title Group, LLC

1407 Piedmont Drive East

Tallahassee, FL 32308

850-580-2222

File Number: Smith.1stChoice

Will Call No.:

Inst: 201819003482 Date: 07/13/2018 Time: 3:28PM
 Page 1 of 2 B: 1223 P: 357, Marcia Johnson, Clerk of Court
 Franklin, County, By: SM Deputy Clerk
 Doc Stamp-Deed: 0.70

[Space Above This Line For Recording Data]

Quit Claim Deed

This Quit Claim Deed made this 6th day of July, 2018 between First Choice Gov, Inc., a Georgia corporation whose post office address is 337 S. Milledge Avenue, Suite 102-C, Athens, GA 30605, grantor, and James E. Smith and Jennifer E. Smith, husband and wife whose post office address is 4039 Kenway Place SE, Smyrna, GA 30082, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said grantee, and grantee's heirs and assigns forever, all the right, title, interest, claim and demand which grantor has in and to the following described land, situate, lying and being in Franklin County, Florida to-wit:

Commence at a concrete monument marking the Northwest corner of Section 36, Township 7 South, Range 5 West, Franklin County, Florida, thence South 41 degrees 02 minutes 01 seconds East 269.28 feet, thence South 54 degrees 31 minutes 59 seconds East 625.25 feet to a concrete monument, thence North 66 degrees 07 minutes 58 seconds East 230.00 feet to a concrete monument, thence South 19 degrees 22 minutes 02 seconds East 621.18 feet to a concrete monument on the Northerly right-of-way of State Road 30 (U.S. 98), thence continue South 19 degrees 22 minutes 02 seconds East 101.49 feet to the Southerly right-of-way of said road and call this the POINT OF BEGINNING, thence continue South 19 degrees 22 minutes 02 seconds East 107.36 feet to a concrete monument upland of the mean high waterline of St. George Sound, thence continue South 19 degrees 22 minutes 02 seconds East 219.97 feet to a point in the waters of St. George Sound, thence South 66 degrees 07 minutes 58 seconds West 230.00 feet, thence North 19 degrees 22 minutes 02 seconds West 195.43 feet to a concrete monument upland of the mean high waterline of St. George Sound thence continue North 19 degrees 22 minutes 02 seconds West 193.33 feet to a concrete monument on the Southerly right-of-way of said road, thence continue North 81 degrees, 27 minutes 30 seconds East 191.46 feet, thence continuing along the Southerly right-of-way of said road 41.92 feet to the POINT OF BEGINNING. This lot is upland of the approximate mean high tide line of St. George Sound and is located in the Northwest 1/4 of Section 36, Township 7 South, Range 5 West, Franklin County, Florida.

Subject to taxes for 2018 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

To Have and to Hold, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of grantors, either in law or equity, for the use, benefit and profit of the said grantee forever.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
 Witness Name: *Debra Thane*
Maria Ruiz
 Witness Name: *Maria Ruiz*

First Choice Gov, Inc., a Georgia corporation

By: *[Signature]*
 Pansy S. Riner, Chief Executive Officer



(Corporate Seal)

State of *Georgia*
 County of *Clarke*

The foregoing instrument was acknowledged before me this *5* day of July, 2018 by Pansy S. Riner, Chief Executive Officer of First Choice Gov, Inc., a Georgia corporation, on behalf of the corporation. He/she is personally known to me or has produced a driver's license as identification.

[Notary Seal]

[Signature]
 Notary Public
 Printed Name: *Ryan Daniels*
 My Commission Expires: *6-29-19*

RYAN DANIELS
NOTARY PUBLIC
 Gwinnett County
 State of Georgia
 My Comm. Expires June 29, 2019



Adjacent Neighbor



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	36-07S-05W-0000-0040-0010	Alternate ID	05W07S36000000400010	Owner Address	THE NICHOLS FAMILY TRUST AND
Sec/Twp/Rng	36-7S-5W	Class	VACANT		COOPER WILLIAM P JR
Property Address		Acreage	n/a		4016 LAKEWOOD DRIVE
					KINGSPORT, TN 37663

District 1
 Brief Tax Description 240 FT X 300 FT N OF HWY 98
 (Note: Not to be used on legal documents)

Date created: 5/28/2021
 Last Data Uploaded: 5/28/2021 7:42:37 AM

Developed by  Schneider
 GEOSPATIAL

Adjacent Neighbor



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	36-075-05W-0000-0035-0000	Alternate ID	05W07536000000350000	Owner Address	WOODARD GREGORY L & CAROL O
Sec/Twp/Rng	--	Class	VACANT		517 ISLEBAY DR
Property Address		Acreage	0.452		APOLLO BCH, FL 33572-3334
District	1				
Brief Tax Description	THE E1/2 OF LOT 2 CROOKED				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 5/28/2021
 Last Data Uploaded: 5/28/2021 7:42:37 AM

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Owner



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	03-08S-05W-1000-0000-0030	Alternate ID	05W08S03100000000030	Owner Address	SORIA RICK & SANDRA
Sec/Twp/Rng	--	Class	VACANT		18802 R AVENUE
Property Address	2392 HIGHWAY 98 W CARRABELLE	Acreage	1.01		MINBURN, IA 50167
District	1				
Brief Tax Description	PINWOOD SHORES SUB LOT 3 <i>(Note: Not to be used on legal documents)</i>				

Date created: 6/17/2021
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DOCK PERMIT APPLICATION
FRANKLIN COUNTY BUILDING DEPARTMENT
 34 Forbes Street, Suite 1, Apalachicola, Florida 32320
 Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____
 FEE: \$ _____
 C.S.I : \$ _____
 TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:
VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:
 ISSUANCE DATE: _____ EXPIRES: _____

EXISTING HOUSE: Yes No
DEP PERMIT: Yes No
ARMY COE PERMIT: Yes No
APPROVED: Yes No

APPLICATION MUST BE COMPLETE:

Property Owner/s: Rick Soria
 Contact Information: Home #: 515-770-8998 Cell #: _____
 Mailing Address: 2392 Highway 98W City/Carrabelle/State/FL Zip: 32322
 EMAIL Address: rickSORIAL@gmail.com

Contractor Name: _____ Business Name: _____
 Contact Information: Office #: _____ Cell #: _____
 State License #: _____ County Registration #: _____
 Mailing Address: _____ City/State/Zip: _____
 EMAIL Address: _____ @ _____

PROPERTY DESCRIPTION: 911 Address: 2392 Highway 98 W. Carrabelle, FL 32322
 Lot/s: 3 Block: _____ Subdivision: Pinewood Shores Sub. Unit: _____
 Parcel Identification #: 03-08S-05W-1000-0000-0030

JURISDICTION: Franklin County City of Apalachicola City of Carrabelle
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point
 SINGLE FAMILY DOCK/PIER **MULTI-FAMILY DOCK/PIER** **COMMERCIAL**

DESCRIPTION: Construction of a driveway over a portion of wetlands. See Attached DWGS

ZONING DISTRICT: _____ CONTRACT COST: _____
 TOTAL SQUARE FOOT: _____ FOUNDATION TYPE: _____
 ROOF MATERIAL: _____

APPROVED BY: **Planning & Zoning Date:** _____ **County Commissioners Date:** _____
 City of Carrabelle Date: _____ **City of Apalachicola Date:** _____

WATER BODY: _____
CRITICAL SHORELINE DISTRICT: YES OR NO **CRITICAL HABITAT ZONE:** YES OR NO

BUILDING OFFICIAL **Date** **OWNER** (Required) **Date** **CONTRACTOR** (Required) **Date** **Page 198**

FRANKLIN COUNTY DOCK CHECKLIST & FEE SCHEDULE

CHECKLIST:

Application

DEP

Army CORPS

Site Plan

Drawings (Approved by all entities)

Approvals from local jurisdictions

FEE SCHEDULE:

DOCKS	SQUARE FOOT	X	\$5.00	=	\$
BOAT LIFTS	SQUARE FOOT	X	\$5.00	=	\$
TOTAL VALUATION:					\$
Critical Shoreline Fee:					\$ 100.00
PERMIT FEE:					\$



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL
 DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS •
 CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL
 LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE
 MARINA, DOCK, AND SUBDIVISION DESIGN

June 18, 2021

Mr. Jacob Hullett
 FDEP / Northwest District
 160 W. Government Street
 Suite 308
 Pensacola, FL 32502

Re: Rick Soria Driveway
 GEA File No. 21-192
 FDEP File No.
 Carrabelle Beach/Franklin County

Attached is an application for the construction of a driveway for the referenced project. The proposed driveway will be constructed in Section 3, Township 8 South, Range 5 West, near Carrabelle Beach, Franklin County, Florida (see attached location map). The proposed driveway is necessary for access to the upland portion of the parcel for the construction of a dwelling.

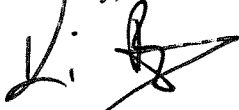
A permit was issued on or about May 21, 2014 for the fill to be placed within a jurisdictional wetland at the front of the parcel. I have included a copy of that permit for your convenience. The permit expired May 21, 2019

The proposed driveway will cross over a jurisdictional wetland at the front of the parcel, as shown on the attached drawings. The habitat is a palustrine wetland with high form and function. Predominant plants are slash pine, sweet bay with an understory of saw grass, yaupon and cinnamon fern. The driveway will be outlined by staking, followed by installation of sediment curtains. The corridor will be cleared and grubbed. All materials will be placed on the uplands. The filling of the wetland will be last, as well as placing two (2) 32 inch RCP within the access right of way (see Sheets 2/4, 3/4 and 4/4). The total amount of fill for the proposed access driveway across the jurisdictional wetlands is 0.057 acres. The turbidity curtains will remain in place until the proposed project is completed.

The proposed fill in the jurisdictional wetland for the construction of the driveway should qualify for a General Permit. The \$250.00 permit fee will be paid online after we receive the FDEP File Number.

If you have any questions, or need additional assistance, please do not hesitate to call or email me.

Sincerely,

A handwritten signature in black ink, appearing to read 'K. Burdette', with a stylized flourish at the end.

Kevin Burdette, PhD
Garlick Environmental Associates, Inc.

Attachments

**Application for
Individual and Conceptual Approval
Environmental Resource Permit
and Authorization to Use State-Owned
Submerged Lands**

Florida Department of Environmental Protection/
Water Management Districts

Effective June 1, 2018



Instructions for Use of This Form:

This form is designed to assist you in submitting a complete application. All applications must include Section A-General Information for All Activities. Sections B through H list typical information that is needed based on the proposed activities and are only required as applicable. Part 1-C of Section A will guide you to the correct sections needed based on your proposed activities. Applicants are advised to consult Chapter 62-330, F.A.C., and the Environmental Resource Permit Applicant's Handbooks Volumes I and II for information regarding the ERP permitting process and requirements while preparing their application. Internet addresses for Chapter 62-330, F.A.C., and the Applicant's Handbook, Agency contact information, and additional instructions for this form can be found in Attachment 1.

What Sections of the Application Must I Fill Out?

Type of Activity	Section A	Section B	Section C	Section D	Section E	Section F	Section G	Section H
Fill in wetlands or waters for a single family residence?	Y	Y	N	N	N	N	N	N
Docks, shoreline stabilization, seawalls associated with a single family residence?	Y	Y	N	N	N	Y, as needed	N	N
Wetland impacts (other than association with an individual residence)?	Y	N	Y	N	N	N	N	N
Boating facilities, a marina, jetty, reef, or dredging?	Y	N	Y	Y	N	Y, as needed	N	N
Any work on state owned submerged land?	Y	N	Y	N	N	Y	N	N
Construction of a stormwater management system?	Y	N	Y, as needed	N	Y	N	N	N
Constructing a mitigation bank?	Y	N	Y	N	Y, as needed	N	Y	N
Creating a mine?	Y	N	Y, as needed	N	N	N	N	Y

Note- if you are required to provide Section B, then you do not have to provide any other Sections, unless the activities are on state-owned submerged lands. In that case, Section F will also be required.

If you have any questions, or would like assistance completing this form, please contact the staff of the nearest office of either the Florida Department of Environmental Protection (DEP) or a Water Management District (WMD) (see Attachment 2).

Section A: General Information for All Activities

Part 1: Name, Application Type, Location, and Description of Activity

A. Name of project, including phase if applicable:

B. This is for (check all that apply):

- Construction and operation of **new** works, activities, and/ or a stormwater management system
- Conceptual Approval** of proposed works, activities and/ or a stormwater management system
- Modification or alteration of **existing** works, activities, and/or a stormwater management system. Provide the existing DEP or WMD permit #, if known: Note: Minor modifications do not require completion of this form, and may instead be requested by letter in accordance with section 6.2 of Applicant's Handbook Volume I.
- Maintenance or repair** of works, activities, and/ or a stormwater management system previously permitted by the DEP or WMD. Provide existing permit #, if known:
- Abandonment or removal of works, activities, and/ or a stormwater management system. Provide existing DEP or WMD permit #, if known:
- Operation of an **existing unpermitted** work, activity, and/or stormwater management system.
- Construction of additional phases of a permitted work, activity, or system. Provide the existing DEP or WMD permit #, if known:

C. **List the type of activities proposed. Check all that apply, and provide the supplemental information requested in each of the referenced application sections.** Please also reference Applicant's Handbook Volumes I and II for the type of information that may be needed.

- Activities associated with one single-family residence, duplex, triplex, or quadruplex that do not qualify for an exemption or a General Permit: **Provide the information requested in Section B. Do not complete Section C.**
- Activities within wetlands or surface waters, or within 25 feet of a wetland or surface water, (not including the activities associated with an individual single-family residence). Examples include dredging, filling, outfall structures, docks, piers, over-water structures, shoreline stabilization, mitigation, reclamation, and restoration/enhancement. **Provide the information requested in Section C.**

- Activities within navigable or flowing surface waters such as a multi-slip dock or marina, dry storage facility, dredging, bridge, breakwaters, reefs, or other offshore structures: **In addition to Section C, also provide the information requested in Section D.**
- Activities that are (or may be) located within, on, or over state-owned submerged lands (See Chapter 18-21, F.A.C. <https://www.flrules.org/gateway/ChapterHome.asp?Chapter=18-21>): **In addition to Section B or C, also provide the information requested in Section F.**
- Construction or alteration of a stormwater management system serving residential, commercial, transportation, industrial, agricultural, or other land uses, or a solid waste facility (excluding mines that are regulated by DEP). **Provide the information requested in Section E.**
- Creation or modification of a Mitigation Bank (refer to Chapter 62-342, F.A.C. <https://www.flrules.org/gateway/ChapterHome.asp?Chapter=62-342>): **Provide the information requested in Section G.**
- Mines (as defined in Section 2.0 of Applicant's Handbook Volume I) that are regulated by the DEP: **Provide the information requested in Section H.**
- Other, describe: Please contact the Agency to determine which additional sections of the application are needed. See Attachment 2 for Agency contacts.

D. Describe in general terms the proposed project, system, works, or other activities. For permit modifications, please briefly describe the changes requested to the permit:

Fill in Wetlands for Access to the Parcel

E. Project/Activity Street/Road Address or other location (if applicable): 2392 Highway 98W

City: Carrabelle

County(ies): Franklin

Zip: 32322

Note: For utility, road, or ditch/canal activities, provide a starting and ending point using street names and nearest house numbers or provide length of project in miles along named streets or highways.

F. Project location map and Section, Township, and Range information (use additional sheets if needed):

Please attach a location map showing the location and boundaries of the proposed activity in relation to major intersections or other landmarks. The map should also contain a north arrow and a graphic scale; show Section(s), Township(s), and Range(s); and must be of sufficient detail to allow a person unfamiliar with the site to find it.

Section(s): 3 Township: 8 South Range: 5 West Land Grant name, if applicable:

Section(s): 3 Township: 8 South Range: 5 West

1. Section(s): 3 Township: 8 South Range: 5 West

G. Latitude (DMS) 29 ° 48 ' 30.14 " Longitude (DMS) 84 ° 43' ' 33.60 " (Taken from central location of the activity). Explain source for obtaining latitude and longitude (i.e. U.S.G.S. Quadrangle Map, GPS, online resource):

Google Earth

H. Tax Parcel Identification Number(s): 03-08S-05W-1000-0000-0030

[Number may be obtained from property tax bill or from the county property appraiser's office; if on multiple parcels, provide multiple Tax Parcel Identification Numbers]

I. Directions to Site (from major roads; include distances and landmarks as applicable):

Coming through Apalachicola, continue through town and cross over both bridges. At the end of the second bridge arriving in Eastpoint, continue on Highway 98 for approximately 12 miles. The site will be on your left side.

J. Project area or phase area: 0.046 acres

K. Name of waterbody(ies) (if known) in which activities will occur or into which the system will discharge:

N/A

The following questions (M-O) are not applicable to activities related to an individual single-family residence, including a dock, pier, and/or seawall associated with that residence.

L. Is it part of a larger plan of development or sale? yes no

M. Impervious or semi-impervious area excluding wetlands and other surface waters (if applicable):

acres or square feet

N. Volume of water the system is capable of impounding (if applicable):

Normal Pool: acre-feet. Depth ft.
 Maximum Pool: acre-feet. Depth ft.

Part 2: Supplemental Information, and Permit History

A. Is this an application to modify an existing Environmental Resource Permit or to construct or implement for part of a multi-phase project, such as a project with a Conceptual Approval permit? Yes No (If you answered "yes", please provide permit numbers below):

Agency	Date	Permit/Application No.	Project Name

Agency	Date	Permit/Application No.	Project Name

B. Indicate if there have been any **pre-application meeting(s)** with the DEP, WMD, or delegated local government, or other discussions, meetings, or coordination with other stakeholders or agencies about the proposed project, system or activity. If so, please provide the date(s), location(s) of the meeting, and the name(s) of Agency staff that attended the meeting(s):

Agency	Date	Location	Meeting Attendees

C. **Attach a depiction (plan and section views), which clearly shows the works or other activities proposed to be constructed.** Use multiple sheets, if necessary, a scale sufficient to show the location and type of works, and include a north arrow and a key to any symbols used. **Specific information to be included in the plans is based on the activities proposed and is further described in Sections B-H.** However, supplemental information may be required based on the specific circumstances or location of the proposed works or other activities.

D. Processing Fee: **Please submit the application processing fee along with this application form and supplemental information.** Processing fees vary based on the size of the activity, the type of permit applied for, and the reviewing Agency. Please reference Appendix D of Applicant’s Handbook Volume I to determine the appropriate fee.

Part 3: Applicant and Associated Parties Information

Instructions: Please complete the following sections. For corporations, list a person who is a registered agent or officer of the corporation who has the legal authority to bind the corporation.


A. Applicant (Entity Must Have Sufficient Real Property Interest)

This is a Contact Person for Additional Information

Last Name: Soria	First Name: Rick	Middle Initial:
Title:	Company:	
Address: 18802 R Avenue		
City: Minburn	State: IA	Zip: 50167
Home Telephone: 515-770-8998	Work Telephone:	
Cell Phone:		

A. By signing this application form, I am applying for the permit and any proprietary authorizations identified above, according to the supporting data and other incidental information filed with this application. I am familiar with the information contained in this application and represent that such information is true, complete and accurate. I understand this is an application and not a permit, and that work prior to approval is a violation. I understand that this application and any permit issued or proprietary authorization issued pursuant thereto does not relieve me of any obligation for obtaining any other required federal, state, water management district, or local permit prior to commencement of construction. I agree to operate and maintain the permitted system unless the permitting agency authorizes transfer of the permit to a different responsible operation and maintenance entity. I understand that knowingly making any false statement or representation in this application is a violation of Section 373.430, F.S. and 18 U.S.C. Section 1001.

Typed/Printed Name of Applicant or Applicant's Authorized Agent


Signature of Applicant or Applicant's Authorized Agent

6/21/21
Date

(Corporate Title if applicable)

B. Certification of Sufficient Real Property Interest And Authorization For Staff To Access The Property:

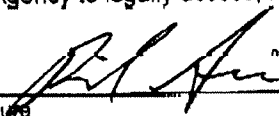
I certify that:

I possess sufficient real property interest in or control, as defined in Section 4.2.3 (d) of Applicant's Handbook Volume I, over the land upon which the activities described in this application are proposed and I have legal authority to grant permission to access those lands. I hereby grant permission, evidenced by my signature below, for staff of the Agency to access, inspect, and sample the lands and waters of the property as necessary for the review of the proposed works and other activities specified in this application, upon advance notice. I authorize these agents or personnel to enter the property as many times as may be necessary to make such review, inspection, and/ or sampling. Further, if a permit is granted, upon advance notice, I agree to provide entry to the project site for such agents or personnel with proper identification to determine compliance with permit conditions and permitted plans and specifications.

OR

I represent an entity having the power of eminent domain and condemnation authority, and I/we shall make appropriate arrangements to enable staff of the Agency to legally access, inspect, and sample the property as described above.

Typed/Printed Name


Signature


Date 6/21/21

(Corporate Title if applicable)

C. Designation of Authorized Agent (If Applicable):

I hereby designate and authorize _____ to act on my behalf, or on behalf of my corporation, as the agent in the processing of this application for the permit and/or proprietary authorization indicated above; and to furnish, on request, supplemental information in support of the application. In addition, I authorize the above-listed agent to bind me, or my corporation, to perform any requirements which may be necessary to procure the permit or authorization indicated above. I understand that knowingly making any false statement or representation in this application is a violation of Section 373.430, F.S., and 18 U.S.C. Section 1001.

Rick Soria
Typed/Printed Name of Applicant


Signature of Applicant

Date

(Corporate Title if applicable)

Section B: For Single-Family Projects

Instructions: This section is for providing supplemental information required for works or other activities involving one individual single-family (including a duplex, triplex or quadruplex) residential property that do not qualify for an exemption or general permit. This is intended to be used in conjunction with the Applicant's Handbook, Vol. I & II. The Agency will also provide a copy of the application to the Florida Fish and Wildlife Conservation Commission, the Department of State's Division of Historical Resources, and other agencies as applicable for review. Project modifications may be required as a result of those comments. The supplemental information required by this section is in addition to the information required by Section A of the application.

Part I: Project Information Summary

1. Does the project include construction of any docks, piers, or other types of over-water structures or mooring areas?

yes (complete items a. through f., below) no (skip to #2)

 - a. Total square feet of structure(s) over water:
 existing: new: proposed total:
 - b. Type of materials (e.g., treated wood, plastic, concrete, etc.) for the:
 dock structure: pilings:
 - c. Proposed dock plank spacing (if applicable):
 - d. Number of in-water slips or mooring areas for vessels:
 existing: new: proposed total:
 - e. Please indicate the size (length and draft) and type of vessels that will be mooring at the dock or structure:
 - f. Please address how the dock, pier, or other structures or mooring areas will not significantly impede navigation within the waterbody:

2. Does the project include construction of any shoreline stabilization, such as riprap revetment, living shoreline, or seawall?

yes (complete items a. through f., below) no (skip to #3)

 - a. Linear feet of shoreline (at the mean or ordinary high water line) proposed to be stabilized or modified:
 - b. Describe the existing condition of the shoreline, including vegetation:
 - c. Is the proposed shoreline stabilization limited solely to repair/replacement of existing structures of the same type and design?
 Yes No I don't know
 - d. Type(s) of shoreline stabilization proposed (check all that apply):
 living shoreline vertical seawall riprap or other sloped revetment



- e. Please describe the type(s) of material (e.g. riprap, treated wood, concrete, plastic or steel sheetpile) to be used to construct the shoreline stabilization structure(s). If riprap is proposed, describe the type and average diameter or size:
- f. If the project involves construction or repair of any vertical seawalls, will it be located entirely within a manmade canal that is currently occupied (at least in part) by vertical seawalls?
 Yes No Not applicable/no vertical seawalls proposed
If the answer is "no", it is recommended that you contact the reviewing agency prior to submitting your application.
3. Does the project include construction of any boat ramp or launch area?
 yes (complete items a. through e., below) no (skip to #4)
- a. Material to be used as a base and surface fill:
- b. Methods and materials for side slope stabilization:
- c. Method and equipment to be used during dredging and construction:
- d. Approximate amount of material that needs to be dredged, if any. Please indicate the total square footage of area and the number of cubic yards of material.
- e. Approximate amount of fill material, if any. Please indicate the total square footage of area and the number of cubic yards of material.
4. Does the project include any other type of dredging or filling of wetlands or other surface waters?
 yes (complete items a. through f., below) no (skip to #5)
- a. Total square feet of the area(s) to be dredged: N/A
- b. Total square feet of the area(s) to be filled: 1982 Sq Ft / 0.046 AC
- c. Total volume of material to be dredged: N/A cubic yards
- d. Final depth of proposed dredge area in feet, relative to mean low water (tidal waters) or ordinary or seasonal high water (for non-tidal waters): N/A
- e. Methods and equipment to be used during dredging and/or filling:
- f. How and where will dredged material be stored and disposed? *Include a description of any temporary stockpile areas and best management practices (BMPs):* NA
5. Total area of work (dredging, filling, construction, alteration, or removal) in, on, or over wetlands or other surface waters: 1982 square feet; 0.046 acres
6. Please provide the name (if known) of the wetland or other surface waterbody in which the proposed work or activities will occur. *Be advised that individual waterbodies or wetlands, or geographic areas, may have certain legal designations that affect the permitting requirements for your project. Examples of such designations include Aquatic Preserves, Outstanding Florida Waters, Special Basins, Riparian Habitat Protection Zones, Class II or other classified shellfishing waters, and impaired waters. It is recommended that you contact your local agency office to determine if your project is located within any such waters prior to submitting your application.*
 Waterbody: N/A I don't know

Part II: Environmental Considerations

1. Elimination or Reduction of Impacts (Avoidance and Minimization) *(Refer to Applicant's Handbook, Vol. I, s. 10.2.1 through 10.2.1.3)*

Please describe measures taken to eliminate or reduce impacts to wetlands and other surface waters.

If all practicable modifications have been made to reduce or eliminate adverse impacts to wetland or surface water functions, including functions provided to fish, wildlife and listed species, and adverse impacts remain, mitigation may be required. It is recommended that you discuss mitigation requirements with the reviewing agency, prior to submitting this application. For more information, refer to Applicant's Handbook, Vol. I, s. 10.2.2 through 10.2.2.4, and s. 10.3 through 10.3.8. If you have a mitigation proposal, you may include it with your application submittal.

2. Public Interest Test *(Refer to Applicant's Handbook, Vol. I, s. 10.2.3 through 10.2.3.7)*

You are not required to complete this question – it is optional. Please be advised that the reviewing agency will determine whether the proposed activity will be **not contrary** to the public interest, **OR** if such activity will significantly degrade or is located within an Outstanding Florida Water (OFW), that the activity will be **clearly in** the public interest. To make this determination, the agency will consider the following:

- a. Whether the regulated activity will adversely affect public health, safety, or the welfare or the property of others
- b. Whether the regulated activity will adversely affect the conservation of fish and wildlife, including endangered or threatened species, or their habitats
- c. Whether the regulated activity will adversely affect navigation or the flow of water or cause harmful erosion or shoaling
- d. Whether the regulated activity will adversely affect the fishing or recreational values or marine productivity in the vicinity of the activity
- e. Whether the regulated activity will be of a temporary or permanent nature
- f. Whether the regulated activity will adversely affect significant historical and archaeological resources, under the provisions of section 267.061, F.S.
- g. Whether the regulated activity will adversely affect the current condition and relative value of functions being performed by areas affected by the proposed regulated activity.

If you wish to describe additional measures taken to place your project clearly in (or not contrary to) the public interest, as described above, please do so here:

3. Water Quality *(Refer to Applicant's Handbook, Vol. I, s. 10.2.4 through 10.2.4.5)*

Please describe how the proposed project will be designed to not violate water quality standards. *Include descriptions of all proposed turbidity, erosion, and sedimentation control measures:*

4. Secondary Impacts (Refer to Applicant's Handbook, Vol. I, s. 10.2.7)

Will an upland buffer, **with a minimum width of 15' and an average width of at least 25'**, be provided between the proposed project and all wetlands and other surface waters to be preserved, enhanced, restored, or created? Yes No

If no, please describe how the project will be designed and constructed to avoid adverse secondary impacts to the water resource:

5. Water Quantity (Refer to the Design and Performance Guidance for an Individual Private, Residential Single-Family Residence Involving Dredging or Filling in Wetlands or Other Surface Waters found in Applicant's Handbook, Vol. I, References and Design Aids)

Please describe how the proposed project will be designed and constructed to avoid causing the following:

Adverse water quantity impacts to receiving waters and adjacent lands:

Adverse flooding to on-site or off-site property:

Adverse impacts to existing surface water storage and conveyance capabilities.

Part III: Plans

Attach depictions (plan and section views), which clearly show all proposed structures or works. Use multiple sheets, if necessary. Plans should be scaled, dimensioned, and legible. Use a scale sufficient to show the location and type of works. *Be advised that certain items may require the services of a Florida registered professional.* At a minimum, plans must include the information listed below as applicable, based on the activity proposed:

1. All Activities

- Project location map that clearly depicts the location of all proposed activities
- Location of property lines, including linear feet of shoreline owned by the applicant
- Mean high water line (MHWL) (tidal waters) or ordinary (or seasonal) high water line (OHWL) (non-tidal waters)
- The location and dimensions (length, width, height) of all existing and proposed structures or works located in, on, or over wetlands or other surface waters, within the project area
- Detailed cross-section views with complete dimensions
- The boundaries, size (square feet and acres), and type of each wetland (including herbaceous, forested, mangroves, seagrass, and other submerged/emergent vegetation) and other surface water in the project area
- Clearly shade or hatch each dredge or fill area, and label with the area (acres and square feet) and volume (cubic yards)
- Location and type of all proposed turbidity, erosion, and sedimentation control measures

2. Docks, Piers, Boat Slips, and Ramps

- Profile-view drawings that clearly show the elevation of the structure above MHWL (tidal waters) or OHWL (non-tidal waters), and water depth, in relation to mean low water (tidal waters) or ordinary or seasonal low water (non-tidal waters) at mooring sites and the bottom of the boat ramp (if applicable)
- Show width of waterway and the path and distance between the waterward end of the structure and the nearest marked navigation channel

- Number each slip
- Show and label width of deck planks and plank spacing

3. Seawalls and Other Shoreline Stabilization

- Location of the proposed structures in relation to MHWL (tidal waters), or OHWL (non-tidal waters), including measurements from at least 3 fixed structures or in relation to the existing structure(s), and location of new structure
- Cross-section drawings depicting the proposed shoreline stabilization structures (including geotextile fabric, anchors/tiebacks, and other features, if applicable) that clearly show the slope ratio (horizontal:vertical)
- Show how your structure will tie into neighboring structures, if applicable
- For living shorelines, identify the proposed plant species, and for each species, indicate the locations, spacing, and elevations relative to the mean high and low (for tidal waters) or ordinary or seasonal high (for non-tidal waters) water line

NOTE: If any part of your project has a potential to be located on state-owned submerged lands (i.e., waterward of the line of mean or ordinary high water of rivers, streams, bays, bayous, sounds, the Gulf of Mexico, the Atlantic Ocean, or natural lakes), please complete Section F of this application, as a separate authorization may be required to conduct activities on such lands.

Section C: Supplemental Information for Works or Other Activities In, On, or Over Wetlands and/or Other Surface Waters

Instructions: This section is for applications that do not involve activities associated with an individual single-family residence, duplex, triplex, or quadruplex. For those activities, please use Section B. This form is to be completed if the proposed work or activity will occur in, on, over, or within 25 feet of a wetland or other surface water. The supplemental information required by this section is in addition to the information required by Section A of the application.

Part 1: Wetland or Other Surface Water Impact Summary

1. Describe the basic purpose of the project or activity:
Construction of a driveway for access to the property.
2. Total area of work (dredging, filling, construction, alteration, or removal) in, on, or over wetlands or other surface waters: 1982 sq. ft.; 0.046 ac.
3. Total volume of material to be dredged or filled in wetlands or other surface waters:
 - a. to be dredged: cubic yards,
 - b. to be filled: 147 cubic yards.
4. Identify the seasonal high water level (SHWL) and wetland normal pool elevations for each wetland or surface water within the project site. For tidal wetlands and/or surface waters provide the elevation of mean high and mean low water. Include an aerial photograph showing the location of each sampling location, dates, datum, and methods used to determine these elevations.
N/A
5. Name of waterbody(ies) (if applicable & if known) in which work will occur?
N/A
6. Is the activity proposed in an Outstanding Florida Water or Aquatic Preserve?
 yes, name: no I don't know
7. Has there ever been a formal or informal wetland determination for the project site? If yes, provide the identifying number and/or a copy of the jurisdictional map.
8. Provide a map(s) of the project area and vicinity delineating USDA/NRCS soil types.
9. Provide recent aeri-als, legible for photointerpretation (no photocopies) with a scale of 1" = 400 ft, or more detailed, with project boundaries and wetland boundaries delineated on the aerial.
10. Provide maps accurately portraying the existing and proposed natural vegetative community types and land cover classifications using recognized classification schemes. Suggested sources include: the Florida Natural Areas Inventory Guide to the Natural Communities of Florida (2010) available at <http://www.fnai.org/naturalcommguide.cfm>, or the Florida Land Use and Cover Classification System (FLUCCS) (FDOT 1999, available at <http://www.dot.state.fl.us/surveyingandmapping/documentsandpubs/fluccmanual1999.pdf>). For



Form #62-330.060(1) - Application for Individual and Conceptual Approval Environmental Resource Permit and Authorization to Use State-Owned Submerged Lands

Incorporated by reference in subsection 62-330.060(1), F.A.C. (June 1, 2018)

Section C, Page 1 of 10

vegetated areas dominated by exotic vegetation, use the descriptors representative of the native community type that was present prior to exotic infestation.

11. Impact Summary Tables (located at the end of this section):
 - a. For all projects, complete Table 1, 2 and 3 as applicable.
 - b. For shoreline stabilization projects, provide the information requested in Table 4.

12. If the activity is located on state owned submerged lands and requires a lease or easement, provide a list of names and addresses from the latest county tax assessment roll of all property owners located within a 500 ft. radius of the proposed lease or easement boundary in mailing label format, or you may elect to send notice to those persons by certified mail, with the return-receipt card addressed to the DEP or water management district, as applicable, in accordance with subsection 18-21.005(3), F.A.C., and Section 253.115, F.S. Attach additional sheets if necessary.
 1. Name:
Mailing Address:
City, State, Zip Code:

 2. Name:
Mailing Address:
City, State, Zip Code:

 3. Name:
Mailing Address:
City, State, Zip Code:

 4. Name:
Mailing Address:
City, State, Zip Code:

 5. Name:
Mailing Address:
City, State, Zip Code:

 6. Name:
Mailing Address:
City, State, Zip Code:

Part 2: Environmental Considerations

Note: for many questions, a state statute/Applicant's Handbook Volume I (AH I) section is cited to assist the applicant in addressing these questions. However, additional federal criteria may apply.

1. Elimination or Reduction of Impacts (Avoidance and Minimization). Describe measures taken to eliminate or reduce impacts to wetlands and other surface waters (*Refer to AH I Section 10.2.1*).

2. Fish, Wildlife, Listed Species, and their Habitats. Provide results of any wildlife assessments that have been conducted on the project site and provide any comments, biological opinions, formal or informal consultation decisions, or recommended actions you have received pertaining to the project from the Florida Fish and Wildlife Conservation Commission, the U.S. Fish and Wildlife Service, and the National Marine Fisheries Service. (*Refer to AH I Section 10.2.2*).

3. Water quantity impacts to wetlands and other surface waters (*Refer to AH I Section 10.2.2.4 and AH II*).
 - a. Does the activity include a proposed surface water management system with a control elevation different than the wetland normal pool elevation(s) of existing or proposed created wetlands or other surface waters?
 - b. If yes to (a), provide documentation (e.g. drawdown assessment or other methods) that shows the proposed surface water management system will not change the hydroperiod of the existing or created wetland or other surface water.

4. Public Interest Test. Please describe how the proposed activity will **not be contrary** to the public interest, OR if such an activity significantly degrades or is located within an Outstanding Florida Water (OFW), that the regulated activity will be **clearly in** the public interest (*Refer to AH I Section 10.2.3*).
 - a. Please describe how the project will be designed to avoid adverse effects to public health, safety, or the welfare or the property of others.
 - b. Please describe how the project will be designed to avoid adverse effects to the conservation of fish and wildlife, including endangered or threatened species, or their habitats.
 - c. Please describe how the project will be designed to avoid adverse effects to navigation or the flow of water or cause harmful erosion or shoaling.
 - d. Please describe how the project will be designed to avoid adverse effects to the fishing or recreational values or marine productivity in the vicinity of the activity.
 - e. Will the project be of a temporary or permanent nature?
 - f. Please describe how the project will be designed to avoid adverse impacts to significant historical and archaeological resources, under the provisions of section 267.061, F.S.
 - g. Please describe how the project will be designed to avoid adverse effects to the current condition and relative value of functions being performed by areas affected by the proposed regulated activity.

5. Water Quality.
Provide a description of how water quality will be maintained in wetlands and other surface waters that will be preserved or will remain undisturbed, both on and offsite. Please address both short-term (such as during construction) and long-term water quality considerations (*Refer to AH I Section 10.2.4*).

6. Class II Waters; Waters approved for shellfish harvesting (*Refer to AH I Section 10.2.5*).
 - a. Will the project occur in Class II that are NOT approved for shellfish harvesting? If yes, please provide a plan or procedure detailing the measures to be taken to meet the requirements of *AH I Section 10.2.5(a)*.

- b. Is the project located adjacent to or in close proximity to Class II waters? If yes, please provide a plan or procedure detailing the measures to be taken to meet the requirements of *AH I Section 10.2.5(b)*.
- c. Is the project located in Class II or Class III waters that are classified as "approved", "restricted", "conditionally approved", or "conditionally restricted"? If yes, demonstrate that the project meets the requirements of *AH I Section 10.2.5(c)*.
7. Vertical seawalls. Are vertical seawalls proposed in an estuary or lagoon as part of the project? If yes, please describe how the project meets the requirements of *AH I Section 10.2.6*.
8. Secondary Impacts (*AH I Section 10.2.7*).
- a. Will an upland buffer, with a minimum width of 15' and an average width of 25', be provided between the proposed activities and existing wetlands or wetlands to be preserved, enhanced, restored, or created? Provide the location and dimension of all buffers on the plans. If not, demonstrate that secondary impacts will not occur or describe how they will be offset.
- b. If listed species are present or may be present, then coordination with wildlife agencies is needed. Have you coordinated with the FFWCC and/or USFWS? If so, please provide correspondence from the wildlife agencies indicating concurrence with the species management plan(s).
- c. What measures will be taken to avoid impacts to wetland-dependent wildlife and/or listed species that use uplands for nesting or denning?
- d. Describe whether there are any other relevant activities that are very closely linked and causally related to any proposed dredging or filling in wetlands or other surface waters that have the potential to cause impacts to significant historical and archaeological resources.
- e. Are there additional future phases or extensions of the proposed activities that are not shown? If yes, please describe.
9. Cumulative Impacts. Is the proposed mitigation located within the same drainage basin (*Refer to AH I Figures 10.2.8.1 – 10.2.8.5*) as the proposed wetland impacts? If not, please submit a Cumulative Impact Evaluation in accordance with *AH I Section 10.2.8*.
10. Mitigation Plan (*Refer to AH I Section 10.3*).
- a. If a mitigation bank is proposed to offset wetland/other surface water impacts, provide:
- the name of the bank: . A letter of reservation from the banker will be required once the application has been evaluated.
 - If the mitigation bank was assessed using UMAM, provide UMAM worksheets for impact area(s). If the bank was assessed using a method other than UMAM, then prepare the impact assessment using the same method.
- b. If mitigation is proposed to offset wetland/other surface water impacts, please provide a mitigation plan that includes, at a minimum, the following:
- Proposed mitigation narrative:

- (1) Describe the current and proposed condition for each type of mitigation component (restoration, enhancement, creation, preservation), including:
 - (a) Describe current and proposed vegetation
 - (b) Describe current and proposed hydrologic conditions for the proposed mitigation.
 - (c) Describe the soil types from NRCS maps and confirm if actual soil conditions appear to match.
 - (2) Provide details of the proposed construction/mitigation activities including phasing and timing, as appropriate.
 - (3) Identify measures that will be implemented during and after construction to avoid adverse impacts related to the proposed activities.
 - (4) A mitigation implementation and monitoring schedule with dates.
 - (5) Identify the success criteria.
 - (6) Describe the anticipated site conditions in and around the mitigation area after the mitigation plan is successfully implemented.
 - (7) Provide a comparison of current fish and wildlife habitat to expected habitat after the mitigation plan is successfully implemented.
- ii. Provide a Management Plan that includes, as appropriate, aspects of operation and maintenance, including water management practices, vegetation establishment, exotic and nuisance species control, fire management, and control of access.
 - iii. Maps:
 - (1) Soil map (include soil names/codes, hydrologic soil groups and hydric soil types).
 - (2) Topographic map of the mitigation area and adjacent contributing and receiving areas.
 - (3) Hydrologic features map of the mitigation area and adjacent contributing and receiving areas.
 - (4) Vegetative communities map (using FLUCCS or other appropriate classification system).
 - (5) For all maps, identify source.
 - iv. Provide the necessary supporting information for the application of sections 62-345.400 - .600 (Uniform Mitigation Assessment Method (UMAM)). To meet this requirement, submittal of UMAM worksheets is acceptable for impact and mitigation areas.
 - v. If onsite and/or offsite applicant-responsible mitigation is proposed, submit a draft Conservation Easement document or other form of restrictive covenant that provides for protection of the mitigation area in perpetuity. Standard forms, as described in subsection 62-330.301(6), F.A.C., are available from the Agency or on its website.
 - vi. If onsite and/or offsite applicant-responsible mitigation is proposed, submit a cost estimate for completing the mitigation, including monitoring and maintenance.
 - vii. If onsite and/or offsite applicant-responsible mitigation is proposed and the proposed mitigation exceeds \$25,000, please provide a draft financial assurance document. Standard forms, as described in subsection 62-330.301(5), F.A.C., are available from the agency or on its website.
 - viii. Identify the entity responsible for monitoring, maintenance, and long-term stewardship of the mitigation area (i.e. the landowner or homeowner association, not the consultant or contractor that will do the work).

Note: It is highly recommended that you coordinate the design of any mitigation plan that also may be required for the Corps permit to meet the requirements of both permits. Pre-application meetings with both the applicable Agency and the Corps can help you to choose a mitigation option that is acceptable to both the applicable Agency and the Corps.

Part 3: Plans

Plans: The information listed in the checklist below represents the typical information required on the submitted project plans. The Plans checklists in each application section are cumulative unless otherwise noted. Separate plans for each application section are not required.

1. Include the following on the construction plans and cross sections:
 - a. An Existing Conditions sheet showing the entire project and wetland/other surface water boundaries. Include the following: Acreage and type (herbaceous, forested or other surface water) of each wetland/other surface water.
 - b. A Proposed Conditions sheet showing the entire project and wetland/other surface water boundaries with construction plan overlay.
 - c. A Proposed Wetland Impact sheet that includes the following:
 - i. Acreage and type (herbaceous, forested, or other surface water) of each wetland/other surface water to be impacted.
 - ii. Proposed upland buffers with dimensions.
 - iii. Identify the seasonal high water and wetland normal pool elevations on the plans.
 - d. Include wetland boundaries on all construction plan sheets.

2. If onsite and/or offsite applicant-responsible mitigation is proposed, submit mitigation permit plans and cross sections including, at a minimum:
 - a. existing conditions plan sheet identifying upland and wetland communities and acreage of each, topography, drainage patterns, and location of cross-section detail.
 - b. proposed conditions plan sheet identifying proposed improvements by type (restoration, enhancement, creation, preservation), acreage of each, topography, drainage patterns, and location of cross-section detail.
 - c. monitoring plan sheet including proposed improvements, monitoring transects, photostations, and mitigation signage (if applicable).
 - d. cross-section and/or profile detail(s) sheet(s) including representative section of each type of mitigation component. Include existing and proposed conditions and representative elevations.
 - e. planting schedule, plant species including common and scientific names divided into three sections (canopy, shrub, herbaceous) by mitigation component, quantity, spacing, size, and elevation range.

Table 1 - Project Wetland (WI) And Other Surface Water (SW) And Impact Summary

WL & SW ID	UMAM ASSESSMENT AREA NAME(S)	WL & SW TYPE	WL & SW SIZE (acres)	WL & SW NOT IMPACTED (acres)	TEMPORARY WL & SW IMPACT SIZE (acres)	TEMPORARY WL & SW IMPACT TYPE	PERMANENT WL & SW IMPACT SIZE (acres)	PERMANENT WL & SW IMPACT TYPE	MITIGATION ID
PROJECT TOTALS:									

Comments:

Codes (multiple entries per cell not allowed):

- Wetland & Surface Water ID: Include ID on submitted wetland and surface water impact maps
- Wetland Type: from an established wetland classification system
- Impact Type: D=dredge; F=fill; H=change hydrology; S=shading; C=clearing; O=other

Table 2 - Project On-Site Mitigation Summary

MITIGATION ID	UMAM ASSESSMENT AREA NAME(S)	TARGET TYPE	CREATION AREA (acres)	RESTORATION AREA (acres)	ENHANCEMENT AREA (acres)	WETLANDS PRESERVE AREA (acres)	UPLAND PRESERVE AREA (acres)	OTHER AREA (acres)
PROJECT TOTALS:								

COMMENTS:

Codes (multiple entries per cell not allowed):

- Target Type or Type=target or existing habitat type from an established wetland classification system or land use classification for non-wetland mitigation

Table 3 - Project Off-Site Mitigation Summary

MITIGATION ID	UMAM ASSESSMENT AREA NAME(S)	TARGET TYPE	CREATION AREA (acres)	RESTORATION AREA (acres)	ENHANCEMENT AREA (acres)	WETLANDS PRESERVE AREA (acres)	UPLAND PRESERVE AREA (acres)	OTHER AREA (acres)
PROJECT TOTALS:								

COMMENTS:

Codes (multiple entries per cell not allowed):

- Target Type or Type=target or existing habitat type from an established wetland classification system or land use classification for non-wetland mitigation

Table 4 - Shoreline Stabilization

Stabilization	Linear Ft. New	Linear Ft. Replaced	Linear Ft. Repaired	Linear Ft. Removed	Slope H: V:	Toe Width (Ft.)
Natural Vegetation (living shoreline)					N/A	N/A
Rip Rap + Vegetation						
Rip Rap						
Seawall + Rip Rap						
Vertical Seawall						
Other Shoreline Stabilization Type						

Size of Rip Rap

Type of Rip Rap



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Rick Soria

WATERBODY/CLASS: St George Sound / OFW

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Pine Wood Shores / Lot 3

LATITUDE: 29° 48' 30.14

LONGITUDE: 84° 43' 33.60"

SECTION: 3 TWSHP: 8 South RNG: 5 West

JOB: 21-192

DEP:

COE:

OTHER:

DATE: June 18, 2021

SHEET: 1/4

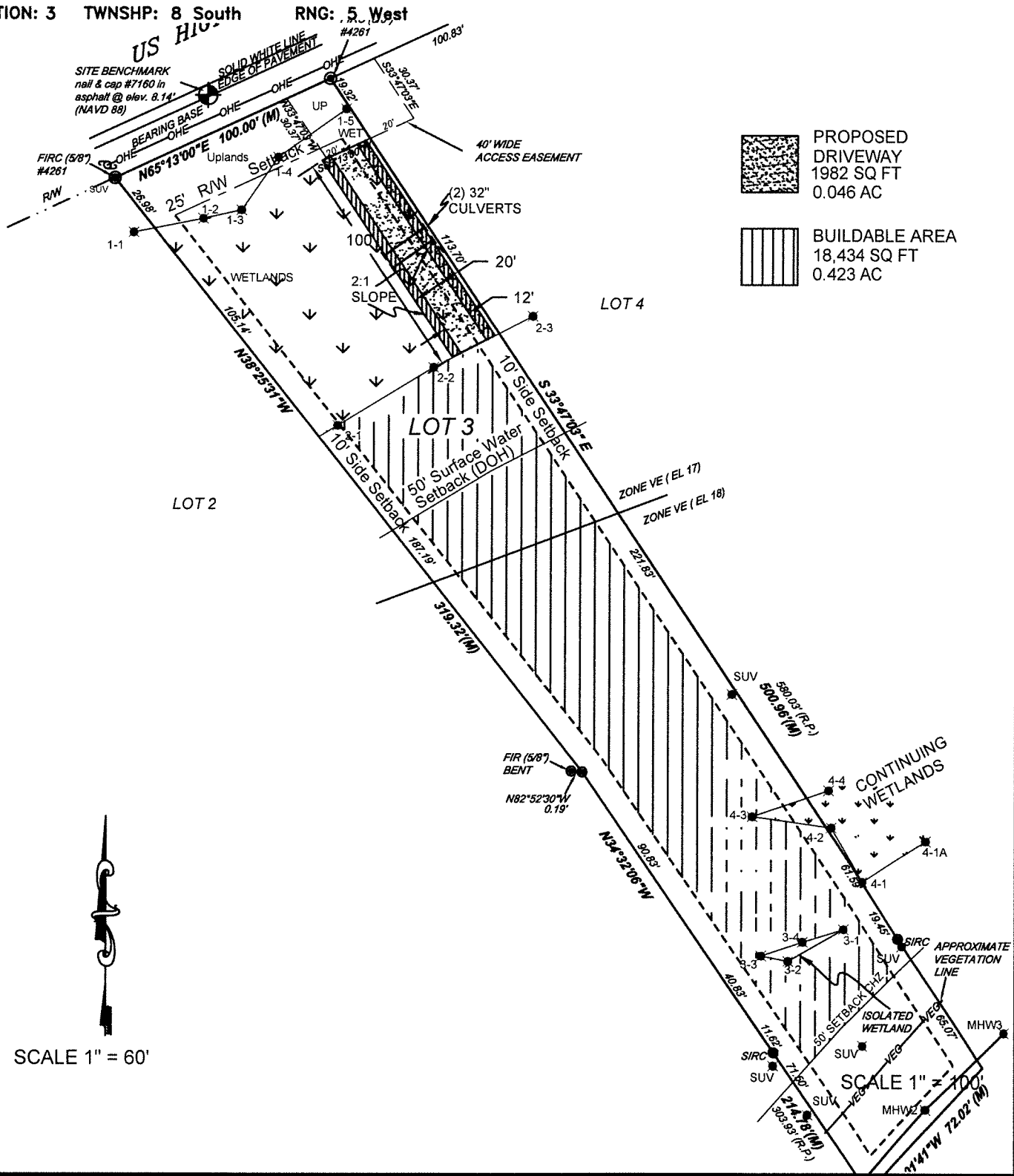


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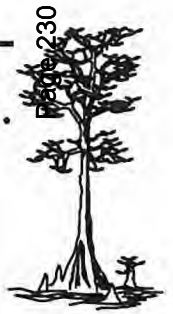
JOB: 21-192
 DEP:
 COE:
 OTHER:
 DATE: June 18, 2021
 SHEET: 3/4



SCALE 1" = 60'

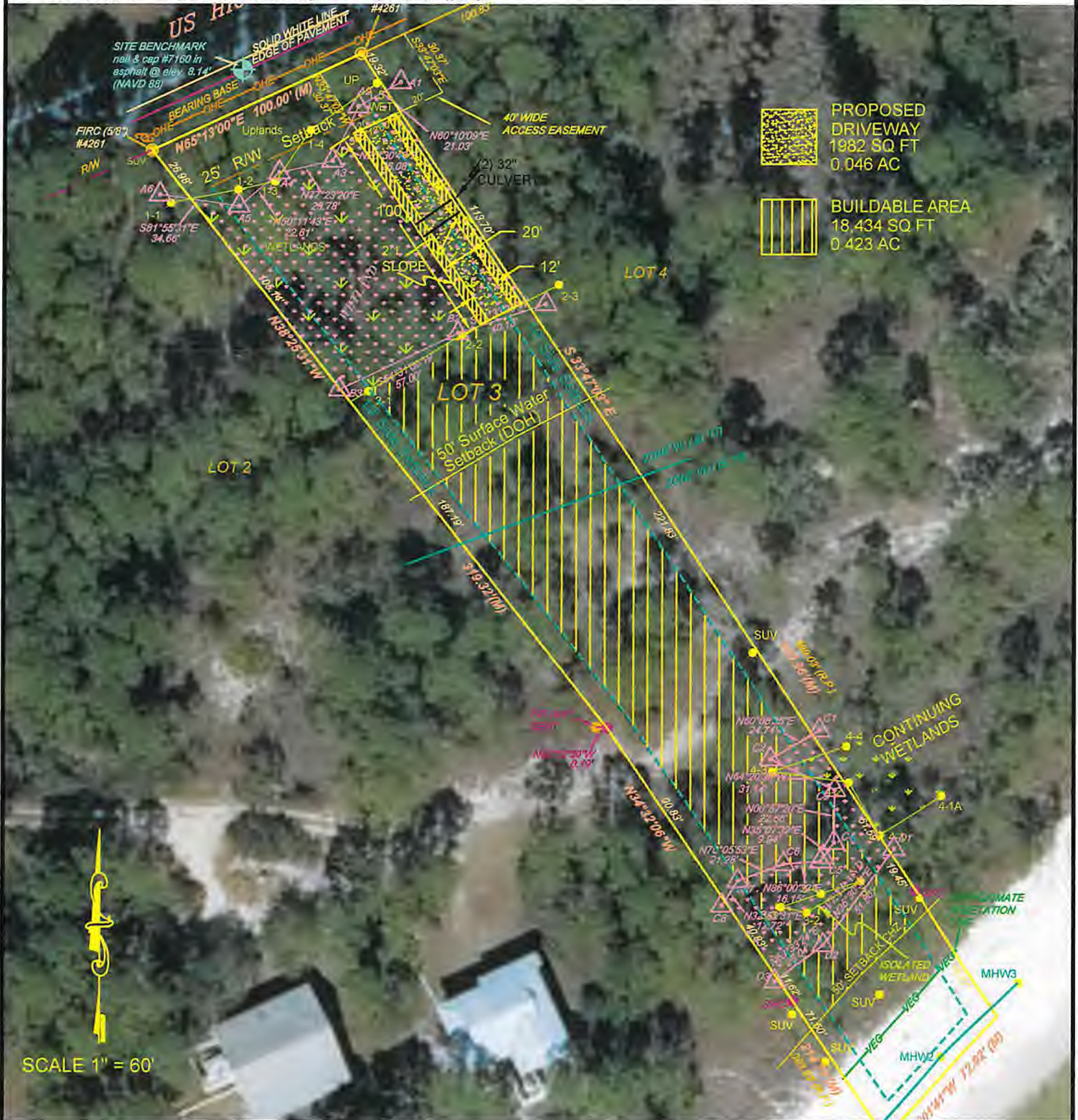
SCALE 1" = 100'

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Rick Soria
WATERBODY/CLASS: St George Sound / OFW
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Lot 3 / Pinewood Shores
LATITUDE: 29° 48' 30.14
LONGITUDE: 84° 43' 33/60
SECTION: 3 **TWNSHP:** 8 South **RNG:** 5 West

JOB: 21-192
DEP:
COE:
OTHER:
DATE: June 18, 2021
SHEET: 3a/4



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(850) 653-8899

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LB No. 7415

APPLICANT/CLIENT: Rick Soria

JOB: 21-192

WATERBODY/CLASS: St George Sound / OFW

DEP:

PURPOSE: Environmental Permitting

COE:

PROJECT LOCATION / USGS: Pine Wood Shores / Lot 3

OTHER:

LATITUDE: 29° 48' 30.14

DATE: June 18, 2021

LONGITUDE: 84° 43' 33.60"

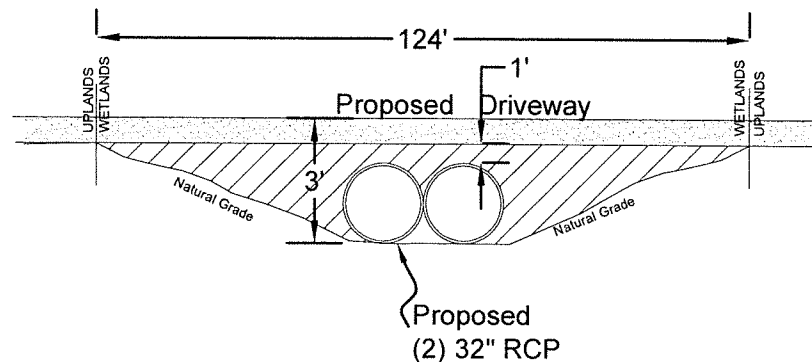
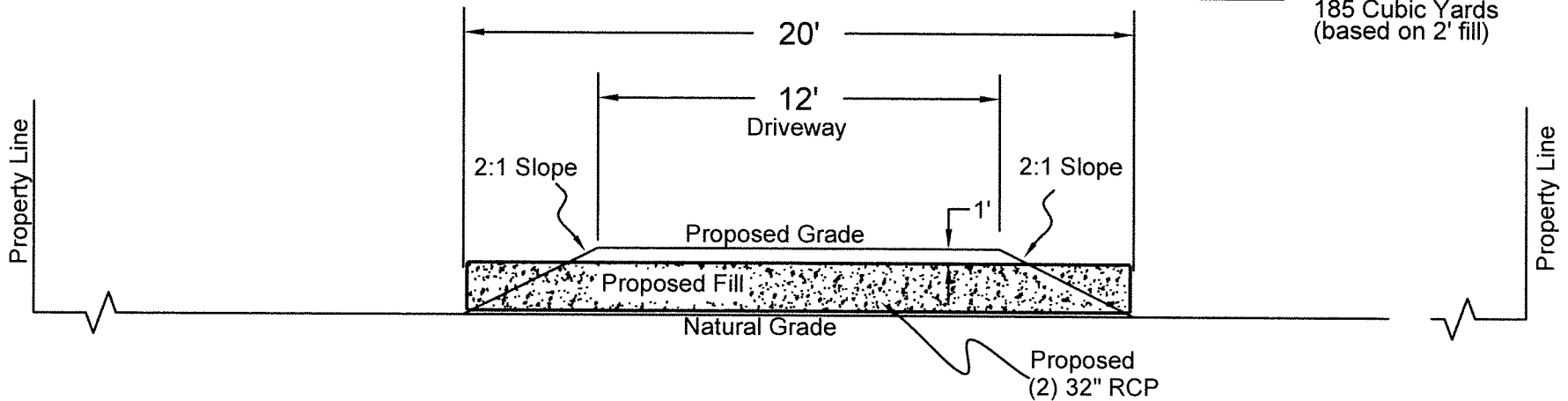
SHEET: 4/4

SECTION: 3 TWNSHP: 8 South RNG: 5 West



Cross Section
of Proposed Fill Wetlands
w/2 - 32" RCP
Not to Scale

PROPOSED FILL
2498 SQ FT
0.057 AC
185 Cubic Yards
(based on 2' fill)



Parcel Summary

Parcel ID 03-085-05W-1000-0000-0030
Location Address 2392 HIGHWAY 98 W
 CARRABELLE 32322
Brief Tax Description* PINWOOD SHORES SUB LOT 3 BEING 1.07 AC M/L PB 7/22 676/622 1116/436
*The Description above is not to be used on legal documents.
Property Use Code VACANT (000000)
Sec/Twp/Rng --
Tax District County (District 1)
Millage Rate 11.2322
Acreage 1.010
Homestead N

[View Map](#)

Owner Information

Primary Owner
 Soria Rick & Sandra
 18802 R Avenue
 Minburn, IA 50167

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000121	BAY FRONT	44,000.00	SF	100	440

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	03/18/2014	\$105,000	WD	1116	436	Qualified (Q)	Vacant	TULIS	SORIA
N	09/26/2001	\$199,900	WD	676	622	Unqualified (U)	Vacant	HENRY	TULIS

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$198,000	\$198,000	\$168,200	\$158,321	\$158,321
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$198,000	\$198,000	\$168,200	\$158,321	\$158,321
Assessed Value	\$128,615	\$116,923	\$106,294	\$96,631	\$87,846
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$128,615	\$116,923	\$106,294	\$96,631	\$87,846
Maximum Save Our Homes Portability	\$69,385	\$81,077	\$61,906	\$61,690	\$70,475

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)

TRIM Notice 2019

[2019 TRIM Notice \(PDF\)](#)

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Adjacent Neighbor



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	03-08S-05W-1000-0000-0040	Alternate ID	05W08S03100000000040	Owner Address	DAVIS DONALD EUGENE
Sec/Twp/Rng	--	Class	VACANT		15105 TRAIL RIDGE ROAD
Property Address		Acreage	1.01		CUMBERLAND, MD 21502
District	1				
Brief Tax Description	PINEWOOD SHORES SUB LOT 4				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 6/18/2021
 Last Data Uploaded: 6/18/2021 3:45:23 AM

Developed by  Schneider
 GEOSPATIAL

Adjacent Neighbor



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	03-085-05W-1000-0000-0020	Alternate ID	05W0850310000000020	Owner Address	MOSLEY BECKY B ETAL WROS
Sec/Twp/Rng	--	Class	VACANT		100 ACE HIGH STABLES RD
Property Address		Acres	1.09		CRAWFORDVILLE, FL 32327
District	1				
Brief Tax Description	PINEWOOD SHORES SUB LOT 2				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 6/18/2021
 Last Data Uploaded: 6/18/2021 3:45:23 AM

Developed by  **Schneider**
 GEOSPATIAL

Soil Map—Franklin County, Florida



Soil Map may not be valid at this scale.

Map Scale: 1:908 if printed on A portrait (8.5" x 11") sheet.







































Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 16N WGS84



Natural Resources Conservation Service

Web Soil Survey National Cooperative Soil Survey

MAP LEGEND

- Area of Interest (AOI)**
 -  Area of Interest (AOI)
- Soils**
 -  Soil Map Unit Polygons
 -  Soil Map Unit Lines
 -  Soil Map Unit Points
- Special Point Features**
 -  Blowout
 -  Borrow Pit
 -  Clay Spot
 -  Closed Depression
 -  Gravel Pit
 -  Gravelly Spot
 -  Landfill
 -  Lava Flow
 -  Marsh or swamp
 -  Mine or Quarry
 -  Miscellaneous Water
 -  Perennial Water
 -  Rock Outcrop
 -  Saline Spot
 -  Sandy Spot
 -  Severely Eroded Spot
 -  Sinkhole
 -  Slide or Slip
 -  Sodic Spot
- Water Features**
 -  Streams and Canals
- Transportation**
 -  Rails
 -  Interstate Highways
 -  US Routes
 -  Major Roads
 -  Local Roads
- Background**
 -  Aerial Photography
- Other Features**
 -  Spoil Area
 -  Stony Spot
 -  Very Stony Spot
 -  Wet Spot
 -  Other
 -  Special Line Features

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Franklin County, Florida
 Survey Area Data: Version 17, Jun 11, 2020

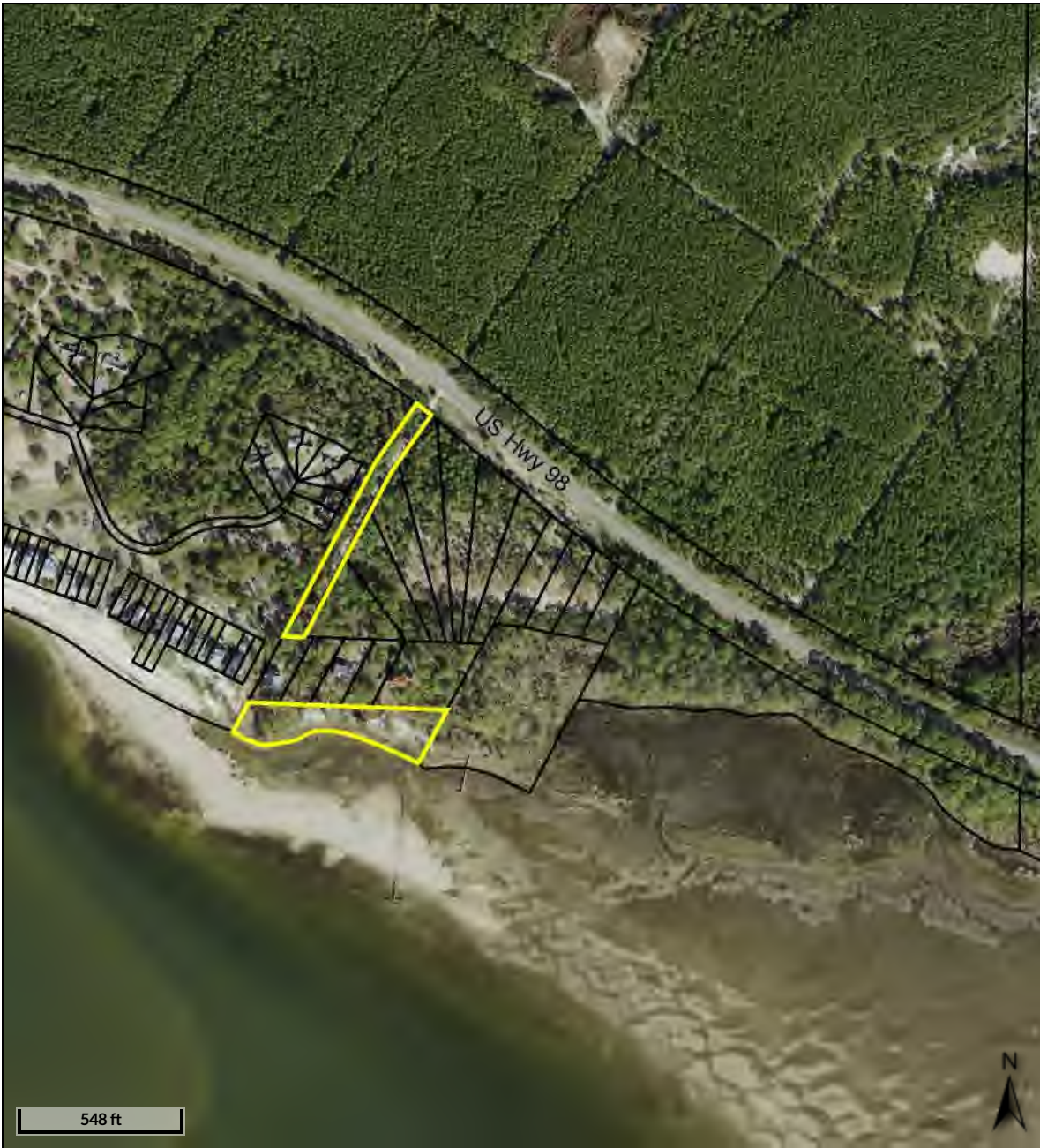
Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Oct 30, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
3	Beaches	0.1	8.0%
22	Leon sand, 0 to 2 percent slopes	0.3	34.3%
26	Duckston sand, occasionally flooded	0.5	49.4%
36	Pickney-Pamlico complex, depressional	0.1	8.3%
Totals for Area of Interest		0.9	100.0%



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Date created: 7/8/2021
Last Data Uploaded: 7/8/2021 7:44:04 AM

Developed by  **Schneider**
GEOSPATIAL



RENOVATION/REPAIR PERMIT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

<http://www.franklincountyfl.com/city-government/joining-us>

Property Owner Information:

Property Owner: MATTHEW FOX
Mailing Address: 2207 E DOUBLEGATE DR. ALBANY, GA 31721
Phone Number: 229 349 4206

Contractor Information:

Contractor Name: _____
Business Name: HYDRA ENGINEERING & CONSTRUCTION
State License Number: CA# 28104
Phone Number: 850 926 2593
Email: REBECCA@HYDRAC.COM

Property Information:

911 Address/Construction Location: 4530 ST TERESA LANDINGS RD FRANKLIN FL 32396
Parcel Identification Number: 28-065-02W-0006-0011-0030
Property is Zoned: R1 R2 R3 R4 Other: _____
Waterfront Property: Gulf Bay Other: ALLIGATOR HARBOR
Gate Code (if located in Gated Community): _____

Description of Development: RENOVIATION REPAIR

OTHER: BOATLIFT REPLACEMENT

CONTRACT COST

Owner/Contractor Signature: [Signature]

Date: 5/17/21

OFFICE USE ONLY

FLOOD Panel Number: Film Zone: 102E-V5

Elevation Requirements: 18

Critical Shoreline District: YES NO

Critical Habitat Zone: YES NO

PERMIT NUMBER:

Permit Fee: \$ 146.25

Admin: 250265 \$ 29.25

Total FEE: \$ 146.25

FLOODPLAIN MANAGER DATE

[Signature] 3 -26-21
BUILDING OFFICIAL DATE



RENOVATION/REPAIR PERMIT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

<https://www.franklincountyflorida.com/courtesy-government/planning-building/>

I, RONALD JOHNSON hereby certify that the below listed requirements will be met.
Please initial next to each:

I agree to have a portable toilet on site for the duration of construction, or I have made the following arrangements and attached a letter explaining.

I agree to provide an onsite dumpster/debris trailer and maintain a clean job site.

I agree to ensure that ALL REQUIRED SUPPLEMENTAL PERMITS ARE OBTAINED.

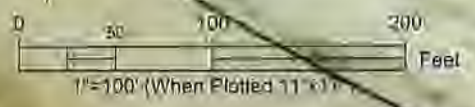
I agree to schedule all required inspections at the appropriate time.

I agree to adhere to the requirements of County Ordinance 2015-1 Lighting Ordinance for Marine Turtle Protection of Franklin County, Florida

NOTE TO APPLICANTS AND PERMIT HOLDERS:

VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF DATE ISSUED.

Owner/Contractor Signature: [Signature] Date: 5/17/21

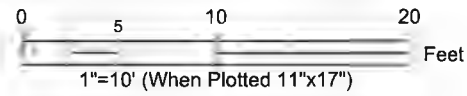


38-065-02W-0000-0011-0030
 FOX MATT HEW & JULIE
 4530 ST TERESA LANDINGS RD
 Value \$409,910
 View: Record | Spots: More spots in a new tab

PROPOSED 12'6"X12'6" TIDE
 TAMER 13,000 LB BOAT LIFT

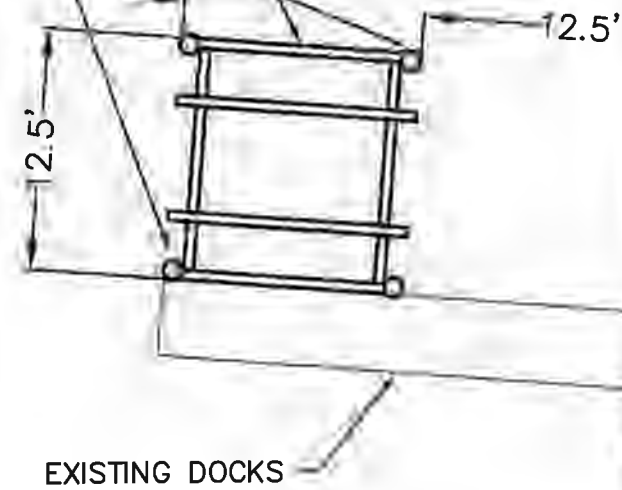
HYDRA ENGINEERING & CONSTRUCTION, LLC 38 JASPER THOMAS ROAD CRAWFORDVILLE, FL 32327 PHONE (850) 926-2593 FAX (850) 926-9257 WWW.HYDRAEC.COM FLORIDA CA #281724		MATT FOX FRANKLIN COUNTY, FL FOX BOATLIFT VICINITY MAP	PROJECT NO. 2019119 CO
HYDRA ENGINEERING & CONSTRUCTION, LLC 	MATT FOX FRANKLIN COUNTY, FL FOX BOATLIFT VICINITY MAP	PROJECT NO. 2019119 CO	CALL BEFORE YOU DIG 800-4-A-DIG 811
BY: _____ REVISION: _____ DATE: _____ NO: _____ DATE: _____ NO: _____ DATE: _____ NO: _____ DATE: _____	BY: _____ REVISION: _____ DATE: _____ NO: _____ DATE: _____ NO: _____ DATE: _____ NO: _____ DATE: _____	PROJECT NO. 2019119 CO	CALL BEFORE YOU DIG 800-4-A-DIG 811

1. Boat lift is located in FEMA Zone VE – Elevation 19 feet. Panel No. 12037C0290F, Effective 02/05/2014.
2. Pursuant to the Florida Building Code and ASCE 24, during the base flood this structure is to be frangible and break away so as to minimize the debris capable of causing significant damage to any structure.
3. These plans are for Franklin County only. FDEP and Army Corps of Engineer's permits may be required prior to construction.



PROPOSED 12'6"X12'6" TIDE
TAMER 13,000 LB BOAT LIFT

INSTALL FOUR (4) 8"
WOODEN PILINGS MIN 15'



EXISTING 500' COMMUNITY
DOCK

EXISTING DOCKS

EXISTING BOAT LIFT



CALL BEFORE YOU DIAL SUNSHINE STATE ONE CALL 811	
CALL 2 BUSINESS DAYS IN ADVANCE FOR CDD UNB LDES	REVISION 1 2 3 4 5 6 7 8 9 10
BY: [Signature] DATE: [Blank]	SP-1
HYDRA ENGINEERING & CONSTRUCTION, LLC 36 JASPER THOMAS ROAD CRAWFORDVILLE, FL 32327 PHONE (850) 926-2593 FAX (850) 926-9257 WWW.HYDRAEC.COM FLORIDA CA#28124	
MATT FOX FRANKLIN COUNTY, FL Fox Boatlift SITE PLAN	
PROJECT NO 2019119	
C1	



RENOVATION/REPAIR PERMIT APPLICATION CHECKLIST

THIS FORM MUST BE SIGNED AND SUBMITTED TO THE PERMIT CLERK. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

PLEASE INITIAL INDICATING ALL REQUIRED DOCUMENTS ARE INCLUDED

REQUIRED DOCUMENTS:

- Complete Application (Pages 1-3)
- Recorded Notice of Commencement (Contractors Only)
- Owner Builder Affidavit (Only required for owners acting as the contractor)
- Itemized list of all work to be completed with total
- Product approval documentation required if permit to include windows, roof, or solar

****Additional documentation may be required depending on type of work to be completed and flood zone.**

By signing below, I attest that all information in this permit application is accurate and complete. I have utilized the checklist to verify that I have included all required documentation. I understand that incomplete applications will not be accepted. I understand that the standard permit processing time is 7 - 10 business days and that a permit clerk will contact me when my permit is ready to be issued.

Owner/Contractor Signature  Date 5/17/21

Enter Valuation

4500

Do not enter "\$" symbol

• Residential

Building Permit Fee

\$117.00

Plan Review 25%

529.25

Sub Total

\$146.25

NOTICE OF COMMENCEMENT

Inst: 202119003084 Date: 05/17/2021 Time: 1:55PM
Page 1 of 1 B: 1301 P: 113, Michele Maxwell, Clerk of Court
County, By: SM
Deputy Clerk

Space Reserved For Recording:

PERMIT # _____

PARCEL ID # _____

25-165074-0001-001-0001

STATE OF FLORIDA, COUNTY OF FRANKLIN

The UNDERSIGNED hereby gives notice that improvements will be made to certain real property, an in accordance with Chapter 713, Florida Statutes, the following information is provided in the Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY: (Include Street Address)

4530 ST TERESA LANDING RD, PANAMA, FL 32346

General Description of Improvements:

BOATLIFT REPLACEMENT

Owner Information or Lessee Information Contracted For The Improvements:

Name: MATTHEW FOX

Phone Number: 229 349 4206

Address: 2257 E. DOWNGATE DR ALBANY GA 31721

Owner's Interest In Site Of The Improvement: 100%

Name & Address Of Fee Simple Titleholder:

(If Different From Owner Listed Above):

Contractor's Name: HYDRA ENGINEERING & CONSTRUCTION Phone Number: 850 926 2593

Address: 36 JASPER THOMAS RD, CRAWFORDVILLE, FL 32027

Surety: (If Applicable, A Copy Of The Payment Bond Is Attached):

Name & Address: _____ Amount: \$ _____

Lender Name: _____

Phone Number: _____

Address: _____

PERSONS WITH IN THE STATE OF FLORIDA DESIGNATED BY THE OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED FOR BY FLORIDA STATUTE 713.13(1) (A) 7.

NAME: _____

ADDRESS: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES THE FOLLOWING PERSON(S) TO RECEIVE A COPY OF THE LEINOR'S NOTICE AS PROVIDED IN SECTION 713.13 (1)(B) FLORIDA STATUTES:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT (THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DAT OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED.) _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOBSITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

NOTARY SEAL:

Owner/Agent Signature: _____

Printed Name: EDWARD C JOHNSON III

Sworn to me this 17th day of MAY In the year of 20 20

Notary Signature: _____

Printed Name: JESSICA R. GAY



permits@franklincountyflorida.com

From: Brandi Fox <brandi@certifiedroofingsolutionsllc.com>
Sent: Wednesday, May 5, 2021 2:55 PM
To: permits@franklincountyflorida.com
Subject: Certified Roofing Solutions

Good Afternoon,

Can we please get a copy of the Certificate of Completion for permit number 30083 which is addressed as 1860 Plantation Pass, St George Island, Fl 32328

Thank you for all you do,

Brandi F.

Certified Roofing Solutions, LLC

1720 Tennessee Ave. Lynn Haven, Fl. 32444

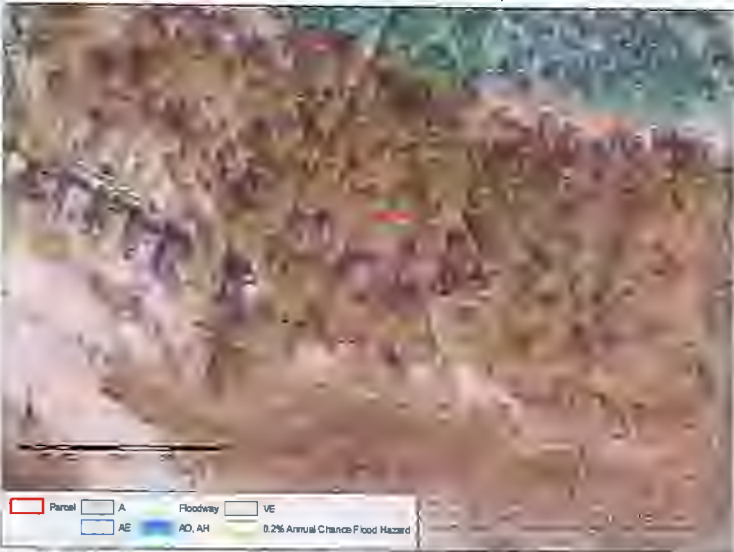
Office: 850-588-6388

NWFWMD Report

Preliminary SFHA Flood Map (Prelim Issue Date: Panel Not Revised)



Effective SFHA Flood Map (Effective Issue Date: 2/5/2014)



Geographical Information

Latitude/Longitude: 29.92849,-84.43893
 Address: 210-248 Bay North Dr, Sopchoppy, FL, 32358, USA
 Parcel ID: 28-06S-02W-0000-0011-0030
 Firm Panel (Preliminary): 12037C0290F
 Firm Panel (Effective): 12037C0290F

Flood Information

Flood Zone Information

Preliminary Flood Zone

Location of Interest: N/A
 Parcel: VE:100%;
 Base Flood Information*: 18.0 ft

Effective Flood Zone

Location of Interest: VE
 Parcel: VE:100%;
 Base Flood Information*: 18.0 ft

*The computed elevation to which floodwater is anticipated to rise during the base flood (100 Year Flood). Base Flood Elevations (BFEs) are shown on Flood Insurance Rate Maps (FIRMs) and on the flood profiles. The BFE is the regulatory requirement for the elevation or floodproofing of structures. The relationship between the BFE and a structure's elevation determines the flood insurance premium. Datum of measurement is NAVD1988.

Zone VE: A coastal area inundated by 100-year flooding and subject to a velocity hazard (wave action) where BFEs have been determined. **Zone AE:** An area inundated by 100-year flooding, in which BFEs have been determined. **Zone AO/AH:** An area inundated by 100-year flooding, pending or shallow flooding where Base Flood Depths are provided, (AH) Shallow flooding also floodplain where BFEs have been determined. **Zone A:** An area inundated by 100-year flooding, for which no BFEs were determined. **Zone X (0.2 PCT ANNUAL CHANCE FLOOD HAZARD/500):** An area inundated by 100-year flooding or area inundated by 100-year flooding with average depths of less than 4 feet in 1000 drainage areas less than 1 square mile or an area protected by levees from 100-year flooding. **Zone X:** An area of minimal flood hazard.

Disclaimer: Although derived directly from a variety of sources, including the Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Maps (FIRMs), the District's digital elevation model, the county's digital parcel maps and data from other governmental sources, the data provided through this portal is for informational purposes only. The user is advised to be aware of the base historical or regulatory information, or for submitting an application for a Letter of Map Change (LOMC) only the annual and latest FIRMA FIRM and Flood Hazard Study (FHS) report should be consulted. Also, all elevation data submitted in support of a LOMC application must be certified by a licensed land surveyor, engineer, or architect. The NWFWMD, FEMA, its agents, and partners shall not be held responsible for the content or misinterpretation of the information presented in this portal.



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	28-06S-02W-0000-0011-0030	Alternate ID	02W06S28000000110030	Owner Address	FOX MATTHEW & JULIE
Sec/Twp/Rng	--	Class	SINGLE FAM		2207 E DOUBLEGATE DRIVE
Property Address	4530 ST TERESA LANDINGS RD	Acreage	n/a		ALBANY, GA 31721
District	1				
Brief Tax Description	A PARCEL IN SEC 28 06S 02W				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 5/17/2021
 Last Data Uploaded: 5/17/2021 7:43:33 AM

Developed by Schneider

From: RJ Johnson
To: Rebecca Kuba
Subject: Fox boatlift replacement
Date: Monday, April 12, 2021 12:33:19 PM
Attachments: Fox_Site_Plan.pdf

Matt Fox is a boatlift replacement in Franklin county.

BoatLift is replacing the same size boatlift.

Matt Fox

4530 St. Teresa Landings Rd.

Panacea, FL 32346

Job value \$4500

Electrician: Gary Hodges

Engineering: Tide Tamer 4 pole 5-24k + will need piling depth engineered

Thank you,

RJ Johnson

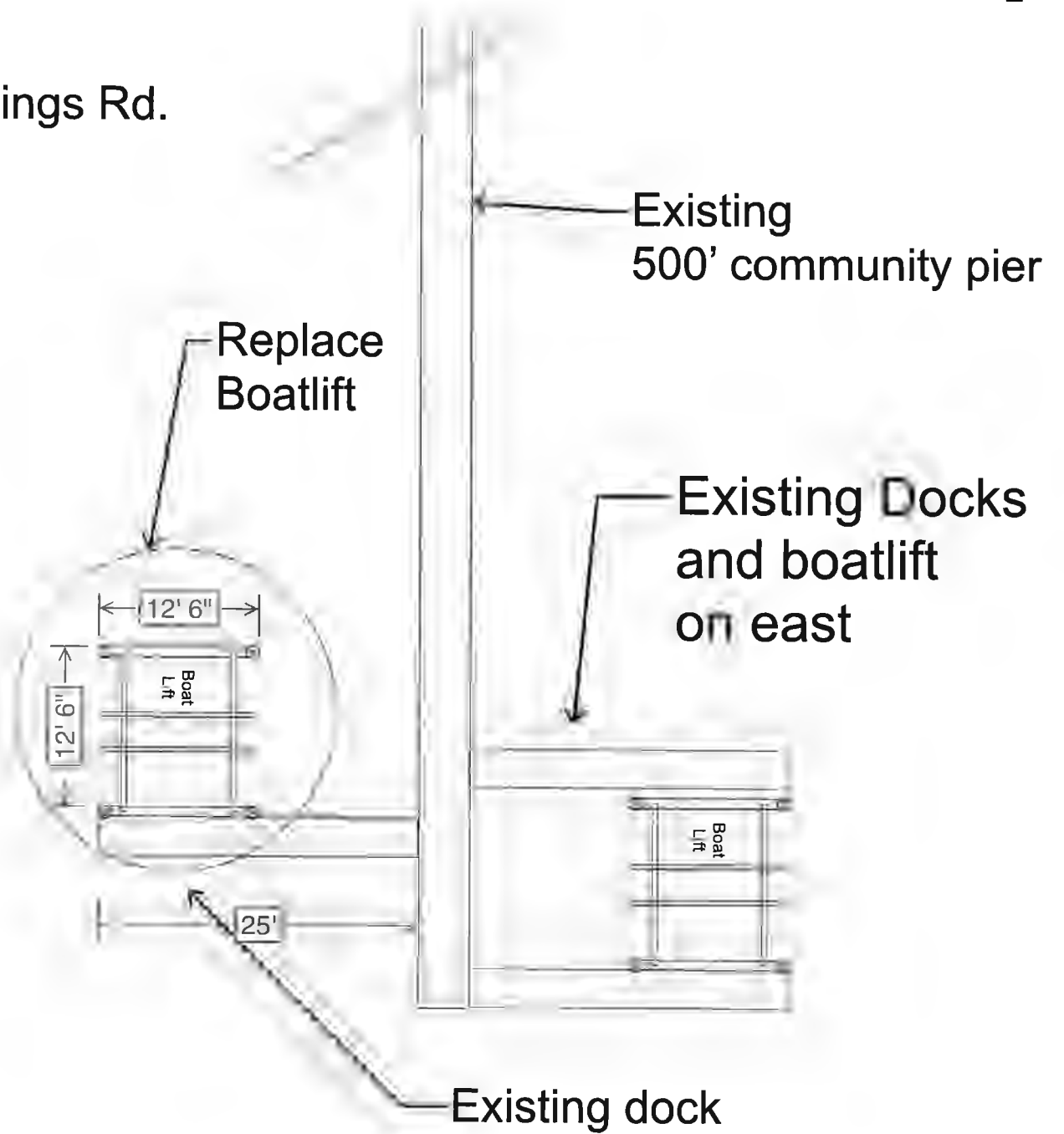
Project Manager

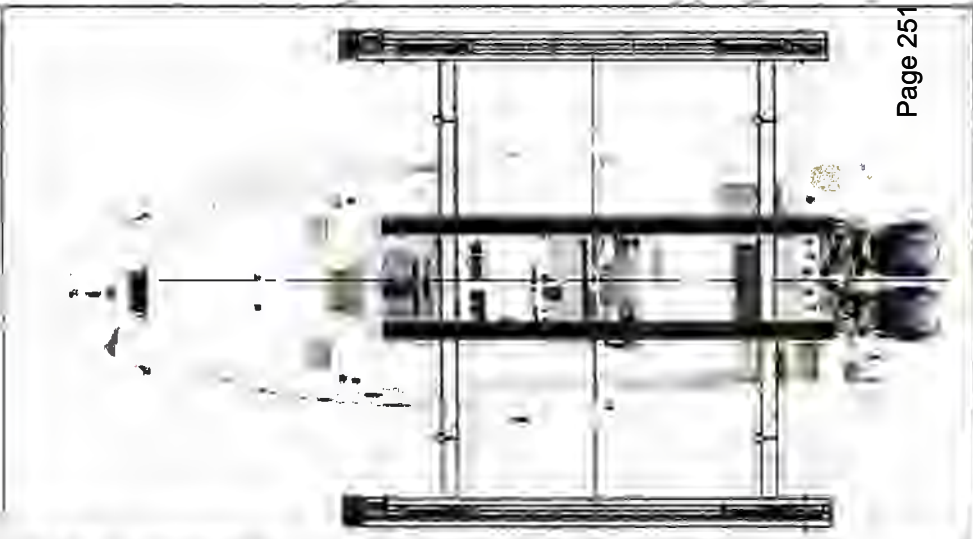
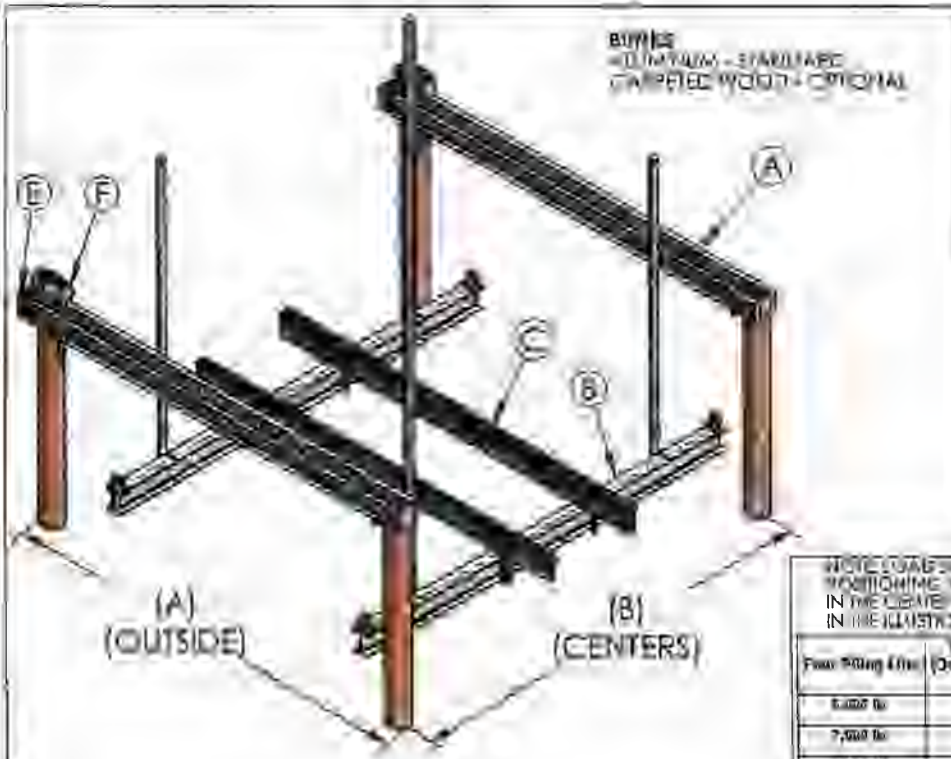
Panhandle Contracting

(850) 251-4850 cell

Matt Fox
4530 St. Teresa Landings Rd.
Panacea, FL 32346

Site Plan
Boatlift Replacement





NOTE: CRADLE BEAMS TO BE CENTERED ON TOP BEAM BY POSITIONING THE CENTER OF GRAVITY DIRECTLY IN THE CENTER OF THE LIFTING BEAMS AS SHOWN IN THE ILLUSTRATION ON PAGE 250.

From 5000 Lbs	Top Beam To Cradle (Down As To Center) (Standard 14' Center)	Top Beam To Cradle (Down As To Center) (Standard 14' Center)
5,000 Lb	12 R 6 in	10 ft
7,000 Lb	12 R 6 in	12 R 6 in
10,000 Lb	12 R 6 in	12 R 6 in
13,000 Lb	12 R 6 in	12 R 6 in
16,000 Lb	12 R 6 in	14 ft

MOUNTING OPTIONS:

PILE MOUNT:
 (A) 2X 1/2" SS LAG BOLT 2" MIN LENGTH
 (B) 2X 1/2" SS HEX NUT

CABLE ROUTING:

5K, 7K 10K, 13K, 16K

4 PILING BOAT LIFT SPECIFICATION SHEET

2018	TOP BEAM (A)	TOP BEAM LENGTH	CRADLE BEAM (B)	BEAMS (C)	CABLE SIZE (D)	CABLE CONFIGURATION	DRIVE (E)	H.P. MOTOR (F)	DRIVE SHAFT	MINIMUM BEAM (G) (QTY.)
5,000 LB.	5" CHANNEL	12' 6"	4" X 6" X 10'	8" ALUM	5/16" SS 7/19 (.313")	SINGLE PULL	DIRECT DRIVE	3/4 H.P. (QTY. 2) 220V 4.9A EACH	1-1/2" (SCH 40)	8" (QTY. 4)
7,000 LB.	6" CHANNEL	12' 6"	4" X 6" X 12' 6"	8" ALUM	5/16" SS 7/19 (.313")	SINGLE PULL	DIRECT DRIVE	1 H.P. (QTY. 2) 220V 6.8A EACH	1-1/2" (SCH 40)	8" (QTY. 4)
10,000 LB.	7" CHANNEL	12' 6"	5" X 8" X 12' 6"	8" ALUM	5/16" SS 7/19 (.313")	DOUBLE PULL	DIRECT DRIVE	3/4 H.P. (QTY. 2) 220V 4.9A EACH	1-1/2" (SCH 40)	8" (QTY. 4)
13,000 LB.	7" CHANNEL	12' 6"	5" X 8" X 12' 6"	8" ALUM	5/16" SS 7/19 (.313")	DOUBLE PULL	DIRECT DRIVE	1 H.P. (QTY. 2) 220V 6.8A EACH	1-1/2" (SCH 40)	8" (QTY. 4)
16,000 LB.	8" CHANNEL	12' 6"	6" X 10" X 14'	10" ALUM	5/16" SS 7/19 (.313")	DOUBLE PULL	DIRECT DRIVE	1 H.P. (QTY. 2) 220V 6.8A EACH	1-1/2" (SCH 40)	10" (QTY. 4)

TITLE:
4 PILING BOAT LIFT SPECIFICATION SHEET

SIZE **A** DWG. NO. **ENGINEERING** REV

SCALE: AS NOTED SHEET 1 OF 1

BUILDING CODE:
FBC 2017 (6TH EDITION)
NEC 2014 (NFPA70)

PROPRIETARY AND CONFIDENTIAL

PH: 800-325-1116
 FAX: 252-747-4377
 TIDETAMER.COM
 P.O. BOX 1118
 SNOW HILL, NC 28580

DO NOT SCALE DRAWING

NAME	DATE
DRAWN ACC	2-2-18
CHECKED	
ENG APPR.	
COMMENTS:	

ENGINEERS SEAL

MAR 12 2018



Parcel ID 28-06S-02W-0000-0011-0030
 Location Address 4530 ST TERESA LANDINGS RD
 32346
 Brief A PARCEL IN SEC 28 06S 02W CONTAINING .55 ACRES M/L A.K.A LOT 3 THE LANDINGS AT ST TERESA PB 6/13 OR 384/40 432/268 434/335 502/84
 Tax Description* 1279/712
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng
 Tax District County (District 1)
 Millage Rate 11.2322
 Acreage 0 000
 Homestead N

[View Map](#)

Primary Owner
 Fox Matthew & Julie
 2207 E Doublegate Drive
 Albany, GA 31721

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000184	ST TERESA WATERFRONT	1.00	UT	100	0

Residential Buildings

Building 1
 Type ALPT PILIN
 Total Area 3,118
 Heated Area 1,682
 Exterior Walls VINYL SIDE
 Roof Cover MODULAR MT
 Interior Walls DRYWALL
 Frame Type N/A
 Floor Cover SHT VINYL; CARPET
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 3
 Stories 1
 Effective Year Built 1996

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0310	WD WALK	1	30 x 4 x 0	120	SF	1996
0320	CONCRETE	1	0 x 0 x 0	1,442	SF	1996
0080	DECK	1	0 x 0 x 0	72	SF	1996
0665	STEPS W/RAILS	1	0 x 0 x 0	256	SF	1996
0170	FPLC BELOW AVERAGE	1	0 x 0 x 0	1	UT	1996
0220	JACUZZI BELOW AVERAG	1	0 x 0 x 0	1	UT	1996

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	10/15/2020	\$510,000	WD	1279	712	Qualified (Q)	Improved	BYRD	FOX
N	08/07/1995	\$145,000	WD	511	20	Qualified (Q)	Vacant	ROBERTS	BYRD

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$179,324	\$124,161	\$146,909	\$146,909	\$150,700
Extra Features Value	\$5,586	\$5,586	\$5,586	\$5,586	\$5,586
Land Value	\$225,000	\$225,000	\$225,000	\$225,000	\$225,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$409,910	\$354,747	\$377,495	\$377,495	\$381,286
Assessed Value	\$390,222	\$354,747	\$377,495	\$377,495	\$381,286
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$390,222	\$354,747	\$377,495	\$377,495	\$381,286
Maximum Save Our Homes Portability	\$19,688	\$0	\$0	\$0	\$0

Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2020

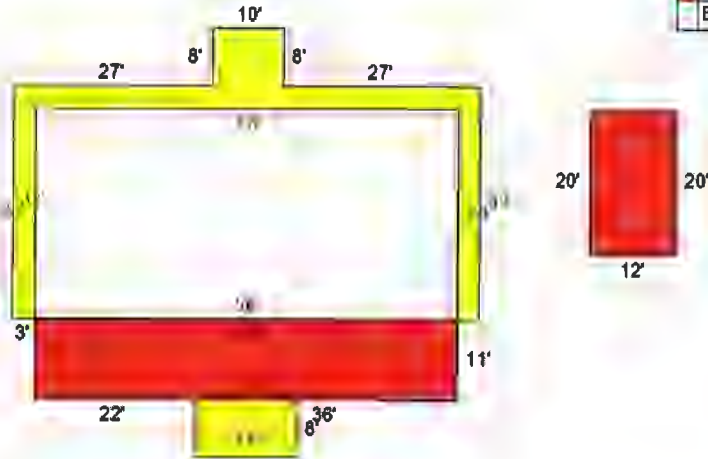
2020 TRIM Notice (PDF)

TRIM Notice 2019

2019 TRIM Notice (PDF)

Modules

FST	F STORAGE	240	1996
UOP	UNF OP PRH	558	1996
FSP	F SCR N PCH	838	1996
BAS	BASE AREA	1682	1996



No data available for the following modules: Commercial Buildings.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

Developed by
Schneider

[Last Data U](#)

Version 2.3.12.1




Owner



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	14-07S-04W-3131-000Z-0170	Alternate ID	04W07S143131000Z0170	Owner Address	TEAM GOLSON MOTORSPORTS, INC
Sec/Twp/Rng	14-7S-4W	Class	VACANT		15076 ALSASK CIRCLE
Property Address	2118 HIGHWAY 98	Acreage	n/a		PORT CHARLOTTE, FL 33981
District	6				
Brief Tax Description	UNIT 1				

(Note: Not to be used on legal documents)

Date created: 6/16/2021
 Last Data Uploaded: 6/16/2021 7:53:51 AM

Developed by  **Schneider**
 GEOSPATIAL



APPLICATION FOR DEVELOPMENT

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320
Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PERMIT #	_____
FEE:	\$ _____
RADON:	\$ _____
FLOOD:	\$ _____
C.S.I.:	\$ _____
TOTAL:	\$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:
VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:
 ISSUANCE DATE: _____ EXPIRES: _____

- New Constuction
- Commercial
- Residential
- Substantial Improvement
- Less than Substantial

APPLICATION MUST BE COMPLETE:

Property Owner/s: Team Golson Motorsports, Inc.
 Contact Information: Home #: _____ Cell #: _____
 Mailing Address: 15076 ALASKA Circle City/State/Zip: Port Charlotte, FL 33981
 EMAIL Address: teammgolson@youngonline.com

Contractor Name: _____ Business Name: _____
 Contact Information: Office #: _____ Cell #: _____
 State License #: _____ County Registration #: _____
 Mailing Address: _____ City/State/Zip: _____
 EMAIL Address: _____ @ _____

PROPERTY DESCRIPTION: 911 Address: 2118 Highway 98 Lanark Village
 Lot/s: _____ Block: _____ Subdivision: _____ Unit: 1A
 Parcel Identification #: 14-075-04W-3131-000Z-0170

JURISDICTION: Franklin County City of Apalachicola City of Carrabelle
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

DESCRIPTION OF DEVELOPMENT: CONCEPTUAL SITE PLAN APPROVAL - RV PARK
 ZONING DISTRICT: C-3 CONTRACT COST: _____

HEATED SQ FT: _____ UN-HEATED SQ FT: _____ TOTAL SQUARE FOOT: _____
 ROOF MATERIAL: _____ FOUNDATION TYPE: _____ LOT DEMENSION: _____

SEPTIC TANK PERMIT # _____ OR SEWER DISTRICT: LANARK
 WATER DISTRICT: LANARK OR PRIVATE WELL: _____

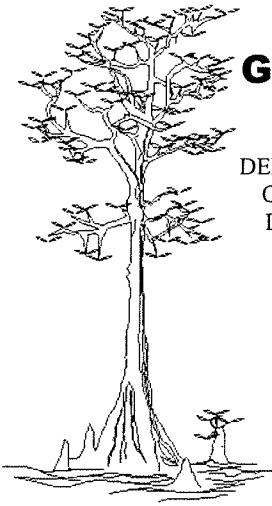
WATER BODY: ST GEORGE SOUND
 CRITICAL SHORELINE DISTRICT: YES OR NO CRITICAL HABITAT ZONE: YES OR NO

FLOOD ZONE INFORMATION: EFFECTIVE DATE: February 5, 2014
WILL NOT BE AFFECTED W/ BUILDS

PANEL NUMBER: _____ FIRM ZONE/S: _____
ELEVATION REQUIREMENTS AS PER SURVEY: _____

- Requires V-Zone Certification
- Requires Elevation Certificates
- Requires Smart Vents
- Requires Breakaway Walls

 BUILDING OFFICIAL DATE FLOODPLAIN ADMIN. DATE OWNER/CONTRACTOR DATE



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS • CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE MARINA, DOCK, AND SUBDIVISION DESIGN

June 7, 2021

Cortni Bankston
Franklin County Planning & Zoning
33 Commerce Street
Apalachicola, FL 32320

Re: Planning and Zoning Agenda
GEA File No. 20-173
Team Golson Motorsports, Inc.

Dear Ms. Bankston:

Please find attached an Application for Development for the referenced project. The proposed project consists of development of RV Park.

Attached are the following information sheets:

- 1) Application for Development
- 2) CAD drawings indicting the proposed design of the RV Park;
- 3) Proof of Ownership in the form of a Warranty Deed;
- 4) Property Appraiser Sheet for Owner;
- 5) Property Appraiser Sheets for Adjacent Neighbors
- 5) Soils Map;
- 6) Fema Map

If you have any questions, please let us know.

Sincerely,

Kevin Burdette PhD
Garlick Environmental Associates, Inc.

Attachments

Parcel Summary

Parcel ID 14-075-04W-3131-000Z-0170
 Location Address 2118 HIGHWAY 98
 32323
 Brief UNIT 1 A RESERVED PARCEL 216X124X258X108 FT AS SHOWN ON LANARK BEACH PLAT RECD IN PLAT BK 2 OR/155/63 ORB 0155 PAGE 0063 OR
 Tax Description* 286/247 830/11 862/619 1255/747
 *The Description above is not to be used on legal documents.
 Property Use VACANT (000000)
 Code
 Sec/Twp/Rng 14-75-4W
 Tax District Lanark Village (District 6)
 Millage Rate 11.2322
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Team Golson Motorsports, Inc
 15076 Alsask Circle
 Port Charlotte, FL 33981

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000130	SFR WATER	1.00	UT	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	12/20/2019	\$125,000	WD	1255	747	Qualified (Q)	Vacant	DOG CATCHER PROPERTIES II, LLC	TEAM GOLSON MOTORSPORTS, INC
N	07/20/2005	\$1,700,000	WD	862	619	Unqualified (U)	Vacant	CAREY	DOG CATCHER PROPERTIES II, LLC
N	01/19/2005	\$600,000	WD	830	11	Qualified (Q)	Vacant	BATESON	CAREY
N	01/05/1989	\$24,225	WD	286	247	Qualified (Q)	Vacant	DOYLE	BATESON

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$42,000	\$42,000	\$42,000	\$42,000	\$42,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$42,000	\$42,000	\$42,000	\$42,000	\$42,000
Assessed Value	\$42,000	\$42,000	\$42,000	\$42,000	\$42,000
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$42,000	\$42,000	\$42,000	\$42,000	\$42,000
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2020

[2020 TRIM Notice PDF](#)

TRIM Notice 2019

[2019 TRIM Notice PDF](#)



Prepared by
Robin Brannon, an employee of
First American Title Insurance Company
2353 Jenks Avenue
Panama City, Florida 32405
(850)763-8426

Return to: Grantee

File No.: 2006-2618302
Consideration: \$125,000.00

Inst: 201919005670 Date: 12/23/2019 Time: 3:04PM
Page 1 of 2 B: 1255 P: 747, Marcia Johnson,
Clerk of Court Franklin County, By: SMI
Deputy Clerk Doc Stamp-Deed: 875.00

WARRANTY DEED

This indenture made on **December 20, 2019** A.D., by

Dog Catcher Properties II, LLC, a Georgia limited liability company

whose address is: **6445 Powers Ferry Road Suite 300 Atlanta, GA 30339**
hereinafter called the "grantor", to

Team Golson Motorsports, Inc., a Florida corporation

whose address is: **15076 Alsask Circle Port Charlotte, FL 33981**
hereinafter called the "grantee":

(Which terms "Grantor" and "Grantee" shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, allens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in **Franklin County, Florida**, to-wit:

That area marked "reserved", lying South of U.S. Highway 98 to the Gulf of Mexico and lying Westerly of the West lot line of Lot 16, Block "Z", to the Westernmost boundary of Lanark Beach property line as recorded in Plat of LANARK BEACH UNIT NO. 1, according to the Plat of record, recorded in Plat Book 2, Page 13, of the Public Records of Franklin County, Florida.

Parcel Identification Number: **R 14-07S-04W-3131-000Z-0170**

Subject to all reservations, covenants, conditions, restrictions and easements of record and to all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31st of 2019.

Page 1 of 2
2006 - 2618302

In Witness Whereof, the said Grantor has caused this instrument to be executed in its name, the day and year first above written.

Dog Catcher Properties II, LLC, a Georgia limited liability company

By: [Signature]
Name: Guy H. Kelley
Title: Manager

Signed, sealed and delivered in our presence:

[Signature]
Witness Signature

Print Name: Erin M. Brown

State of Georgia

County of Cobb

[Signature]
Witness Signature

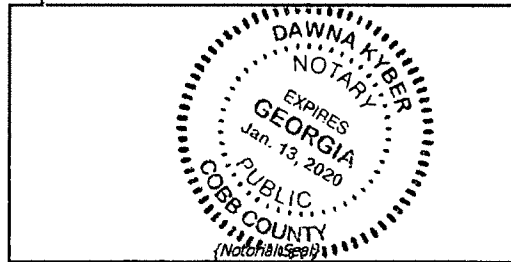
Print Name: Lauren Dodd

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED before me on **December 20, 2019**, by **Guy H. Kelley, as Manager, on behalf of Dog Catcher Properties II, LLC, a Georgia limited liability company**, existing under the laws of the State of **Georgia**, who is/are personally known to me or who has/have produced a valid driver's license as identification.

[Signature]
Notary Public

Dawna Kyber
(Printed Name)

My Commission expires: 01/13/2020






Adjacent Neighbor



Overview



Legend

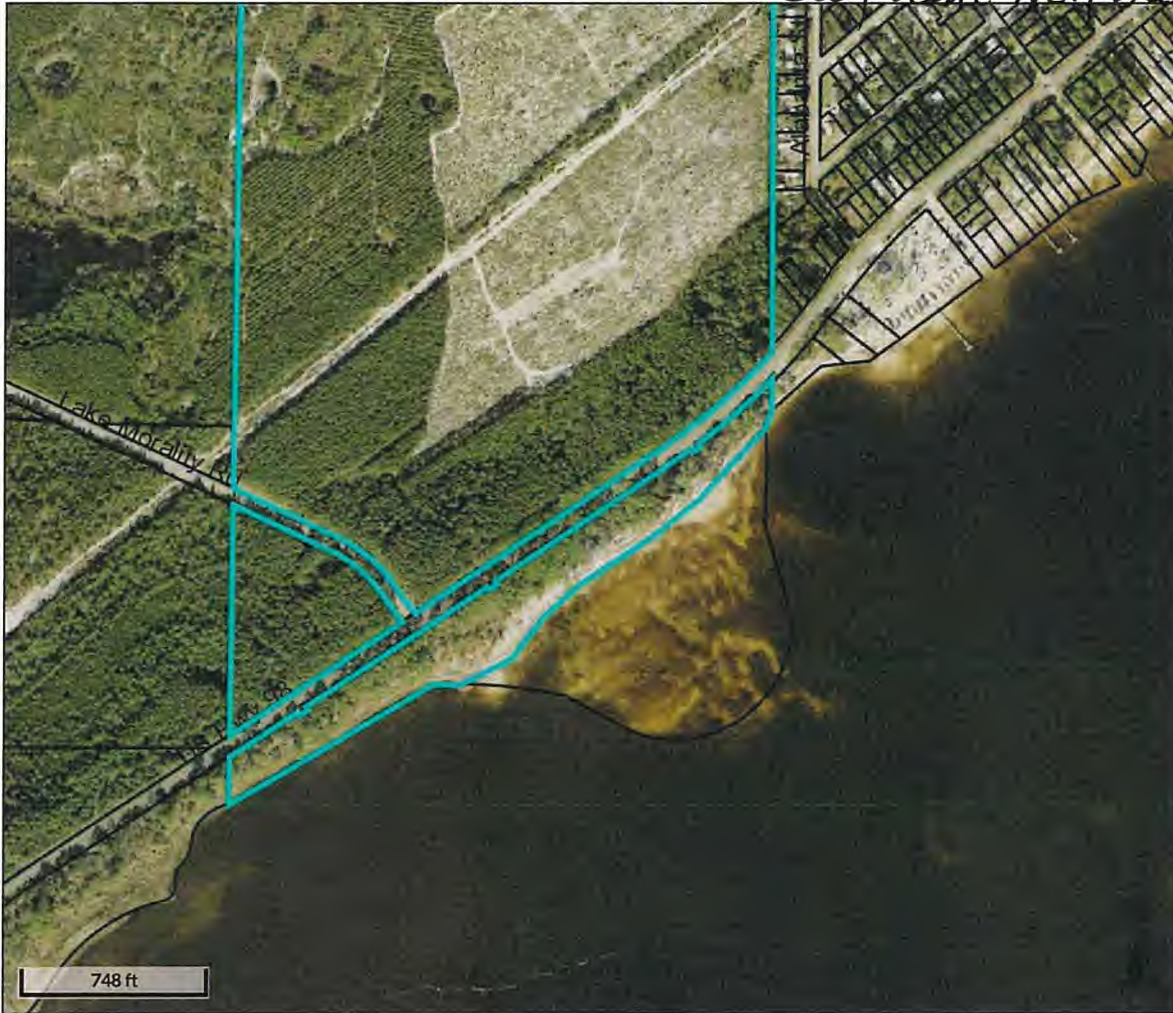
-  Parcels
-  Roads
-  City Labels

Parcel ID	14-07S-04W-3131-000Z-0150	Alternate ID	04W07S143131000Z0150	Owner Address	RODENBERRY KIMBERLY
Sec/Twp/Rng	14-7S-4W	Class	VACANT		P.O. BOX 100
Property Address	2126 HIGHWAY 98	Acreage	n/a		SOPCHOPPY, FL 32358
District	6				
Brief Tax Description	UNIT 1 BL Z LOTS 15 16 127/153				
	<i>(Note: Not to be used on legal documents)</i>				

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Adjacent Neighbors



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	14-07S-04W-0000-0010-0000	Alternate ID	04W07S14000000100000	Owner Address	ST JOE COMPANY LLC TAX DEPARTMENT 130 RICHARD JACKSON BLVD SUITE 200 PANAMA CITY BEACH, FL 32407
Sec/Twp/Rng	14-7S-4W	Class	TIMBERLAND		
Property Address		Acreage	247.67		
District	6				
Brief Tax Description	263.67AC THAT PART FRACT <i>(Note: Not to be used on legal documents)</i>				

Date created: 6/7/2021
Last Data Uploaded: 6/7/2021 7:45:39 AM

Developed by  **Schneider**
GEOSPATIAL

Parcel Summary

Parcel ID 14-075-04W-0000-0010-0000
 Location
 Address 32323
 Brief 263.67AC THAT PART FRACT SEC LYING ON N SIDE OF 120 FT GF&A/RR RW DESC AS BEG AT NW COR SEC & RUN S 0 DEGREE 44 MIN W 3230 FT
 Tax Description* ALONG SEC LINE TO PT WHICH IS 391.4 FT N OF N LINE OF RW TH N 50 DEG 46 OR/288/1 OR 228/504
*The Description above is not to be used on legal documents.
 Property Use TIMBERLAND (005600)
 Code
 Sec/Twp/Rng 14-7S-4W
 Tax District Lanark Village (District 6)
 Millage Rate 11.2322
 Acreage 247.670
 Homestead N

[View Map](#)

Owner Information

Primary Owner
St Joe Company LLC
 Tax Department
 130 Richard Jackson Blvd
 Suite 200
 Panama City Beach, FL 32407

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
005600	TIMBER 3	68.30	AC	0	0
005700	TIMBER 4	150.00	AC	0	0
005305	NONPROD AG	29.37	AC	0	0
009910	MKTVALAG	263.67	AC	0	0

Valuation

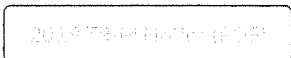
	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$0	\$0	\$0	\$0	\$0
Land Agricultural Value	\$15,192	\$15,192	\$17,482	\$17,482	\$17,482
Agricultural (Market) Value	\$659,175	\$659,175	\$395,505	\$395,505	\$395,505
Just (Market) Value	\$659,175	\$659,175	\$395,505	\$395,505	\$395,505
Assessed Value	\$15,192	\$15,192	\$17,482	\$17,482	\$17,482
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$15,192	\$15,192	\$17,482	\$17,482	\$17,482
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2020



TRIM Notice 2019



No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sales, Sketches.

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Adjacent Neighbor



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	14-07S-04W-3131-000Z-0150	Alternate ID	04W07S143131000Z0150	Owner Address	RODDENBERRY KIMBERLY
Sec/Twp/Rng	14-7S-4W	Class	VACANT		P.O. BOX 100
Property Address	2126 HIGHWAY 98	Acreage	n/a		SOPCHOPPY, FL 32358
District	6				
Brief Tax Description	UNIT 1 BL Z LOTS 15 16 127/153				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 6/7/2021
 Last Data Uploaded: 6/7/2021 7:45:39 AM

Developed by  **Schneider**
 GEOSPATIAL

Parcel Summary

Parcel ID 14-07S-04W-3131-000Z-0150
 Location Address 2126 HIGHWAY 98
 32323
 Brief Tax Description* UNIT 1 BL Z LOTS 15 16 127/153 154/562 156/45 156/628 161/403 157/196 711/707 839/166 1081/324 1086/469
 *The Description above is not to be used on legal documents.
 Property Use Code VACANT (000000)
 Sec/Twp/Rng 14-7S-4W
 Tax District Lanark Village (District 6)
 Millage Rate 11.2322
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Roddenberry Kimberly
 P.O. Box 100
 Sopchoppy, FL 32358

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000130	SFR WATER	2.00	UT	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	02/20/2013	\$49,500	WD	1086	469	Unqualified (U)	Vacant	BANK OF AMERICA NA	RODDENBERRY
N	12/17/2012	\$100	CT	1081	324	Unqualified (U)	Vacant	HAN/ZHANG	BANK OF AMERICA, N.A.
N	02/15/2005	\$920,000	WD	839	166	Qualified (Q)	Vacant	BARLOW	HAN/ZHANG
N	09/16/2002	\$100	WD	711	707	Unqualified (U)	Vacant	BARLOW	BARLOW
N	04/01/1979	\$2,500	WD	157	196	Qualified (Q)	Vacant		
N	01/01/1975	\$1,000	WD	127	153	Qualified (Q)	Vacant		

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$90,000	\$90,000	\$90,000	\$90,000	\$90,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$90,000	\$90,000	\$90,000	\$90,000	\$90,000
Assessed Value	\$90,000	\$90,000	\$90,000	\$90,000	\$90,000
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$90,000	\$90,000	\$90,000	\$90,000	\$90,000
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)

TRIM Notice 2019

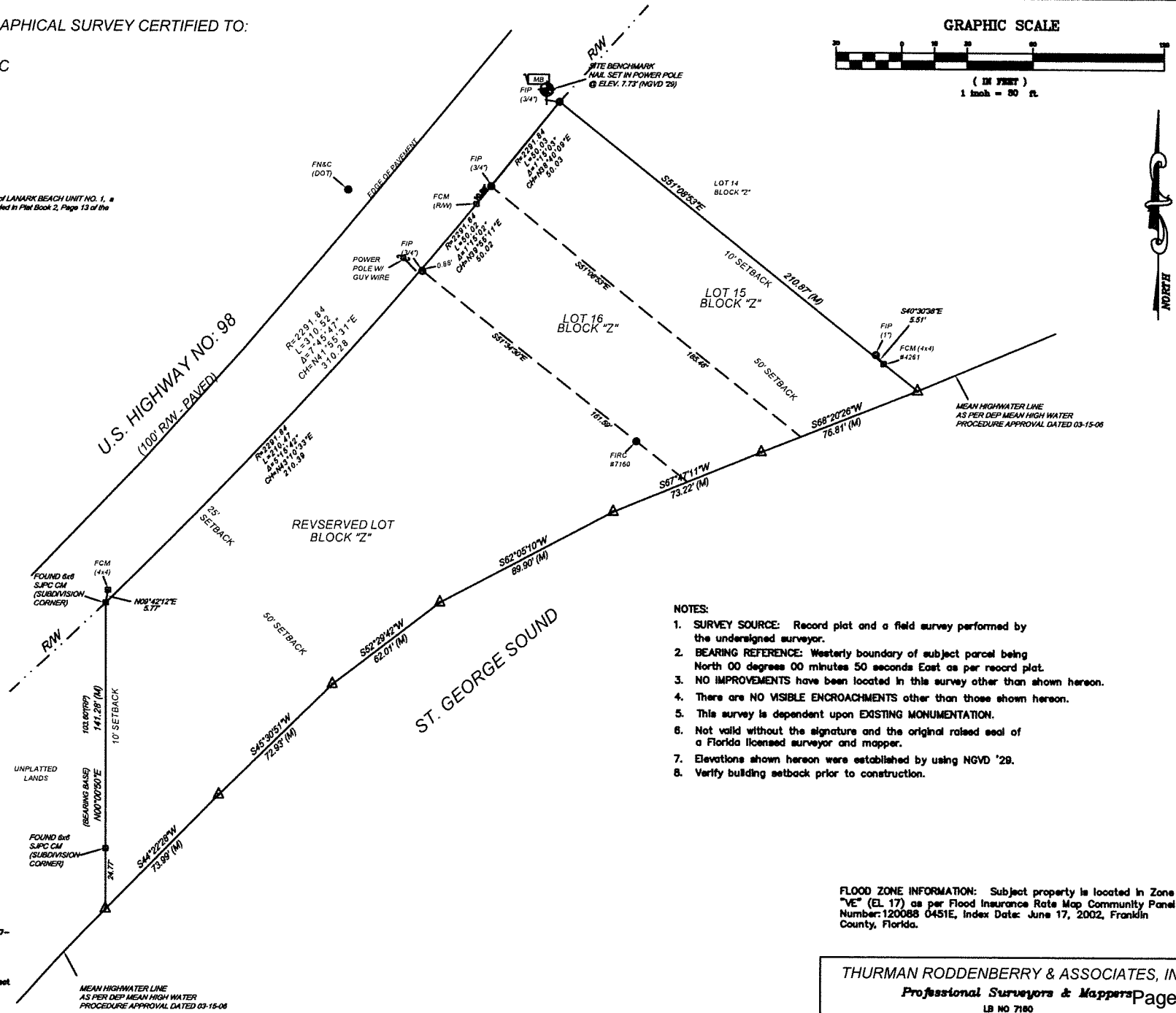
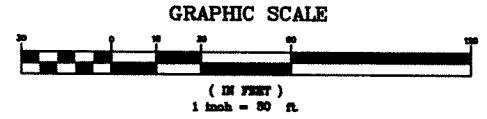
[2019 TRIM Notice \(PDF\)](#)

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

PLAT OF BOUNDARY and TOPOGRAPHICAL SURVEY CERTIFIED TO:
 R.J. MATHEWS,
 DOG CATCHER PROPERTIES II, LLC

LEGAL DESCRIPTION:
 Reserved Lot, Lot 15, and Lot 16, Block "Z" of LANARK BEACH UNIT NO. 1, a subdivision as per map or plat thereof as recorded in Plat Book 2, Page 13 of the Public Records of Franklin County, Florida.

LEGEND
 FCM FOUND CONCRETE MONUMENT
 SIRC SET 5/8" RE-ROD #7160
 FIRC FOUND IRON ROD & CAP
 FIP FOUND IRON PIPE
 RAW RIGHT-OF-WAY
 M MEASURED
 RP RECORD PLAT
 ▲ POINT NOT SET OR FOUND



- NOTES:**
1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
 2. BEARING REFERENCE: Westerly boundary of subject parcel being North 00 degrees 00 minutes 50 seconds East as per record plat.
 3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
 4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
 5. This survey is dependent upon EXISTING MONUMENTATION.
 6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 7. Elevations shown hereon were established by using NGVD '29.
 8. Verify building setback prior to construction.

FLOOD ZONE INFORMATION: Subject property is located in Zone "VE" (EL. 17) as per Flood Insurance Rate Map Community Panel Number: 120088 0451E, Index Date: June 17, 2002, Franklin County, Florida.

I hereby certify that this is a true and correct representation of the property shown hereon and that this survey meets the minimum technical standards for land surveying (Chapter 61017-6, Florida Administrative Code).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

MEAN HIGHWATER LINE
 AS PER DEP MEAN HIGH WATER
 PROCEDURE APPROVAL DATED 03-15-06

JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No. 4381

THURMAN RODDENBERRY & ASSOCIATES, INC.
 Professional Surveyors & Mappers Page 266
 LB NO 7180
 P.O. Box 100 • 128 Sheldon Street • St. Petersburg, FL 33708-0100 • (800) 862-2638
 DATE: 06/08/06 DRAWN BY: MMD N.B.438 pg33 COUNTY: Franklin
 FILE: 041028.DWG DATE OF LAST FIELD WORK: 06/07/06 JOB NUMBER: 04-1028

REVISED: 03/18/06; MEAN HIGH WATER SURVEY - MD

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Team Golson Motorsports, Inc.

WATERBODY/CLASS: St George Sound / Class II / OFW

PURPOSE: Commercial Site Plan

PROJECT LOCATION / USGS: Lanark / Franklin County

LATITUDE:

LONGITUDE:

SECTION: 14 TWSHP: 7 South RNG: 4 West

JOB: 20-020

DEP:

COE:

OTHER:

DATE: June 16, 2021

SHEET: 1/3



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Team Golson Motorsports, Inc.

JOB: 20-020

WATERBODY/CLASS: St George Sound / Class II / OFW

DEP:

PURPOSE: Commercial Site Plan

COE:

PROJECT LOCATION / USGS: Lanark / Franklin County

OTHER:

LATITUDE:

DATE: June 16, 2020

LONGITUDE:

SHEET: 2/3

SECTION: 14 TWSHP: 7 South

RNG: 4 West



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Team Golson Motorsports, Inc.

JOB: 20-020

WATERBODY/CLASS: St George Sound / Class II / OFW

DEP:

PURPOSE: Commercial Site Plan

COE:

PROJECT LOCATION / USGS: Lanark / Franklin County

OTHER:

LATITUDE:

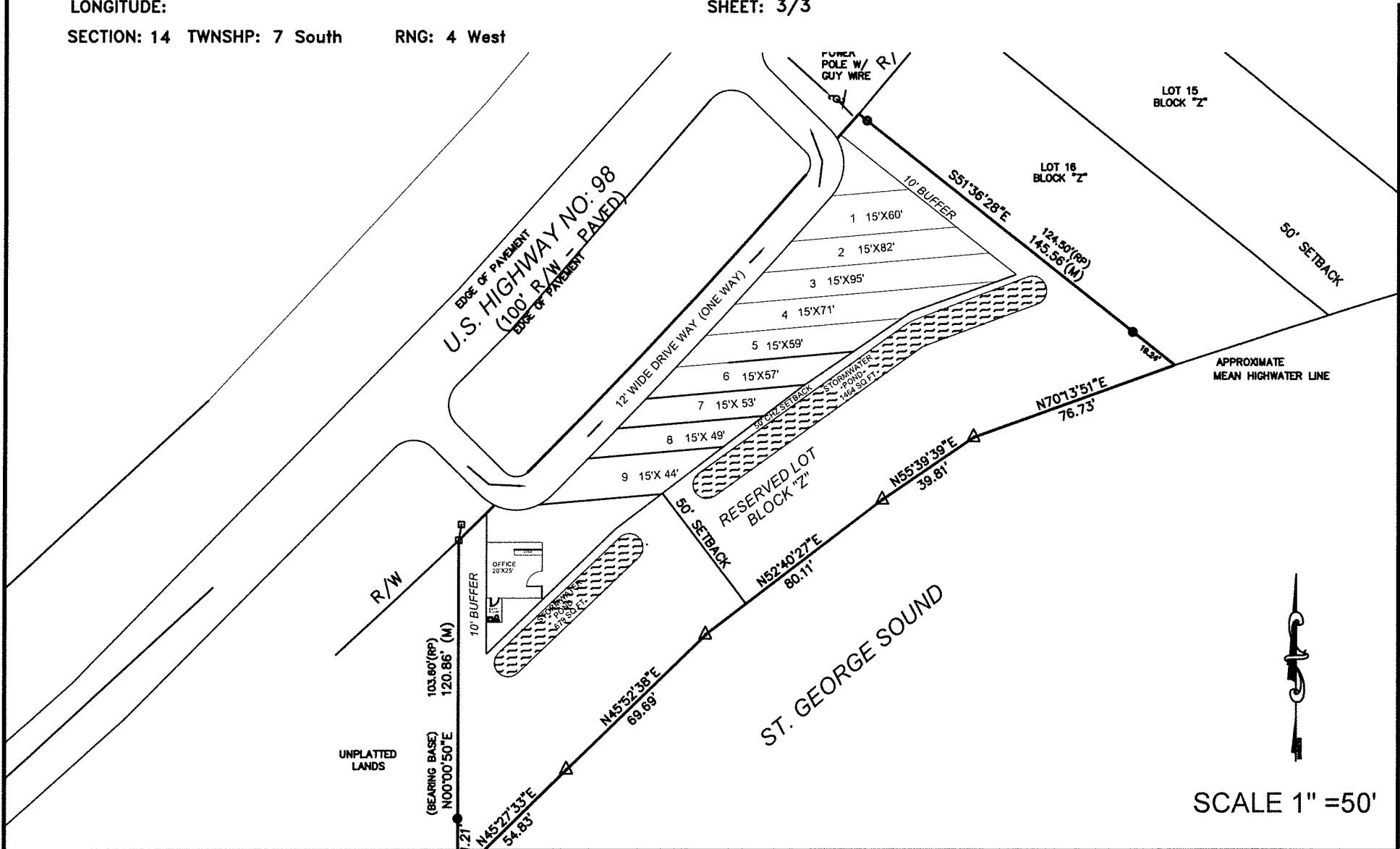
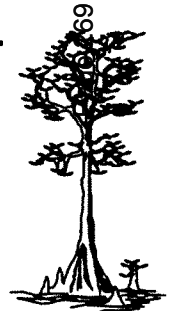
DATE: March 19, 2020

LONGITUDE:

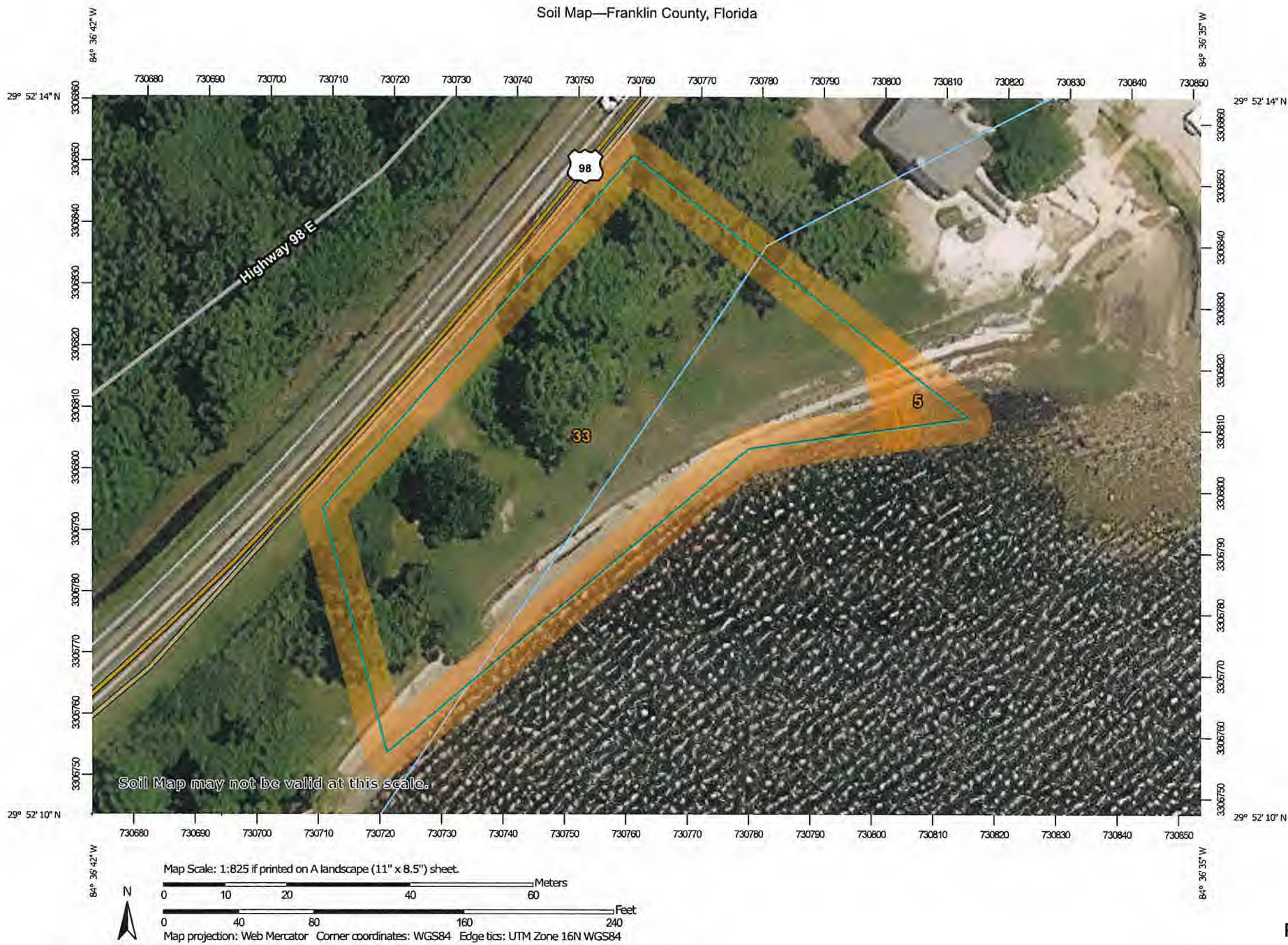
SHEET: 3/3

SECTION: 14 TNSHP: 7 South





































RNG: 4 West



Soil Map—Franklin County, Florida



MAP LEGEND

- Area of Interest (AOI)**
-  Area of Interest (AOI)
- Soils**
-  Soil Map Unit Polygons
-  Soil Map Unit Lines
-  Soil Map Unit Points
- Special Point Features**
-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot
-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features
- Water Features**
-  Streams and Canals
- Transportation**
-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads
- Background**
-  Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Franklin County, Florida
 Survey Area Data: Version 17, Jun 11, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Oct 30, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
5	Aquents, nearly level	0.0	1.7%
33	Scranton fine sand, 0 to 2 percent slopes	1.0	98.3%
Totals for Area of Interest		1.0	100.0%

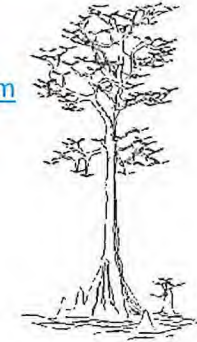
PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P.O. BOX 385, APALACHICOLA FLORIDA 32329-0385

OFFICE 850.653.8899

FAX 850.653.9656

garlick@garlickenv.com



APPLICANT/CLIENT: Team Golson Motorsports, Inc.

JOB: 21-166

WATERBODY/CLASS:

DEP:

PURPOSE: FEMA Flood Zone

COE:

PROJECT LOCATION/USGS: Franklin Co.

OTHER: 2118 Highway 98

LATITUDE:

DATE: June 7, 2021

LONGITUDE:

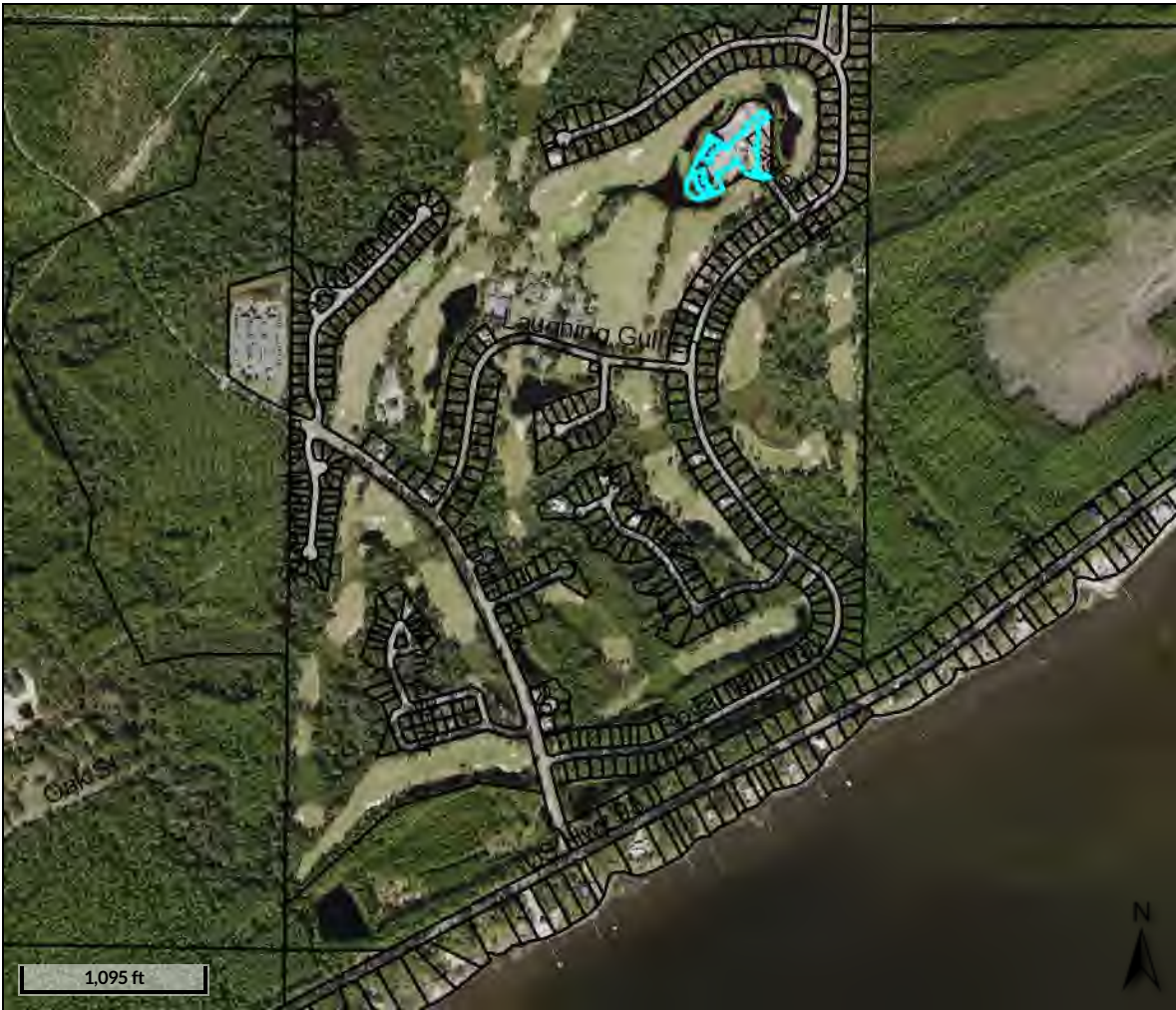
SHEET:

SECTION: 14

TWNSHIP: 7S

RNG: 4W





Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	05-07S-03W-1001-000U-0COM	Alternate ID	03W07S051001000U0COM	Owner Address	RESIDENCES AT ST JAMES BAY
Sec/Twp/Rng	--	Class	COMMON ARE		
Property Address		Acreage	n/a		
District	1				
Brief Tax Description	COMMON AREA				

(Note: Not to be used on legal documents)

Date created: 7/8/2021
 Last Data Uploaded: 7/8/2021 7:44:04 AM

Developed by  **Schneider**
 GEOSPATIAL



June 28, 2021

Ms. Cortni Bankston
Franklin County Planning and Building Dept.
43 Forbes Street
Apalachicola, Florida 32320

Subject: Site Plan Application – Villas Addition at St. James Bay
Our Project 419.002.00

Dear Ms. Bankston:

Please accept this letter as our request to be placed on the agenda for the next P&Z meeting, which is to be held in July 2021, for approval of the above-captioned project.

In summary, the project will consist of the addition of 12 Villa Units at the Club House area of St. James Bay Golf Course.

As referenced in the recent PUD modification for the project, water and sewer facilities for the site will be provided by the City of Carrabelle.

As is customary for this proceeding, we respectfully request that the board make a recommendation of approval for this project, conditioned upon receipt of all applicable state and federal permits.

Please advise if we can be of further assistance.

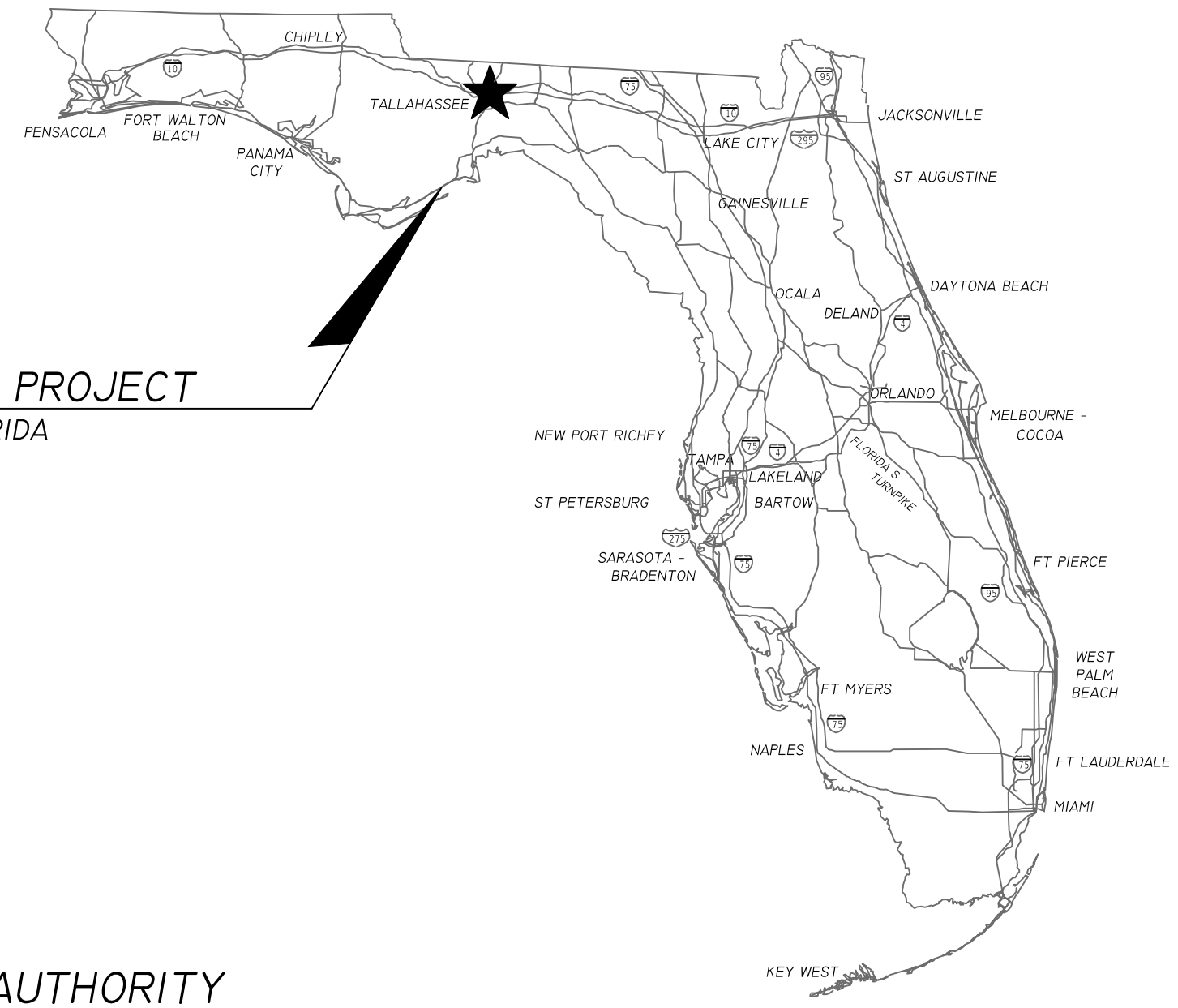
Sincerely,
INOVIA CONSULTING GROUP

Jim Waddell

Jim Waddell, P.E.
Principal

SITE PLAN APPLICATION FOR VILLAS ADDITION AT ST. JAMES BAY CARRABELLE, FLORIDA

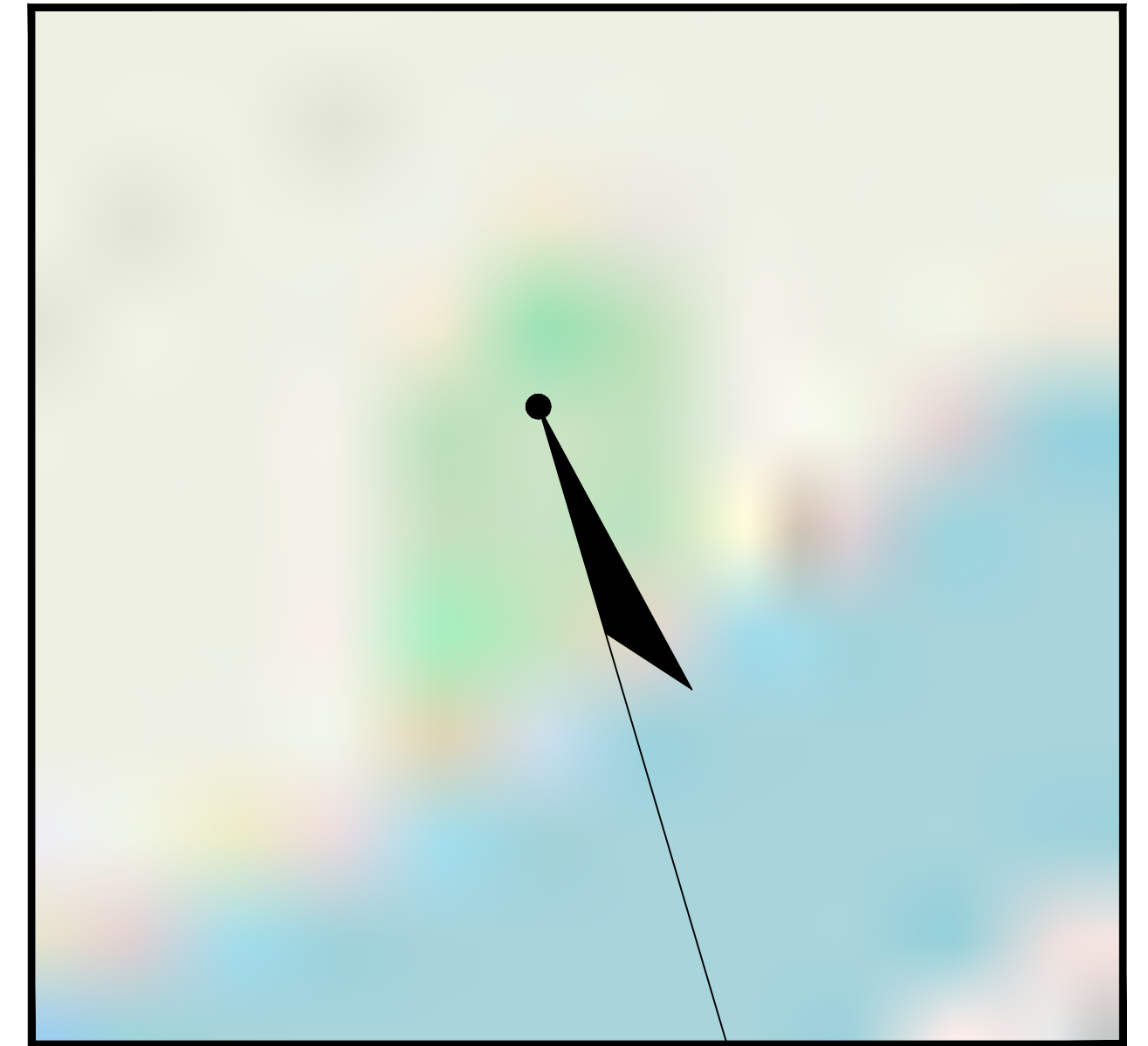
PREPARED FOR:
MJM CARRABELLE, LLC
160 LAUGHING GULL LANE,
CARRABELLE, FLORIDA 32322



LOCATION OF PROJECT
CARRABELLE, FLORIDA

INDEX OF PLANS

C0.0	KEY SHEET
C1.0	GENERAL NOTES
C2.0	GENERAL DETAILS
C3.0	EXISTING CONDITIONS
C4.0	EROSION CONTROL & DEMOLITION PLAN
C5.0	DIMENSIONAL SITE AND UTILITY PLAN
C6.0	GRADING & DRAINAGE PLAN



LOCATION MAP
NTS

OWNER/RESPONSIBLE AUTHORITY

MJM CARRABELLE, LLC
MR. JOHN GREEN
160 LAUGHING GULL LANE
CARRABELLE, FLORIDA 32322
847-830-1193

PROJECT TEAM

ENGINEER OF RECORD
INOVIA CONSULTING GROUP
2015 CENTRE POINT BOULEVARD, SUITE 103
TALLAHASSEE, FLORIDA 32308
(850) 298-4213
MR. JAMES F. WADDELL, P.E. No. 46019

SURVEYOR OF RECORD
EDWIN G. BROWN & ASSOCIATES INC
2813 CRAWFORDVILLE HIGHWAY
CRAWFORDVILLE, FLORIDA 32327
WADE G. BROWN, P.S.M. 5959

PARCEL INFORMATION

TAX ID NO. 05-07S-03W-000-0010-0000
FRONTAGE STREET: LAUGHING GULL LANE
STREET MAINTENANCE: FRANKLIN COUNTY
WATER SERVICE: CITY OF CARRABELLE
SEWER SERVICE: CITY OF CARRABELLE
ELECTRIC SERVICE: DUKE ENERGY
BOUNDARY SOURCE: EDWIN G. BROWN & ASSOCIATES INC
TOPOGRAPHIC SOURCE: EDWIN G. BROWN & ASSOCIATES INC
DATUM: NAVD 1988

PROJECT NOTES

- GOVERNING SPECIFICATIONS - FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, JULY 2021
- CONSTRUCTION STANDARDS - FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS, FY 2021-22
- SHOP DRAWINGS SHALL BE SUBMITTED TO INOVIA CONSULTING GROUP.

NO.	BY	REVISIONS	DATE



2015 CENTRE POINTE BLVD, SUITE 103
TALLAHASSEE, FL 32308
PHONE (850) 298-4213
CAB225

PLAN RELEASE STATUS	
<input type="checkbox"/>	PROGRESS PRINT
<input checked="" type="checkbox"/>	PERMIT RELEASE
<input type="checkbox"/>	BID RELEASE
<input type="checkbox"/>	CONSTRUCTION RELEASE
RELEASE DATE: 24 JUN 21	
MR. JAMES F. WADDELL, P.E. PE NO.: 46019 DATE: 6/24/21	

GENERAL NOTES:

- THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS IN-HAND PRIOR TO BEGINNING CONSTRUCTION, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMITS OBTAINED BY THE OWNER AND THOSE PERMITS OBTAINED BY THE CONTRACTOR.
- AT LEAST THREE CALENDAR DAYS PRIOR TO THE PRECONSTRUCTION CONFERENCE, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOR APPROVAL A TENTATIVE BASE CONSTRUCTION SCHEDULE, TRAFFIC CONTROL PLAN, PRECONSTRUCTION SURVEY, AND SEDIMENT AND EROSION CONTROL PLAN. NO WORK SHALL BEGIN PRIOR TO APPROVAL OF THE CONSTRUCTION SCHEDULE, TRAFFIC CONTROL PLAN, PRECONSTRUCTION SURVEY, AND SEDIMENT AND EROSION CONTROL PLAN.
- THE CONSTRUCTION SCHEDULE SHALL DESCRIBE IN DETAIL HOW THE CONSTRUCTION IS TO BE PHASED, ESTABLISH START AND FINISH DATES FOR ALL SIGNIFICANT CONSTRUCTION ACTIVITIES, AND IDENTIFY ALL CONTROLLING ITEMS OF WORK. THE SCHEDULE IS TO BE APPROVED BY THE ENGINEER, AND SHALL BE UPDATED ON A MONTHLY BASIS TO REFLECT ACTUAL WORK PROGRESS. THE UPDATED SCHEDULE SHALL BE SUBMITTED TO THE ENGINEER NO LATER THAN THREE DAYS PRIOR TO EACH SCHEDULED MONTHLY PROGRESS MEETING. PAYMENT FOR PREPARING, UPDATING AND SUBMITTING THE SCHEDULE SHALL BE INCLUDED IN THE PAY ITEM FOR MOBILIZATION.
- THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENGINEER, AND SHALL DESCRIBE THE MEASURES TO BE EMPLOYED DURING CONSTRUCTION TO WARN MOTORISTS AND PEDESTRIANS OF HAZARDS, TO ADVISE MOTORISTS OF THE PROPER TRAVEL PATH THROUGH OR AROUND THE WORK AREA, TO DELINEATE AREAS WHERE TRAFFIC SHOULD NOT OPERATE, AND TO SEPARATE AND PROTECT MOTORISTS, PEDESTRIANS AND THE WORK FORCE DURING ALL PHASES OF THE WORK. THE PLAN SHALL ALSO CONSIDER ACCESS TO BUSINESSES WITHIN THE CONSTRUCTION AREA AND PROVIDE BUSINESS ENTRANCE SIGNS TO ROUTE MOTORISTS TO DESIGNATED PARKING AREAS. PAYMENT FOR PREPARING AND SUBMITTING THE TRAFFIC CONTROL PLAN SHALL BE INCLUDED IN THE PAY ITEM FOR MOBILIZATION.
- THE PRECONSTRUCTION SURVEY SHALL VERIFY THE CONTROL POINTS AND BENCH MARK ELEVATIONS PROVIDED BY THE ENGINEER AND SHALL ALSO ESTABLISH THE LOCATION AND DESCRIPTION OF ALL ADDITIONAL REFERENCE POINTS AND THE LOCATIONS, DESCRIPTIONS, AND ELEVATIONS OF ALL ADDITIONAL BENCHMARKS TO BE USED IN CONSTRUCTING THE PROJECT. THE SURVEY SHALL BE SIGNED AND SEALED BY A PROFESSIONAL SURVEYOR AND MAPPER REGISTERED IN THE STATE OF FLORIDA. SIGNIFICANT INCONSISTENCIES BETWEEN THE FIELD NOTES AND THE CONTROL POINTS AND BENCH MARK ELEVATIONS PROVIDED BY THE ENGINEER SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION PRIOR TO ISSUANCE OF THE NOTICE TO PROCEED. PAYMENT SHALL BE INCLUDED IN THE PAY ITEM FOR MOBILIZATION.
- THE GEOTECHNICAL INFORMATION WAS NOT OBTAINED FOR THE PROJECT. THE ACTUAL SOIL CONDITIONS AS TO THE DEPTH, EXTENT OR CHARACTER OF THE MATERIAL TO BE ENCOUNTERED IN CONSTRUCTION OF THE PROJECT IS UNKNOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE SUCH EXAMINATION OF THE SITE OF THE WORK AS MAY BE NECESSARY TO DETERMINE THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE CONTRACTOR IS RESPONSIBLE FOR PRESERVING ALL PROPERTY CORNERS AND MONUMENTS SHOWN ON THE DRAWINGS OR FOUND DURING CONSTRUCTION. IF A PROPERTY CORNER OR MONUMENT IS DESTROYED OR DISTURBED, THE CONTRACTOR WILL HAVE IT REPLACED AND CERTIFIED BY A PROFESSIONAL SURVEYOR AND MAPPER REGISTERED IN THE STATE OF FLORIDA. ALL COSTS FOR PRESERVING, REPLACING AND CERTIFYING PROPERTY CORNERS AND MONUMENTS WILL BE INCLUDED IN THE PAY ITEM FOR MOBILIZATION.
- ANY NATIONAL GEODETIC SURVEY MONUMENT WITHIN THE LIMITS OF CONSTRUCTION MUST BE PROTECTED. IF IN DANGER OF DAMAGE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND:
 FDEP, BUREAU OF SURVEY AND MAPPING, MS 100
 3900 COMMONWEALTH BLVD.
 TALLAHASSEE, FLORIDA 32399
 (850) 245-2555 (OFFICE)
 (850) 245-2572 (FAX)
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS BASED ON INFORMATION PROVIDED BY THE UTILITY OWNERS, AVAILABLE RECORDS, AND SURVEYED FIELD INFORMATION. THE INFORMATION MAY NOT REFLECT ACTUAL CONDITIONS, INCLUDE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, OR SHOW THE UTILITIES IN THE CORRECT HORIZONTAL OR VERTICAL LOCATIONS. THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UTILITIES AS NECESSARY TO ESTABLISH THEIR LOCATIONS AND AVOID DAMAGE. THE FOLLOWING UTILITIES SHOULD BE CONTACTED FOR INFORMATION CONCERNING TYPE AND LOCATION OF THEIR FACILITIES. THE LIST MAY NOT INCLUDE ALL UTILITIES IN THE AREA.
 CALL SUNSHINE11 AT 811 OR 800-432-4770 (5 DAYS NOTIFICATION PRIOR TO CONSTRUCTION)
 DUKE ENERGY 407-905-3321
 FAIRPOINT COMMUNICATIONS 850-229-7338
 CITY OF CARRABELLE UTILITIES 850-697-2727
- PRIOR TO ANY SCHEDULED INTERRUPTION OF UTILITY SERVICE, THE CONTRACTOR SHALL COORDINATE SUCH INTERRUPTION WITH THE UTILITY PROVIDER AND SHALL PROVIDE A MINIMUM 24-HOUR NOTICE TO THE AFFECTED PARTIES. IN THE CASE OF A WATER MAIN SHUT DOWN, A MINIMUM 24-HOUR NOTICE ALSO SHALL BE PROVIDED TO THE LOCAL FIRE DEPARTMENT. THE CONTRACTOR SHALL NOTIFY THE ELECTRIC UTILITY A MINIMUM OF TWO WEEKS PRIOR TO CONSTRUCTION IN THE VICINITY OF THEIR FACILITIES.
- THE CONTRACTOR SHALL NOTIFY THE GAS UTILITY (A MINIMUM OF TWO WORKING DAYS PRIOR TO ANY EXCAVATION IN THE VICINITY OF GAS MAINS, AS REQUIRED BY CHAPTER 77-153 OF THE FLORIDA STATUTES. A GAS UTILITY INSPECTOR WILL BE ON SITE WHEN WORK ACTIVITIES TAKE PLACE NEAR GAS MAINS. A MINIMUM OF 72 HOURS NOTICE SHALL BE PROVIDED FOR ANY REQUEST FOR GAS MAIN EXPOSURE OR ADJUSTMENT.
- ALL UTILITIES IN CONFLICT WITH CONSTRUCTION ARE TO BE ADJUSTED OR RELOCATED BY OTHERS UNLESS NOTED OTHERWISE ON THE DRAWINGS OR DIRECTED BY THE ENGINEER.
- WHERE THE REQUIRED MINIMUM SEPARATION BETWEEN UTILITIES IS SPECIFIED, THE DISTANCE SHALL BE MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
- LIMITS OF CONSTRUCTION ARE DEFINED IN THE PLANS AND CONSIST OF ROADWAY RIGHTS-OF-WAY, THE OWNER'S PROPERTIES, DRAINAGE RIGHTS-OF-WAY, PERMANENT DRAINAGE AND/OR UTILITY EASEMENTS, AND TEMPORARY CONSTRUCTION EASEMENTS.
- NO TRENCHES WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT.
- ALL EXISTING DRAINAGE STRUCTURES AND PIPES, PAVEMENT, SIDEWALKS, CURBS, ETC., WITHIN THE LIMITS OF CONSTRUCTION ARE TO REMAIN UNLESS OTHERWISE NOTED ON THE DRAWINGS OR DIRECTED BY THE ENGINEER. ALL DRAINAGE STRUCTURES, PIPES, PAVEMENT, SIDEWALKS, CURBS, ETC., THAT ARE TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND IF DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED WITH THE SAME TYPE AND MATERIAL AT NO COST TO THE CITY.
- ALL STORM MANHOLES OR STRUCTURES DESIGNATED TO BE ABANDONED IN PLACE SHALL BE REMOVED TO A MINIMUM OF THREE FEET BELOW GRADE AND FILLED WITH COMPACTED SAND.
- EXISTING CONCRETE AND ASPHALTIC CONCRETE DRIVEWAYS AND SIDEWALKS SHALL BE DIRECTIONALLY BORED AS REQUIRED FOR CONSTRUCTION.
- ALL SIDEWALKS AND CURB RAMPS REMOVED DURING CONSTRUCTION SHALL BE RECONSTRUCTED TO MEET CURRENT ADA STANDARDS.
- THE CONTRACTOR SHALL PUT FORTH EVERY REASONABLE EFFORT TO MINIMIZE DISRUPTION AND DISTURBANCE OF ADJACENT PROPERTIES. ACCESS BY PROPERTY OWNERS AND RESIDENTS TO THEIR PROPERTY SHALL BE MAINTAINED AT ALL TIMES, AND ANY BARRICADEING OF ACCESS MUST BE COORDINATED WITH THE AFFECTED PROPERTY OWNERS AND RESIDENTS.
- ALL FENCES IN CONFLICT WITH CONSTRUCTION SHALL BE REMOVED AND REPLACED IN THEIR ORIGINAL LOCATIONS OR IN OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. THE CONTRACTOR MAY, AT HIS OPTION, USE NEW FENCING MATERIAL OF THE SAME TYPE THAT WAS REMOVED OR REUSE THE FENCING MATERIAL THAT WAS REMOVED IF IT IS UNDamaged BY CONSTRUCTION ACTIVITIES. ALL FENCES DAMAGED BY CONSTRUCTION ACTIVITIES ARE TO BE REPLACED WITH NEW FENCING MATERIAL OF THE SAME TYPE THAT WAS REMOVED.

- THE CONTRACTOR SHALL EXERCISE DUE CARE IN THE REMOVAL OF EXISTING FENCES TO MAINTAIN SECURITY AT THE AFFECTED PROPERTIES AND TO ENSURE THE SAFETY OF PETS, ANIMALS AND CHILDREN. IF IN THE OPINION OF THE ENGINEER, REMOVAL OF A FENCE WILL RESULT IN AN UNACCEPTABLE REDUCTION IN SECURITY OR SAFETY, THE CONTRACTOR SHALL INSTALL A TEMPORARY FENCE AS DIRECTED BY THE ENGINEER PRIOR TO REMOVAL OF THE EXISTING FENCE. THE TEMPORARY FENCE SHALL REMAIN IN PLACE UNTIL THE PERMANENT FENCE IS INSTALLED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND LANDSCAPING ON ADJACENT PROPERTIES, AND WILL BE SOLELY LIABLE FOR DAMAGE TO VEGETATION ON PROPERTIES ADJACENT TO CONSTRUCTION WORK ZONES. ALL TREES WITHIN THE LIMITS OF CONSTRUCTION THAT ARE NOT IDENTIFIED ON THE PLANS TO BE REMOVED SHALL BE PROTECTED TO THE MAXIMUM EXTENT PRACTICABLE. TREE PROTECTION BARRICADES SHALL BE INSTALLED AND MAINTAINED AROUND ALL TREES THAT ARE TO BE PROTECTED AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL NOT DISTURB GRASSING OR LANDSCAPING OUTSIDE CONSTRUCTION WORK ZONES. THE CONTRACTOR SHALL BE SOLELY LIABLE FOR DAMAGE TO VEGETATION OUTSIDE CONSTRUCTION WORK ZONES AND SHALL RESTORE AT NO COST TO THE CITY ANY AREAS THAT ARE DAMAGED INCLUDING AREAS WITHIN THE LIMITS OF CONSTRUCTION OR ON ADJACENT PROPERTIES USING, TO THE EXTENT PRACTICABLE, THE SAME TYPES AND SIZES OF PLANT MATERIAL THAT EXISTED PRIOR TO CONSTRUCTION.
- THE LOCATION AND CONSTRUCTION OF MAILBOXES SHALL BE IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE UNITED STATES POSTAL SERVICE. WHEN A MAILBOX IN CONFLICT WITH CONSTRUCTION IS REMOVED, THE CONTRACTOR SHALL FURNISH AND INSTALL A TEMPORARY MAILBOX AND SHALL MAINTAIN THE TEMPORARY MAILBOX UNTIL A NEW MAILBOX IS INSTALLED. THE CONTRACTOR SHALL CONSTRUCT A NEW MAILBOX TO MATCH, AS CLOSE AS PRACTICABLE, THE LOCATION, TYPE, SIZE, MATERIAL, AND COLOR OF THE ORIGINAL MAILBOX. IN LIEU OF CONSTRUCTING A NEW MAILBOX, THE EXISTING MAILBOX MAY BE REUSED IF IT MEETS THE RULES AND REGULATIONS OF THE UNITED STATES POSTAL SERVICE AND IS FUNCTIONALLY SOUND.
- DISTURBED AREAS SHALL BE COMPACTED (AT A MINIMUM) EQUAL TO ADJACENT UNDISTURBED GROUND EXCEPT WHEN OTHERWISE SPECIFIED.
- PROPERTIES ADJACENT TO WORK ZONES SHALL BE GRADED TO DRAIN WITHIN THE LIMITS OF CONSTRUCTION.
- ALL DISTURBED AREAS WITHIN CONSTRUCTION WORK ZONES ARE TO BE GRASSED EXCEPT FOR AREAS THAT ARE LANDSCAPED, PAVED, OR BELOW NORMAL WATER LEVEL. EXISTING GRASSED AREAS SHALL BE REPLANTED WITH SOD OF THE SAME GRASS TYPE AS EXISTING, UNLESS OTHERWISE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER. CENTIPEDE SOD WILL BE USED FOR DISTURBED AREAS NOT CURRENTLY GRASSED. REINFORCEMENT MAT SHALL BE INSTALLED BENEATH SOD PLACED ON SLOPES OF 2H:1V OR STEEPER, AND THE SOD SHALL BE STAPLED. COSTS FOR REINFORCEMENT MAT, STAPLING, FERTILIZING, AND WATERING SHALL BE INCLUDED IN THE UNIT PRICE OF THE PAY ITEM FOR PERFORMANCE TURF.
- PRIOR TO REQUESTING A FINAL INSPECTION, THE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE ENGINEER FOUR COMPLETE SETS OF CERTIFIED AS-BUILT RECORD DRAWINGS AND TWO COPIES OF THE DIGITAL FILES ON CD-ROM DISKS.

SUPPLEMENTAL GENERAL NOTES - TRAFFIC CONTROL:

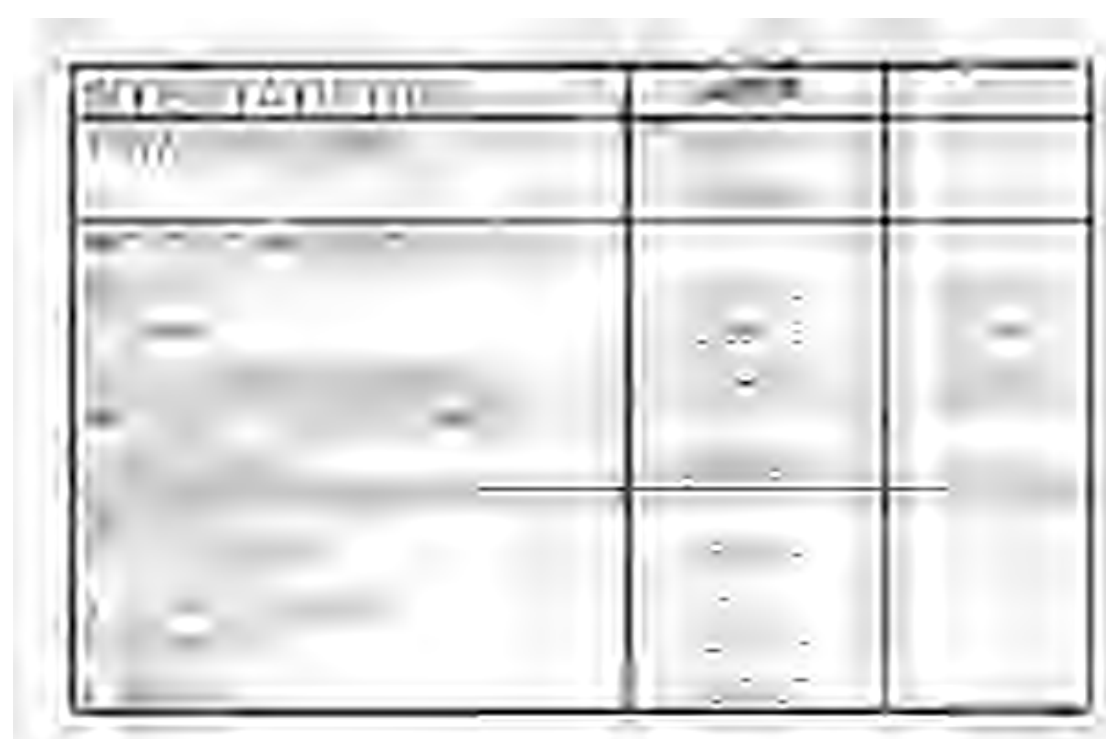
- THE CONTRACTOR SHALL OBTAIN TRAFFIC CONTROL PLAN APPROVAL FROM THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- ACCESS TO BUSINESS AND RESIDENTIAL DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES.
- NO ROADWAYS (INCLUDING COUNTY ROADS) SHALL BE CLOSED WITHOUT PRIOR APPROVAL OF FRANKLIN COUNTY AND THE ENGINEER.
- ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS.
- ALL TRAFFIC CONTROL DEVICES SHALL BE IN PLACE BEFORE THE START OF CONSTRUCTION ON AFFECTED ROADWAYS.
- WARNING LIGHTS SHALL BE USED ON BARRICADES DURING HOURS OF DARKNESS IN ACCORDANCE WITH INDEX NO. 600.
- DURING THE INSTALLATION OF STORM DRAIN OR UTILITY PIPING, SYNTHETIC BALE BARRIERS SHALL BE PLACED BELOW THE WORK ZONES TO AID IN CONTROLLING THE TRANSFER OF ERODED MATERIAL OFF SITE.
- NEW AND EXISTING DRAINAGE STRUCTURES SHALL BE PROTECTED FROM SILTATION DURING CONSTRUCTION. BARRIERS SHALL BE PLACED AROUND ALL INCOMPLETE STORMWATER INLETS AND MANHOLES DURING CONSTRUCTION. CURB INLET FILTERS SHALL BE PLACED ACROSS THE THROATS OF ALL EXISTING AND COMPLETED CURB INLETS.
- EXISTING FLOW CAPACITY SHALL BE MAINTAINED IN THE DRAINAGE SYSTEMS TO CONVEY RUNOFF FROM RAIN STORMS THAT OCCUR DURING CONSTRUCTION. EXISTING DRAINAGE PIPES THAT ARE NOTED TO BE PLUGGED OR REMOVED SHALL REMAIN IN SERVICE UNTIL FLOWS CAN BE DIVERTED TO THE NEW DRAINAGE SYSTEM. WHERE NEW PIPES ARE TO BE INSTALLED IN CLOSE PROXIMITY TO EXISTING PIPES THAT ARE TO BE REMOVED, PROVISIONS SHALL BE MADE TO DIVERT FLOWS FROM THE EXISTING PIPES TO THE NEW PIPES PRIOR TO RAIN STORMS. TEMPORARY PIPES SHALL BE PLACED FOR THIS PURPOSE PRIOR TO SUSPENSION OF WORK ACTIVITIES EACH DAY.
- NO MORE THAN 500 FEET OF STORM DRAIN OR UTILITY PIPING SHALL BE INSTALLED WITHOUT BACKFILLING AND COMPACTING THE PIPE TRENCH.
- STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICABLE, BUT IN NO CASE NO MORE THAN 14 DAYS AFTER CONSTRUCTION ACTIVITIES IN THOSE PORTIONS OF THE SITE HAVE TEMPORARILY OR PERMANENTLY CEASED.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL DISTURBED LAND AREAS SHALL BE COMPLETED IMMEDIATELY AFTER FINAL GRADING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY PROTECT A DISTURBED AREA IMMEDIATELY AFTER GRADING OPERATIONS, TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED. ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED.

EROSION CONTROL GENERAL NOTES:

- EROSION CONTROL FEATURES SHOWN IN THESE PLANS ARE THE MINIMUM AMOUNT OF PROTECTION REQUIRED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED DURING CONSTRUCTION TO PROTECT THE ENVIRONMENTAL FEATURES LOCATED ON THE PROJECT AND DOWNSTREAM OF THE PROJECT.
- SUPPLEMENTAL EROSION CONTROL FEATURES SHALL BE INSTALLED AS DIRECTED BY THE PROJECT ENGINEER OR ENVIRONMENTAL INSPECTOR.
- EROSION CONTROL FEATURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES COMMENCING AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE EROSION CONTROL FEATURES THROUGHOUT THE DURATION OF CONSTRUCTION. ANY DEFICIENCIES SHALL BE REPAIRED WITHIN 24 HOURS.
- MATERIAL STOCKPILING SHALL NOT BE LOCATED WITHIN ENVIRONMENTALLY SENSITIVE AREAS AND LOCATIONS SHALL BE APPROVED BY THE PROJECT ENGINEER PRIOR TO CONSTRUCTION. METHODS FOR CONTROLLING EROSION FROM THE STOCKPILE LOCATIONS SHALL BE ADDRESSED BY THE CONTRACTOR AND APPROVED BY THE PROJECT ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING AND MAINTAINING EROSION CONTROL FEATURES AT THE CONSTRUCTION ENTRANCE/EXITS. THE FEATURES SHALL MINIMIZE THE OFF-SITE TRACKING OF DUST/DEBRIS FROM THE PROJECT SITE ONTO ROADWAYS.
- THE CONTRACTOR SHALL OBTAIN THE FDEP GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES) FROM FDEP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION CONTROL PLAN, MONITORING AND REPORTING REQUIRED BY THE NPDES PERMIT AND THE ASSOCIATED STORMWATER POLLUTION PREVENTION PLAN.

LEGEND

---	EXISTING BURIED TELEPHONE WIRE	SIR = SET IRON ROD
---	EXISTING OVERHEAD WIRE	FCM = FOUND CONCRETE MONUMENT
---	LIMITED ACCESS R/W	FIP = FOUND IRON PIPE
---	EXISTING FENCE	FN/C = FOUND NAIL & CAP
---	PROPOSED FENCE	R = RADIUS, OR RANGE
---	HEAVY DUTY SILT FENCE	SN/C = SET NAIL & CAP
---	SILT FENCE	R.O.W. = RIGHT OF WAY
---	EXISTING WATER LINE	Δ = DELTA
---	PROPOSED WATER LINE	L = ARC LENGTH
---	PROPOSED CONTOUR	CH = CHORD
---	EXISTING CONTOUR	(P) = PER PLAT PROVIDED BY CLIENT
---	EXISTING GAS MAIN	(D) = PER DEED PROVIDED BY CLIENT
---	PROPOSED GAS MAIN	(M) = AS MEASURED
---	EXISTING SANITARY SEWER	FF = FINISHED FLOOR ELEVATION
---	PROPERTY LINE	INV = INVERT ELEVATION
---	RIGHT-OF-WAY	RCP = REINFORCED CONCRETE PIPE
---	BUILDING SETBACKS	TCP = TERRA COTTA PIPE
---	EASEMENT	EL = ELEVATION
---	EXISTING RAILROAD	PROP. = PROPOSED
---	PROPOSED SANITARY SEWER	SSMH = SANITARY SEWER MANHOLE
---	EXISTING WETLANDS LINE	SWMH = STORMWATER MANHOLE
---	EXISTING MEAN HIGH WATER LINE	EXIST. = EXISTING
---	EXISTING TREES	CMP = CORRUGATED METAL PIPE
---	TREES TO BE REMOVED	UE = UNDERGROUND ELECTRIC
---	TREES IMPACTED TO REMAIN	CONC. = CONCRETE
---	EXISTING SPOT ELEVATION	P.O.C. = POINT OF COMMENCEMENT
---	PROPOSED SPOT ELEVATION	P.O.B. = POINT OF BEGINNING
---	BM = BENCHMARK AS NOTED	F.A.C. = FLORIDA ADMINISTRATIVE CODE
---	WV = WATER VALVE	C.O.F. = CITY OF TALLAHASSEE
---	GV = GAS VALVE	(TYP) = TYPICAL
---	PP = POWER POLE	SWMF = STORMWATER MANAGEMENT FACILITY
---	LP = LIGHT POLE	CMP = CORRUGATED METAL PIPE
---	AP = ANCHOR POLE	
---	WM = WATER METER	
---	TPED = TELEPHONE PEDESTAL	
---	INDICATES DIRECTION OF FLOW	



2015 CENTRE POINTE BLVD. SUITE 103
 TALLAHASSEE, FLORIDA 32303
 PHONE 850.298.4213
 WWW.INOVIAGROUP.COM
 CA8225

DATE	REVISIONS	BY	NO.

PROJECT NO.: 419.002.00
 DRAWING FILE: C1.0 GENERAL NOTES

CLIENT **MJM CARRABELLE, LLC**
 PROJECT **VILLAS ADDITION AT ST. JAMES BAY**
 SHEET **GENERAL NOTES**

<input type="checkbox"/>	PROGRESS PRINT
<input checked="" type="checkbox"/>	PERMIT RELEASE
<input type="checkbox"/>	BID RELEASE
<input type="checkbox"/>	CONSTRUCTION RELEASE

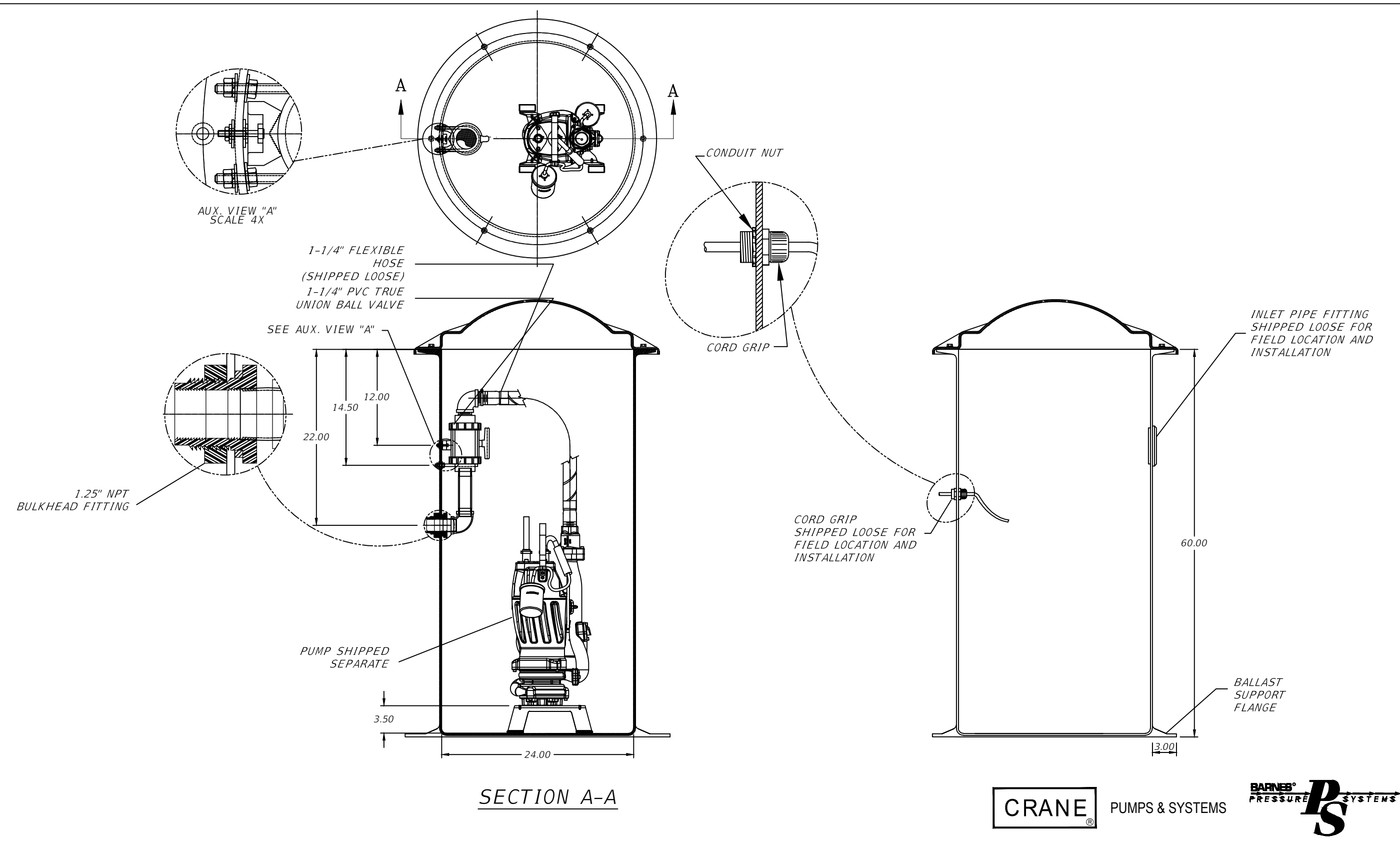
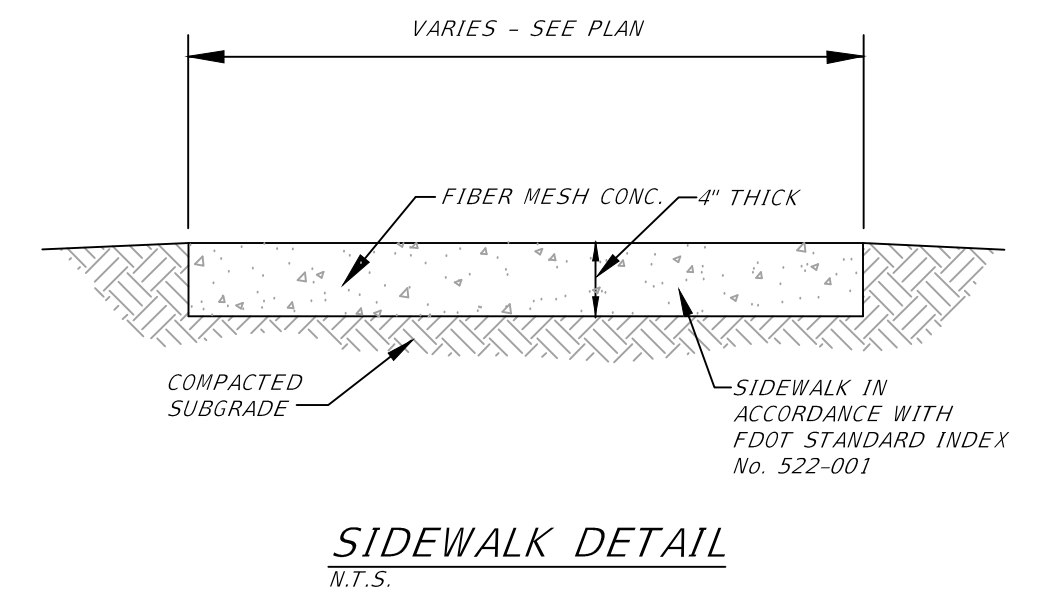
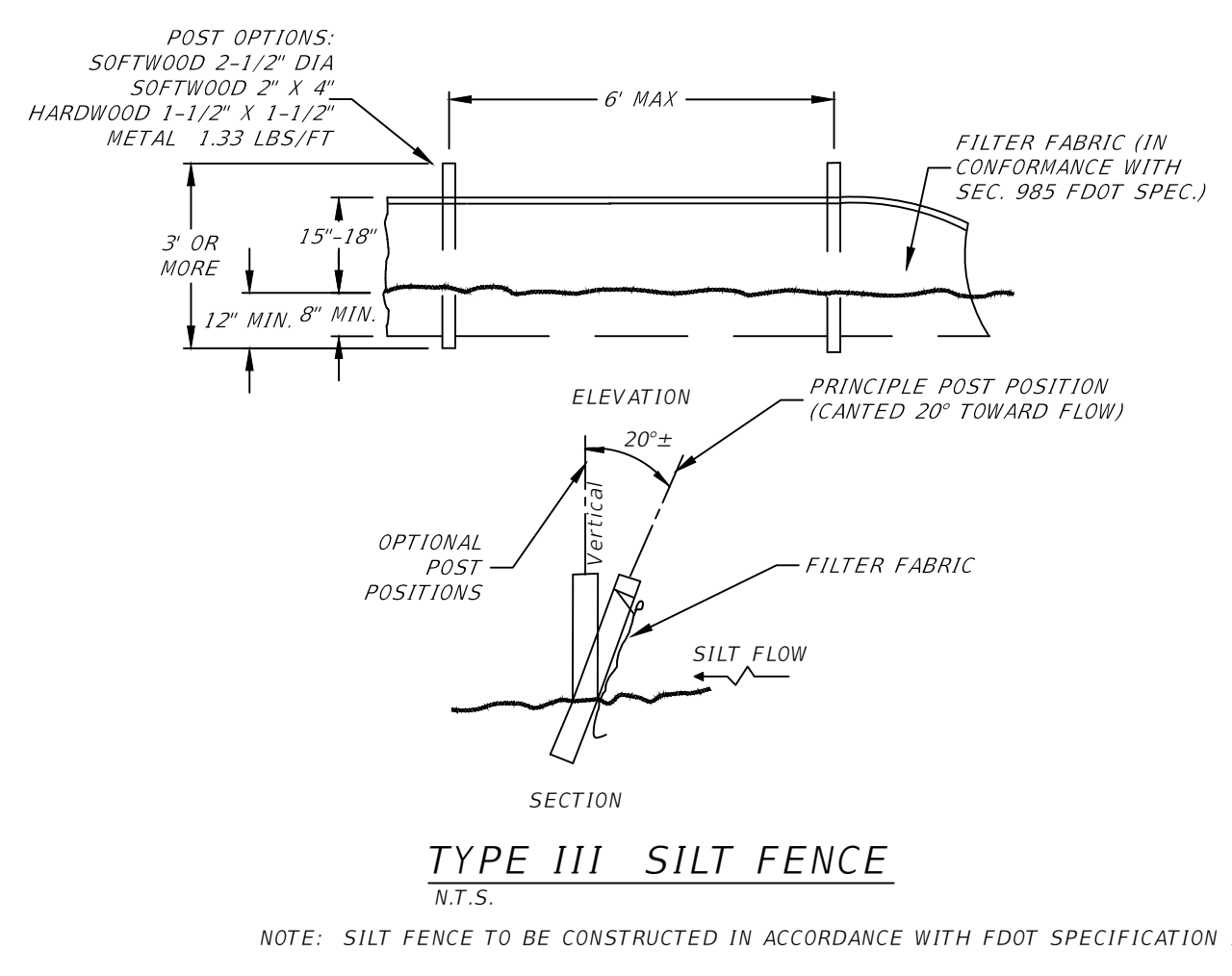
RELEASE DATE: 24 JUN 21

INITIAL	DATE
JFW	6/24/21

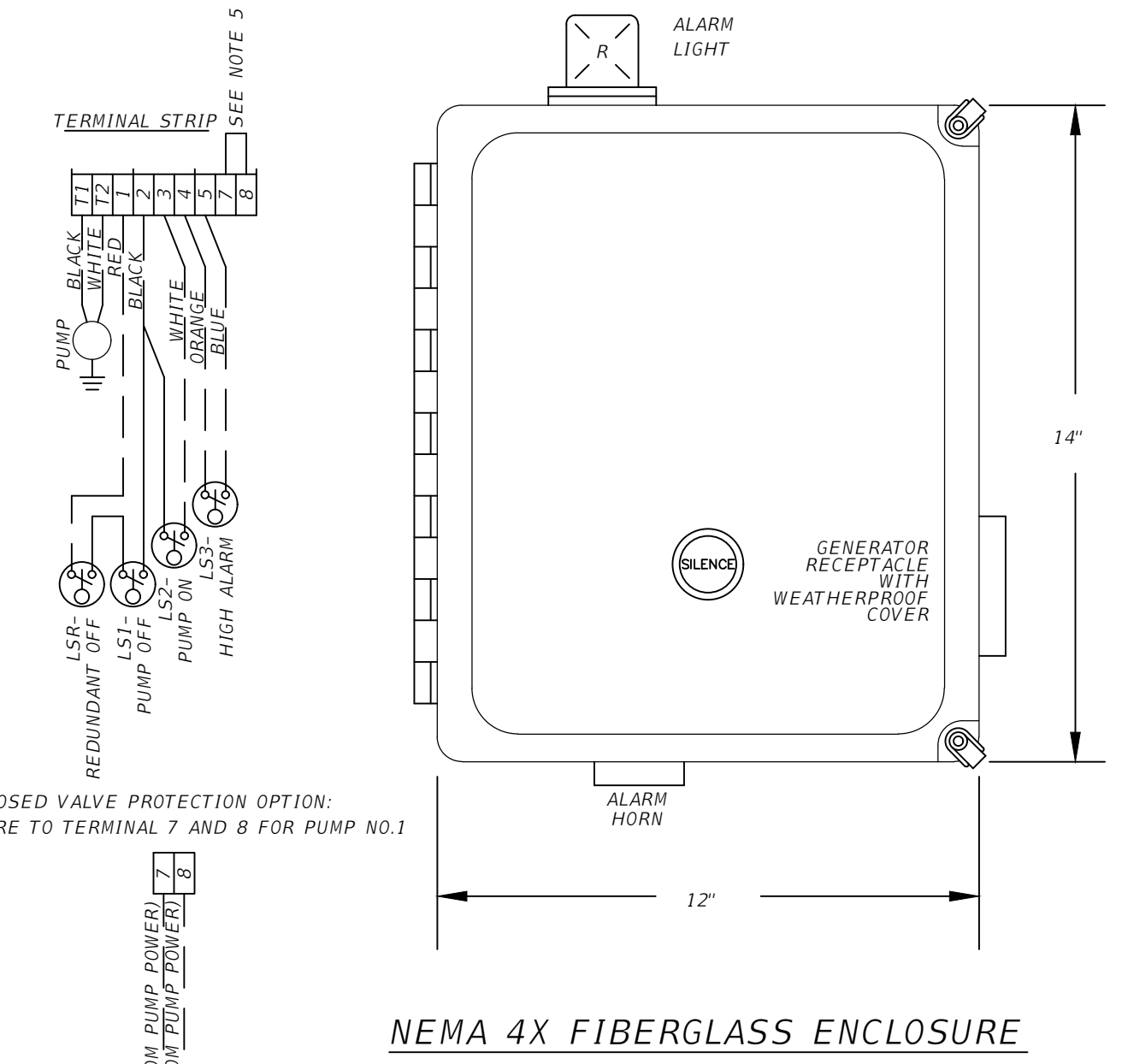
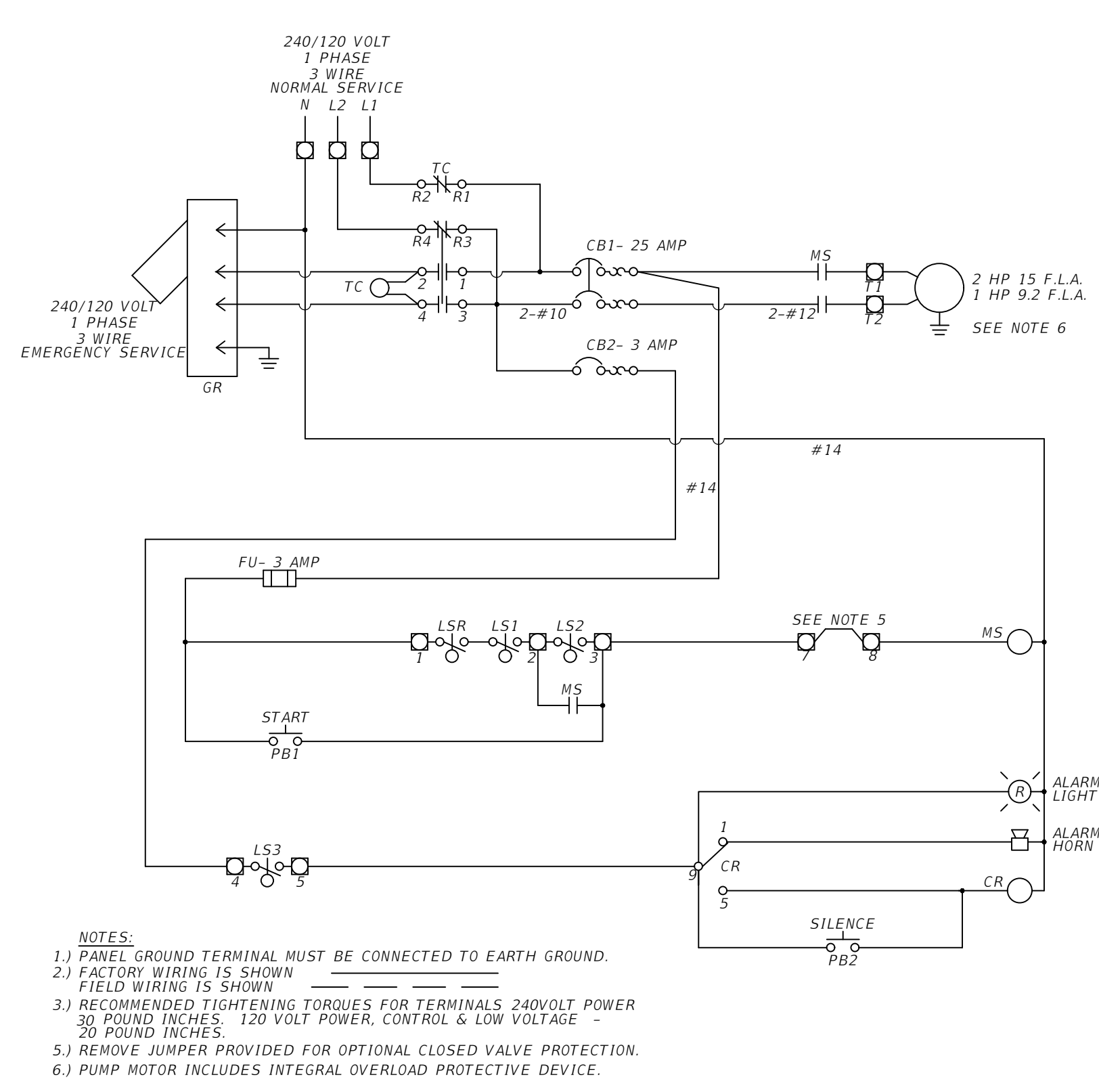
CHECKED BY: JFW 6/24/21
 SCALE: AS SHOWN

MR. JAMES F. WADDELL, P.E.
 PE NO.: 46019
 DATE: 6/24/21

SHEET
C1.0



GRINDER PUMP DETAILS (OR APPROVED EQUAL)
N.T.S.



** CLOSED VALVE PROTECTION OPTION: WIRE TO TERMINAL 7 AND 8 FOR PUMP NO.1



GRINDER ELECTRICAL DETAILS
N.T.S.



2015 CENTRE POINTE BLVD.
SUITE 103
TALLAHASSEE, FLORIDA 32303
PHONE 850.298.4213
WWW.INOVIAGROUP.COM
CAB225

NO.	BY	DATE	REVISIONS

PROJECT NO.: 419.002.00
DRAWING FILE: C2.0 GENERAL DETAILS

CLIENT **MJM CARRABELLE, LLC**
PROJECT **VILLAS ADDITION AT ST. JAMES BAY**
SHEET **GENERAL DETAILS**

PLAN RELEASE STATUS

PROGRESS PRINT

PERMIT RELEASE

BID RELEASE

CONSTRUCTION RELEASE

RELEASE DATE: 24 JUN 21

INITIAL	DATE

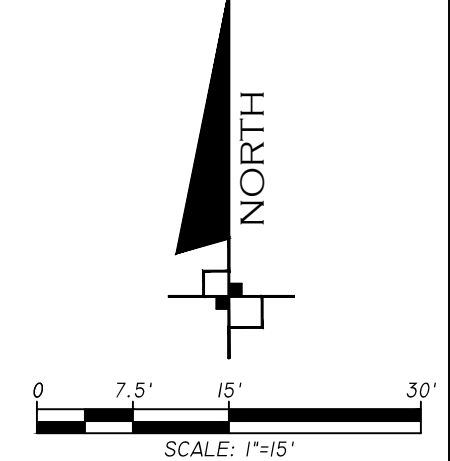
DRAWN BY: JWF 6/24/21
CHECKED BY: JWF 6/24/21
SCALE: AS SHOWN

MR. JAMES F. WADDELL, P.E.
PE NO.: 46019
DATE: 6/24/21

SHEET **C2.0**



2015 CENTRE POINTE BLVD.
SUITE 103
TALLAHASSEE, FLORIDA
32303
PHONE 850.298.4213
WWW.INOVIAGROUP.COM
CA8225



NO.	BY	REVISIONS	DATE

PROJECT NO.: 419.002.00
DRAWING FILE: C4.0 EROSION CONTROL & DEMOLITION PLAN

CLIENT **MJM CARRABELLE, LLC**
PROJECT **VILLAS ADDITION AT ST. JAMES BAY**
SHEET **EROSION CONTROL & DEMOLITION PLAN**

PLAN RELEASE STATUS	
<input type="checkbox"/>	PROGRESS PRINT
<input checked="" type="checkbox"/>	PERMIT RELEASE
<input type="checkbox"/>	BID RELEASE
<input type="checkbox"/>	CONSTRUCTION RELEASE

RELEASE DATE: 24 JUN 21

DRAWN BY	JOV	DATE
CHECKED BY	JFW	6/24/21

SCALE: AS SHOWN

MR. JAMES F. WADDELL, P.E.
PE NO.: 46019
DATE: 6/24/21

SHEET
C4.0



PROPOSED SILT FENCE
SEE DETAIL SHEET C2.0

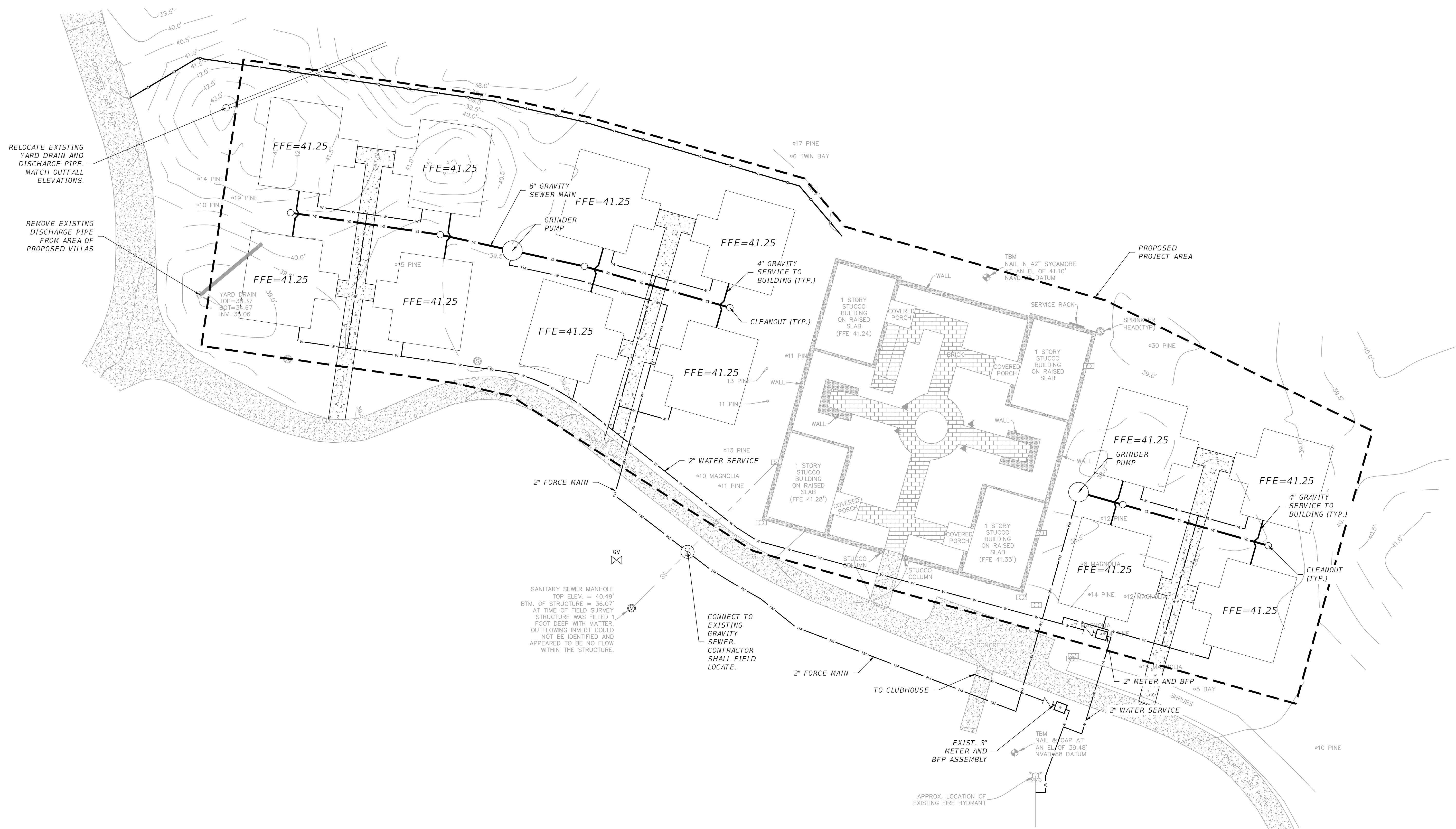
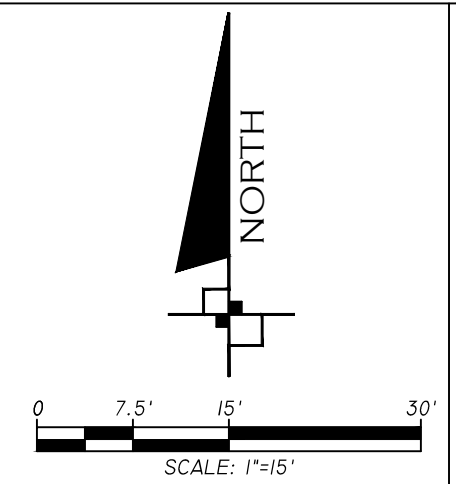
EXIST. YARD DRAIN
AND DISCHARGE PIPE
TO BE REMOVED AND
RELOCATED

SANITARY SEWER MANHOLE
TOP ELEV. = 40.49'
BTM. OF STRUCTURE = 36.07'
AT TIME OF FIELD SURVEY
STRUCTURE WAS FILLED 1
FOOT DEEP WITH MATTER.
OUTFLOWING INVERT COULD
NOT BE IDENTIFIED AND
APPEARED TO BE NO FLOW
WITHIN THE STRUCTURE.

APPROX. LOCATION OF
EXISTING FIRE HYDRANT



2015 CENTRE POINTE BLVD.
SUITE 103
TALLAHASSEE, FLORIDA
32303
PHONE 850.298.4213
WWW.INOVIAGROUP.COM
CA8225



RELOCATE EXISTING
YARD DRAIN AND
DISCHARGE PIPE.
MATCH OUTFALL
ELEVATIONS.

REMOVE EXISTING
DISCHARGE PIPE
FROM AREA OF
PROPOSED VILLAS

SANITARY SEWER MANHOLE
TOP ELEV. = 40.49'
BTM. OF STRUCTURE = 36.07'
AT TIME OF FIELD SURVEY
STRUCTURE WAS FILLED 1
FOOT DEEP WITH MATTER.
OUTFLOWING INVERT COULD
NOT BE IDENTIFIED AND
APPEARED TO BE NO FLOW
WITHIN THE STRUCTURE.

CONNECT TO
EXISTING
GRAVITY
SEWER.
CONTRACTOR
SHALL FIELD
LOCATE.

EXIST. 3"
METER AND
BFP ASSEMBLY

APPROX. LOCATION OF
EXISTING FIRE HYDRANT

NO.	BY	REVISIONS	DATE

CLIENT **MJM CARRABELLE, LLC**
 PROJECT **VILLAS ADDITION AT
ST. JAMES BAY**
 SHEET **DIMENSIONAL SITE AND
UTILITY PLAN**

PLAN RELEASE STATUS

- PROGRESS PRINT
- PERMIT RELEASE
- BID RELEASE
- CONSTRUCTION RELEASE

RELEASE DATE: 24 JUN 21

INITIAL	DATE
DRAWN BY	JQV 6/24/21
CHECKED BY	JFW 6/24/21

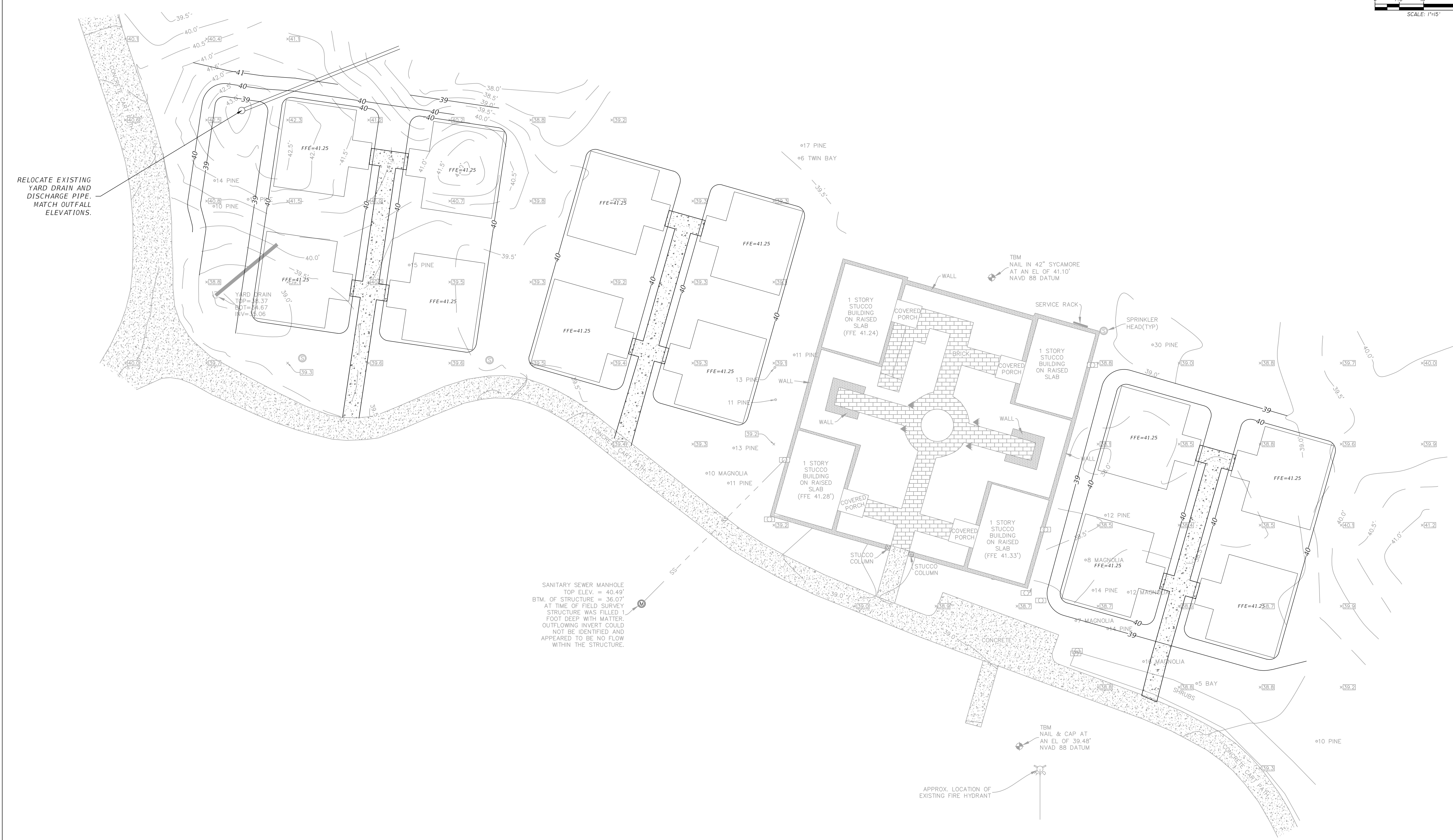
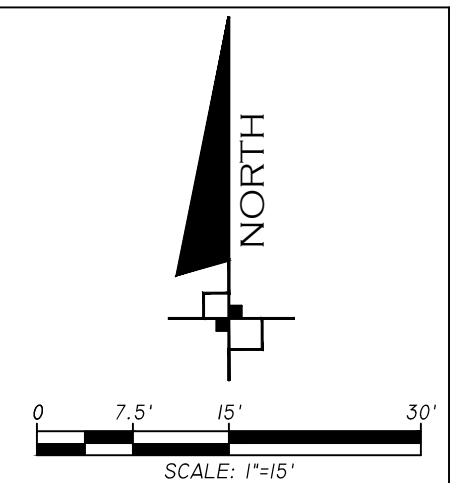
SCALE: AS SHOWN

MR. JAMES F. WADDELL, P.E.
PE NO.: 46019
DATE: 6/24/21

SHEET
C5.0



2015 CENTRE POINTE BLVD.
SUITE 103
TALLAHASSEE, FLORIDA
32303
PHONE 850.298.4213
WWW.INOVIAGROUP.COM
CA8225



NO.	BY	REVISIONS	DATE

CLIENT **MJM CARRABELLE, LLC**
PROJECT **VILLAS ADDITION AT ST. JAMES BAY**
SHEET **GRADING & DRAINAGE PLAN**

PLAN RELEASE STATUS

- PROGRESS PRINT
- PERMIT RELEASE
- BID RELEASE
- CONSTRUCTION RELEASE

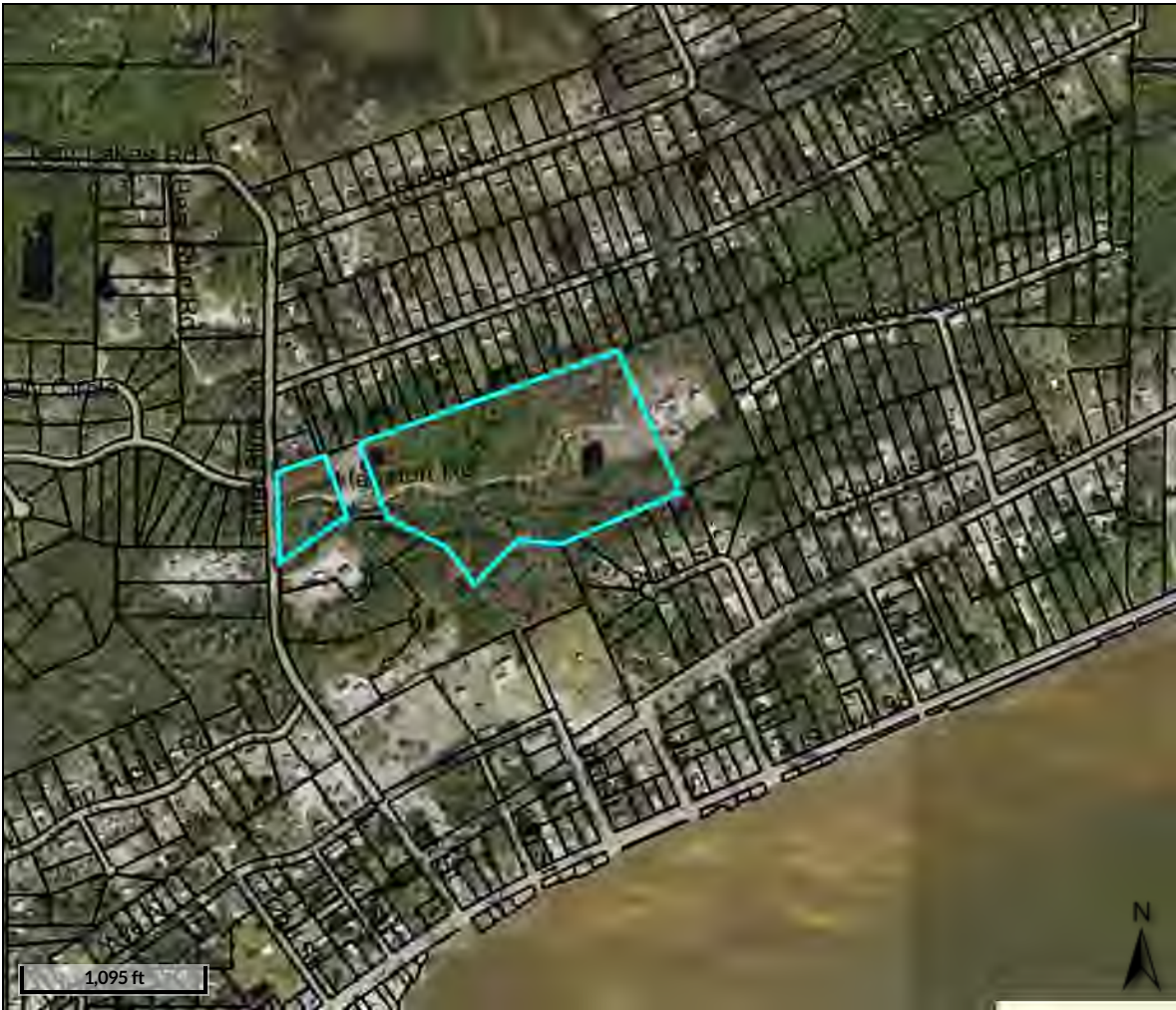
RELEASE DATE: 24 JUN 21

INITIAL	DATE
DRAWN BY JFW	6/24/21
CHECKED BY JFW	6/24/21

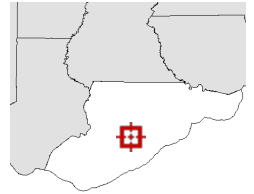
SCALE: AS SHOWN

MR. JAMES F. WADDELL, P.E.
PE NO.: 46019
DATE: 6/24/21

SHEET
C6.0



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	29-08S-06W-0000-0015-0000	Alternate ID	06W08S29000000150000	Owner Address	LMB PROPERTIES PARTNERSHIP LTD
Sec/Twp/Rng	--	Class	VACANT		240 EAST EAST 3RD STREET
Property Address	116 OTTER SLIDE RD	Acreage	34.36		ST GEORGE ISLAND, FL 32328
	EASTPOINT				
District	1				
Brief Tax Description	A PARCEL CONAINING 34.36 AC ML				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 7/8/2021
 Last Data Uploaded: 7/8/2021 7:44:04 AM

Developed by  **Schneider**
 GEOSPATIAL

Parcel Summary

Parcel ID: 29-08S-06W-0000-0015-0000
 Location Address: 116 OTTER SLIDE RD
 EASTPOINT 32328
 Brief Tax Description*: A PARCEL CONTAINING 34.36 AC ML 642/213 SOLD 10 ACRES TO SHADETREE SOLD 2 ACRES TO LUBERTO 732/552 1002/725 1083/722 1284/86
 *The Description above is not to be used on legal documents.
 Property Use Code: VACANT (000000)
 Sec/Twp/Rng: --
 Tax District: County (District 1)
 Millage Rate: 11.2322
 Acreage: 34.360
 Homestead: N

[View Map](#)

Owner Information

Primary Owner
 Lmb Properties Partnership Ltd
 240 East East 3rd Street
 St George Island, FL 32328

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000000	VAC RES	34.36	AC	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	11/02/2020	\$320,000	WD	1284	86	Qualified (Q)	Vacant	3 J'S LAND DEVELOPMENT A FL GENERAL PRTSHIPH	LMB PROPERTIES PARTNERSHIP LTD
N	01/12/2013	\$100	QC	1083	722	Unqualified (U)	Vacant	3 J'S LAND DEVEL A DISOLVED FL LIMITED PRTSH	3 J'S LAND DEVELOPMENT A FL GENERAL PRTSHIP
N	12/23/2009	\$100	WD	1002	725	Unqualified (U)	Vacant	JAMES H MILLER (ETAL)	3 J'S LAND DEVELOPMENT
N	06/23/2000	\$125,000	WD	642	213	Unqualified (U)	Vacant	APAC-ALABAMA INC	JAMES H MILLER

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$171,800	\$292,060	\$292,060	\$292,060	\$292,060
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$171,800	\$292,060	\$292,060	\$292,060	\$292,060
Assessed Value	\$171,800	\$292,060	\$292,060	\$292,060	\$283,470
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$171,800	\$292,060	\$292,060	\$292,060	\$283,470
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$8,590

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2020



TRIM Notice 2019



1-9	5095.27	50.77
1-10	4895.27	50.77
1-11	4695.27	50.77
1-12	4495.27	50.77
1-13	4295.27	50.77
1-14	4095.27	50.77
1-15	3895.27	50.77
1-16	3695.27	50.77
1-17	3495.27	50.77
1-18	3295.27	50.77
1-19	3095.27	50.77
1-20	2895.27	50.77



1-9	5095.27	50.77
1-10	4895.27	50.77
1-11	4695.27	50.77
1-12	4495.27	50.77
1-13	4295.27	50.77
1-14	4095.27	50.77
1-15	3895.27	50.77
1-16	3695.27	50.77
1-17	3495.27	50.77
1-18	3295.27	50.77
1-19	3095.27	50.77
1-20	2895.27	50.77

Inst: 0200307181 Date: 01/03/2009 Files: 15152
 Blt Stamp Book: 146.00
 G.C. KROGGER, State Surveyor, County 2, 733 E. 55th St.

(FRIEND)
 PART OF CA
 NOT TO SCALE
 SHOW NOT BE

Heavily wooded tract that the
 the street is shown

OTTER SLIDE ROAD (PRIVATE)
 R/W VARIES

Exhibit "B"

Surveyed by the firm...
 (1)...
 (2)...

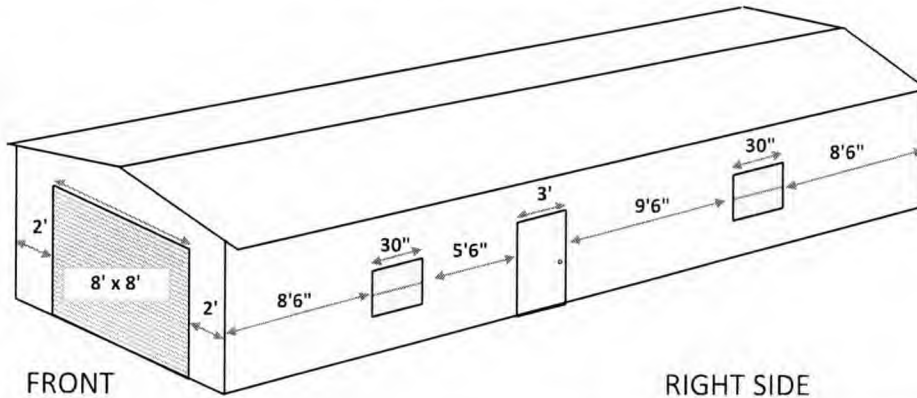
ADDENDUM 1

Confirmation of building specifications and other information

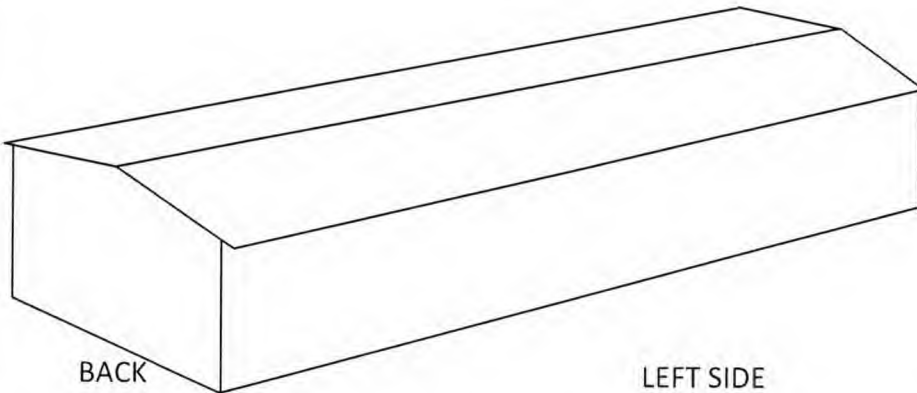


Building Design Specifications

Door and Window Locations



DO NOT ADD ANYTHING OVER THIS BOX.



BEFORE DRAWING OVER THIS BOX: DOES THE SIDE WALL HAVE MORE THAN (1) RUD OPENING OR SIMILAR SIZED HEADER? IF YES, MAKE SURE TO ADD THE BOW/TRUSS NOTE FROM THE ACCESSORIES SHEET. DELETING THIS TEXT WILL ERASE THE RED BORDER.

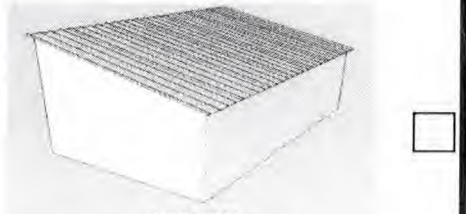
Roof Type



REGULAR



BOXED EAVE

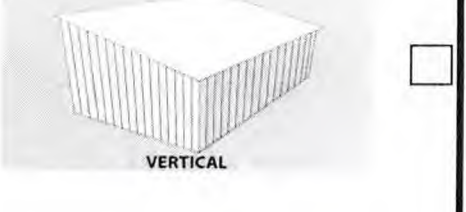


VERTICAL

Side and End Sheeting Type



HORIZONTAL



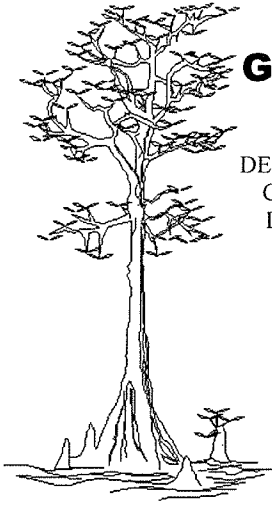
VERTICAL

Note: Obtaining a drainage plan, site survey, site development plan, floor plan and termite treatment are Buyer's responsibility.

*Note: \$0.00 Document & Permit Pull fees have NOT yet been paid by buyer will be collected prior to drawings being ordered from engineer and permit being pulled.

Signed _____

Date _____



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS • CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE MARINA, DOCK, AND SUBDIVISION DESIGN

June 23, 2021

Ms. Cortni Bankston
Franklin County Planning & Zoning
33 Commerce Street
Apalachicola, FL 32320

Re: Planning and Zoning Agenda
GEA File #21-064
Casey Meeks

Request to Amend an Existing Ordinance

The following is a request to amend an existing ordinance. The original ordinance is question is 2000-28, which created a 378-acre multi-use golf course community called St. James Bay.

“The St James Bay Development Order under FINDING OF FACTS states,

2. The ADA proposes the development of 575 residential dwelling units, and 18-hole golf course, 210,000 square feet of commercial space on 20.82 acres, and a Homeowners Bay Recreation Facility, on a total of 378 acres.”

The proposed amendment is concerning the area designated Commercial at the southern extent of the St James PUD. Exhibit A illustrates the area designated as commercial. The current verbiage is very vague about what is allowed in this commercial space besides a 210,000 square ft commercial space.

Below is a draft of the proposed amendment.

WHEREAS, Franklin County adopted ordinance 2000-28, which created a 378-acre multi-use golf course community called St. James Bay; and

WHEREAS, the St. James Bay Planned Unit Development is a mixed-use residential project with a proposed density of just 1.6 units per acre and a maximum of 575 residential units; and,

WHEREAS, the developer has proposed an amendment to ordinance 2000-28 which provides for allowing a Recreational Vehicle (RV) Park within the area designated as Commercial Space; and,

WHEREAS, the proposed amendment allowing up to **XXX RV Units** is consistent with the policies and goals of the Franklin County Comprehensive Plan; and,

WHEREAS, it is the intent of Franklin County that Ordinance 2000-28 shall remain in full force and effect, except to the extent that it is modified to create an additional RV Park; and,

NOW THEREFORE BE IT ORDAINED BY THE COUNTY COMMISSION OF FRANKLIN COUNTY, FLORIDA;


The master Development Plan, incorporated as “Exhibit B” in Ordinance 2000-28, is amended to show the incorporation of an RV Park, as shown in the attachment Exhibit A.

Section 4 of Ordinance 2000-28 is amended to state:

Permitted uses, structures, and densities shall be as established in the DRI Order, Ordinance 2000-28 and the approved site plan. The approved uses will include an additional RV Park. Densities in any use category may not be increased above the density approved when this ordinance becomes effective.

This ordinance shall become effective as provided by law.

Sincerely,



Kevin Burdette, PhD
Garlick Environmental Associates, Inc.

Attachments

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P.O. BOX 385, APALACHICOLA FLORIDA 32329-0385

OFFICE 850.653.8899

FAX 850.653.9656

garlick@garlickenv.com



APPLICANT/CLIENT: Casey Meeks

JOB: 21-064

WATERBODY/CLASS:

DEP:

PURPOSE: DFA

COE:

PROJECT LOCATION/USGS:

OTHER: St James PUD

LATITUDE:

DATE: June 23, 2021

LONGITUDE:

SHEET: 1/1

SECTION: 5

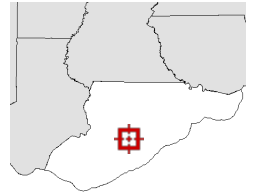
TWNSHIP: 7 South

RNG: 3 West





Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	36-08S-07W-0000-0220-0000	Alternate ID	07W08S36000002200000	Owner Address	SEA-CURED STORAGE LLC
Sec/Twp/Rng	36-8S-7W	Class	VACANT		736 DRIFTWOOD DR
Property Address		Acreage	5.9		LYNN HAVEN, FL 32444

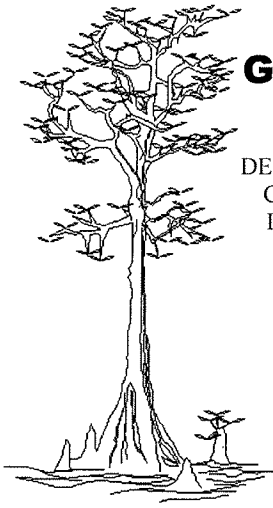
EASTPOINT

District 5
Brief Tax Description 5.9 AC M/L IN SEC 36-08S-07W

(Note: Not to be used on legal documents)

Date created: 7/8/2021
 Last Data Uploaded: 7/8/2021 7:44:04 AM

Developed by  **Schneider**
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GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL
DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS •
CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL
LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE
MARINA, DOCK, AND SUBDIVISION DESIGN

June 16, 2021

Ms Cortni Bankston
Franklin County Planning & Zoning
33 Commerce Street
Apalachicola, FL 32320

Re: Planning and Zoning Agenda
GEA File No. 21-177
Sea-Cured Storage, LLC

Dear Ms. Cortni Bankston:

Please find attached an Application for Re-Zoning & Land Use Change for the referenced project. The current Zoning of the parcel is C-2, Commercial Business District. We are requesting the Zoning be change to R-7, Multi- Family.

Please find attach a copy of the Property Appraiser's sheet indicating ownership of the parcel, which is owned by Sea-Cured Storage, LLC.

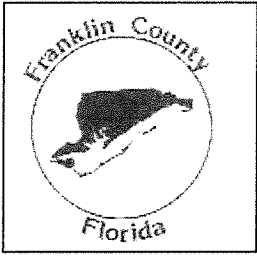
If you have any questions, please let us know.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kevin Burdette'. The signature is stylized and written in cursive.

Kevin Burdette, Project Manager
Garlick Environmental Associates, Inc.

Attachments



APPLICATION FOR RE-ZONING & LAND USE CHANGE

FRANKLIN COUNTY BUILDING DEPARTMENT
34 Forbes Street, Suite 1, Apalachicola, Florida 32320
Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PROPERTY OWNER'S NAME: Seacured Storage LLC
MAILING ADDRESS: 736 Driftwood Drive City/State/Zip: Lynn Haven, FL 32444
PHONE #: 850-527-2330 CELL #: _____ EMAIL: _____

AGENT'S NAME: Dan Garlick
MAILING ADDRESS: Post Office Box 385 City/State/Zip: Apalachicola, FL 32329
PHONE #: 850-653-8899 CELL #: 850-899-5252 EMAIL: dan@garlickenv.com

PROPERTY DESCRIPTION: 911 Address: U.S. Highway 98 Eastpoint
Lot/s: _____ Block: _____ Subdivision: _____ Unit: _____
Parcel Identification #: 36-08S-07W-0000-0220-0000 (Sec 36-8B-7W)

JURISDICTION: Franklin County
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

ACREAGE: 5.9

CURRENT ZONING: C-2 CURRENT LAND USE: (vacant) Commercial Business Dist.
REQUESTED ZONING: R-7 REQUESTED LAND USE: Multi-Family

LEGAL DESCRIPTION OF THE PROPERTY: (Must Attach Legal Description)

PLANNING & ZONING DATE: _____

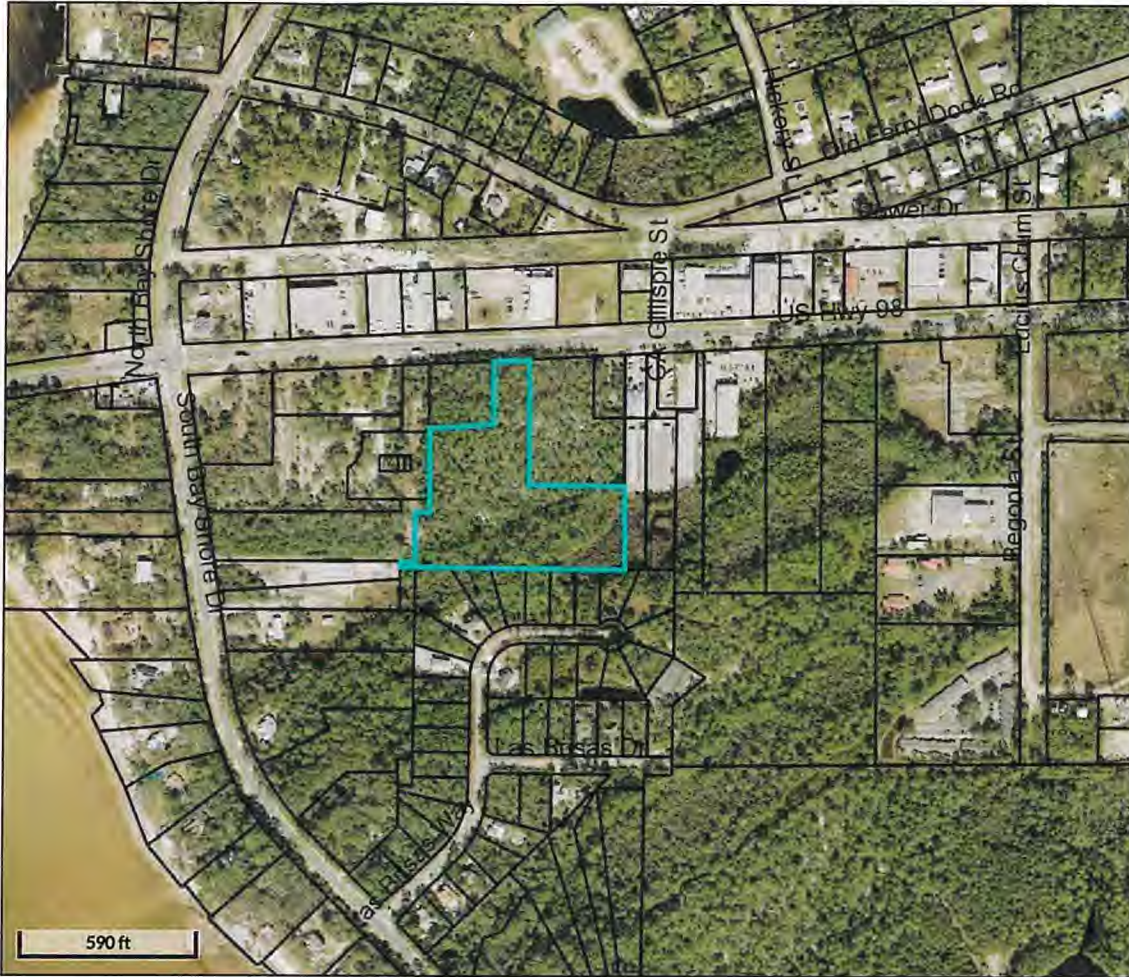
RECOMMENDED APPROVAL: _____ RECOMMENDED DENIAL: _____ RECOMMENDED TO TABLE: _____
CONDITIONS: _____

BOARD OF COUNTY DATE: _____
RECOMMENDED APPROVAL: _____ RECOMMENDED DENIAL: _____ RECOMMENDED TO TABLE: _____
CONDITIONS: _____

PUBLIC HEARING DATE: _____
 APPROVED DENIED TABLED
CONDITIONS: _____

Instructions: Complete application, including proof of ownership in the form of deed, detailed description of request including any necessary information supporting request (site plan/survey) and application fee of \$150.00 for Re-Zoning and \$150.00 for Land Use Change. Return to the following address:




Franklin County
34 Forbes Street, Suite 1
Apalachicola, FL 32320



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	36-085-07W-0000-0220-0000	Alternate ID	07W08S36000002200000	Owner Address	SEA-CURED STORAGE LLC
Sec/Twp/Rng	36-85-7W	Class	VACANT		736 DRIFTWOOD DR
Property Address		Acreage	5.9		LYNN HAVEN, FL 32444
	EASTPOINT				
District	5				
Brief Tax Description	5.9 AC M/L IN SEC 36-085-07W				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 5/27/2021
 Last Data Uploaded: 5/27/2021 7:46:28 AM

Developed by  **Schneider**
 GEOSPATIAL

Parcel Summary

Parcel ID 36-085-07W-0000-0220-0000
 Location
 Address EASTPOINT 32328
 Brief 5.9 AC M/L IN SEC 36-085-07W OR 2/89 25/21 98/51 139/499 183/541 190/383 444/156 446/308 505/140 527/182-97 553/271-82 563/424 565/169
 Tax Description* 569/645-649 572/207 927/15 1246/344 (L/E 1274/484) (L/E 1274/486) (L/E 1289/704)
*The Description above is not to be used on legal documents.
 Property Use Code VACANT (000000)
 Sec/Twp/Rng 36-85-7W
 Tax District East Point (District 5)
 Millage Rate 14.2322
 Acreage 5.900
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Sea-Cured Storage LLC
 736 Driftwood Dr
 Lynn Haven, FL 32444

Land Information

Code	Land Use	Number of Units	Frontage	Depth
000016	EP C W IS DR	116.00	0	0
000000	VAC RES	5.34	0	0

Sales

Multi Parcel	Sale Date	Sale Price
N	06/29/2019	\$464,500
N	02/05/2007	\$100
N	03/10/1994	\$88,200

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified
Building Value	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0
Land Value	\$164,659	\$218,280	\$146,461	\$146,461
Land Agricultural Value	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0
Just (Market) Value	\$164,659	\$218,280	\$146,461	\$146,461
Assessed Value	\$164,659	\$161,107	\$146,461	\$146,461
Exempt Value	\$0	\$0	\$0	\$0
Taxable Value	\$164,659	\$161,107	\$146,461	\$146,461
Maximum Save Our Homes Portability	\$0	\$57,173	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2020



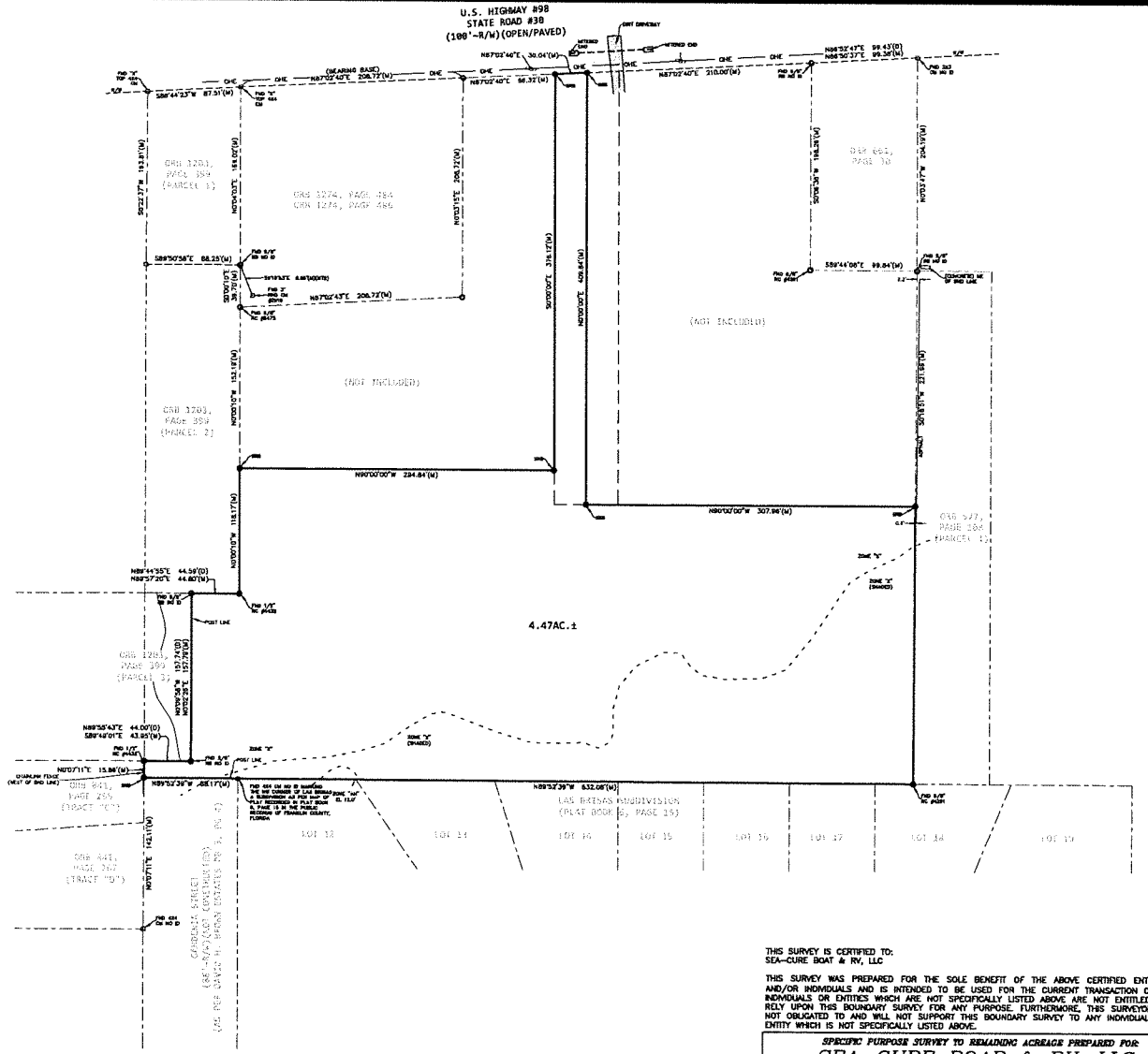
TRIM Notice 2019



No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

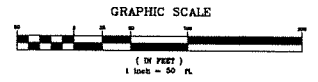
NOTES:

- No improvements were located in this survey other than those shown hereon.
- No underground encroachments, utilities or foundations were located in this survey.
- All measurements shown hereon are Standard U.S. Survey Feet, and decimals thereof.
- As acc'd from Flood Insurance Rate Map for Franklin County, Florida, Community-Panel Number 12237C 0532 F; Date of Firm Index: February 5, 2014. This Property is located in Zone "X".
- The use of this survey is limited to the specific transaction shown hereon.
- Subject to zoning setbacks, easements and restrictions of record.
- Adjoining deeds of record were not provided to this firm.
- No wetland were located on this survey.
- Bearings shown hereon are based on the center line bearing of State Road #30 as shown on the Florida Department of Transportation Maintenance Map, Section 49010, dated March 15, 2001.
- The parcel shown hereon is a division of a larger parent parcel. It is possible that there are local zoning and/or subdivision requirements that could pertain to said division.
- THIS IS NOT A BOUNDARY SURVEY.**



EDWIN BROWN & ASSOCIATES
SURVEYORS * MAPPERS
 (850) 926-3016 888-433-4436 FAX (850) 926-8180
 P.O. Box 625 2813 Crawfordville Hwy. Crawfordville, FL 32326

- LEGEND**
- FND - FOUND
 - BND - BOUNDARY
 - OHE- OVERHEAD ELECTRIC LINE
 - T - TOWNSHIP
 - R - RANGE
 - N - NORTH
 - S - SOUTH
 - E - EAST
 - W - WEST
 - ⊙ - CALCULATED POINT
 - RND - ROUND
 - (TYP) - TYPICAL
 - ⊕ - TYPICAL POLE
 - ⊙ - SRB 5/8" #475
 - RB - RE-BAR
 - ORB - OFFICIAL RECORDS BOOK
 - CM - CONCRETE MONUMENT
 - POB - POINT OF BEGINNING
 - POC - POINT OF COMMENCEMENT
 - SRB - SET 5/8" RE-BAR #475
 - EL - ELEVATION
 - D - DEED
 - M - MEASURED
 - R/W - RIGHT OF WAY
 - RC - ROD AND CAP
 - RP - IRON PIPE
 - - FND CONCRETE MONUMENT
 - - FND MONUMENTATION
 - ID - IDENTIFICATION
 - NTS - NOT TO SCALE



The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

WADE G. BROWN
 Surveyor & Mapper
 Florida Certificate No. 5959
 (LB# 6475)

THIS SURVEY IS CERTIFIED TO:
 SEA-CURE BOAR & RV, LLC

THIS SURVEY WAS PREPARED FOR THE SOLE BENEFIT OF THE ABOVE CERTIFIED ENTITIES AND/OR INDIVIDUALS AND IS INTENDED TO BE USED FOR THE CURRENT TRANSACTION ONLY. INDIVIDUALS OR ENTITIES WHICH ARE NOT SPECIFICALLY LISTED ABOVE ARE NOT ENTITLED TO RELY UPON THIS BOUNDARY SURVEY FOR ANY PURPOSE. FURTHERMORE, THIS SURVEYOR IS NOT OBLIGATED TO AND WILL NOT SUPPORT THIS BOUNDARY SURVEY TO ANY INDIVIDUAL OR ENTITY WHICH IS NOT SPECIFICALLY LISTED ABOVE.

SPECIFIC PURPOSE SURVEY TO REMAINING ACREAGE PREPARED FOR			
SEA-CURE BOAR & RV, LLC			
PREPARED BY:			
EDWIN G. BROWN AND ASSOCIATES, INC.			
2813 CRAWFORDVILLE HWY. P.O. BOX 625 CRAWFORDVILLE, FL 32326 (850)926-3016			
INSTRUMENT/PAGE	COUNTY: FRANKLIN	DRAWN BY: J.A.	REVIEWED BY: WGB
INSTRUMENT/PAGE	SECTION: 38	SCALE: 1"=50'	CHECKED BY: WGB
INSTRUMENT/PAGE	TOWNSHIP: 8-SOUTH	SURVEY DATE: MAY 06, 2023	
SHEET: 1 OF 1	RANGE: 7-WEST	JOB NUMBER: 2554	
			19-277 REMAIN