



Planning and Zoning Adjustment Board - Regular Meeting

Tuesday, September 14, 2021 at 6:30 pm

34 Forbes Street, COURTHOUSE ANNEX, COMMISSION MEETING ROOM

*****Meeting Information*****

Meeting Information

Effective May 4, 2021, the general public will be allowed in the commission meeting room for meetings. The Planning & Zoning Commission encourages the public to continue the use of Zoom. Those wanting to view or participate virtually during the meeting should use the Zoom log-in/call-in information provided below. There is a link to a list of videos and Getting Started Resources on the main "Agenda and Minutes" webpage for those unfamiliar with Zoom. If you are experiencing issues with Zoom, call (850) 653-9783 option 3 or 2 for assistance.

To join Zoom via computer, use the link <https://us06web.zoom.us/j/87089469967> on the meeting date and time. If you do not have speakers or a microphone on your computer or prefer to call, you can dial in for audio. Call (301) 715-8592 or (312) 626- 6799 or (929) 205-6099 and enter ID number (870 8946 9967#). All attendees are muted by default.

You may address the Commission on an agenda action items for up to three minutes (which may change based on the number of speakers waiting to comment) during the meeting after a motion has been seconded and you are recognized by the Chairman.

Once recognized by the Chairman, if you are on Zoom with a computer or smart device select the 'raise hand' icon. If you have dialed in to the meeting by phone press *9 to raise your hand, then *6 to unmute.

Public engagement is important to us and use of Zoom for public participation

- 1. Call To Order**
- 2. Pledge of Allegiance**
- 3. Approval of Minutes**
 - a. August 10, 2021 Meeting Minutes for Approval**

Building Report

4. August Building Report

Report Dates: August 1st through August 25th

New Homes

Total: 9

Eastpoint - 2

St. George Island - 5

Lanark - 1

St. Theresa - 1

New Mobile Homes

Total: 1

Carrabelle - 1

Critical Shoreline Applications

5. 39 Carousel Terrace

Consideration of a request to construct two dock additions to an existing dock: 108 square foot dock, a 160 square foot terminal platform, a 30 square foot staircase, and one 18 square foot jetski lift. Property is described as Unit 1, Lot 1, 39 Carousel Terrace, Alligator Point, Franklin County, Florida. Request submitted by Gene Strickland, agent for William Hackney, applicant. State Exemption has been received. Application will be contingent upon Federal Permit or Exemption.

Staff review comments: Dock meets all requirements, just needs to provide Federal Permit or exemption before dock can be permitted

6. 1494 Alligator Drive

Consideration of a request to construct a 300'x4' dock access walkway with a 16'x10' Terminus to an existing deck. Property is described as Block L, Unit 2, Lot 2, Alligator Point, Franklin County, Florida. Request submitted by Salty Dog Construction, agent for Varela & Blair Anderson, applicants. Proposed request will be contingent upon State and Federal Permits.

Staff review comments: Dock meets all requirements, just needs to provide State and Federal Permits or exemption before dock can be permitted

Commercial Site Plan Applications

7. 28 Airport Road

Consideration of a request for site plan review of a new 60'x50' airplane hanger on property described as 28 Airport Road, Apalachicola, Franklin County, Florida. Request submitted by Bob Windolf, Agent for Robert Kasper, applicant.

Ordinance Amendments

8. Franklin County Private Property Rights Comp Plan Amendment

Consideration of a request to amend the Franklin County Private Rights Comp Plan.
Request submitted by Mark Curenton, Agent for Franklin County, applicant.

Zoning Administrator's Report

Contact: Cortni Bankston (cortnib@franklincountyflorida.com 850-653-9783 ext 180) | Agenda
published on 08/30/2021 at 1:51 PM

Planning and Zoning Adjustment Board – Regular Meeting

Tuesday, August 10, 2021 at 6:30 pm

MEETING MINUTES

Members Present:

Mitch Griner, Alex Skovronsky, Ben Houston, Joey Taranto, James Morris, Michael Shuler – County Attorney, Mark Curenton – County Planner, & Cortni Bankston – Zoning Administrator.

1. Call To Order – 6:30PM

2. Pledge of Allegiance

3. Organizational Vote

The following is the make-up of the new Planning & Zoning Adjustment Board:

James Morris (District 1)

Ben Houston (District 2)

Mitch Griner - Chairman (District 3)

Vacant (District 4)

Jerry Jackson (District 5)

Alex Skovronsky - Vice Chairman (At Large)

David Duncan (At Large)

Joey Taranto (Alternate)

Tony Shiver (Alternate)

Board Action: To accept Board Members as presented.

Motion to approve by Alex Skovronsky. Seconded by Ben Houston. All 5 members in favor. None opposed. Motion Carries.

4. Approval of Minutes

a. June 9, 2021 BOA Meeting Minutes for approval

Motion to approve by Alex Skovronsky. Seconded by Joey Taranto. All 5 members in favor. None opposed. Motion Carries.

b. July 27, 2021 P&Z Meeting Minutes for approval

Motion to approve by Ben Houston. Seconded by Alex Skovronsky. All 5 members in favor. None opposed. Motion Carries.

Building Report

5. June Monthly Building Report

New Homes

Total: 8

Eastpoint - 2

Carrabelle - 1

Alligator Point - 1

St. George Island - 3
St. James – 1

Mobile Homes

Total: 1

Eastpoint - 1

Motion to approve by Joey Taranto. Seconded by James Morris. All 5 members in favor. None opposed. Motion Carries.

6. July Monthly Building Report

New Homes

Total: 11

Lanark - 1

Apalachicola - 2

Eastpoint - 2

St. George Island - 2

Carrabelle - 3

Alligator Point – 1

Mobile Homes

Total: 3

Lanark - 1

Apalachicola - 1

Eastpoint – 1

Motion to approve by Joey Taranto. Seconded by James Morris. All 5 members in favor. None opposed. Motion Carries.

Variance Requests

7. 355 Bruce Street

Consideration of a request for a variance to construct a house (footprint 1458 Sq feet) 18' into the Critical Habitat Zone setback and 3' into the front setback. Applicant is also requesting a variance to construct a swimming pool 38 feet into the Critical Habitat Zone setback requirement. Property is described as 355 Bruce Street, Block 57, Lot 1, Unit 5, St. George Island, Franklin County, Florida. Request submitted by Billy G. Blackburn, Applicant.

Applicant verbally removes pool from application request. Motion to deny by Ben Houston. Seconded by Joey Taranto. All 5 members in favor. None opposed. Motion Carries.

8. 219 West Gorrie Drive

Consideration of a request for a variance to construct a 15' x 50' Storage Building 5.5 feet into the 10-foot left and right-side setbacks. Property is described as 219 West Gorrie, West Block 9, Lot 11, Unit 1, St. George Island, Franklin County, Florida. Request submitted by Calvin Dunn, agent for Gary Rhinehart, applicant.

Motion to approve by Ben Houston. Seconded by Alex Skovronsky. All 5 members in favor. None opposed. Motion Carries.

Critical Shoreline Applications

9. 1490 Alligator Drive

Consideration of a request to construct a 350'x4' Single Family Dock with a 26'x6' Terminus Platform and a 40'x14' Covered Boat Lift. Property is described as Block L, Unit 2, Lot 4 Penn Point, Alligator Point, Franklin County, Florida. Request submitted by Garlick Environmental Associates, Agent for Jay Briland, applicant. Proposed request will be contingent upon State and Federal Permits.

Motion to approve contingent upon State and Federal Permits by Alex Skovronsky. Seconded by Ben Houston. All 5 members in favor. None opposed. Motion carries.

10. 1494 Alligator Drive

Consideration of a request to construct a 300'x4' dock access walkway with a 16'x10' Terminus to an existing deck. Property is described as Block L, Unit 2, Lot 2, Alligator Point, Franklin County, Florida. Request submitted by Salty Dog Construction, agent for Varela & Blair Anderson, applicants. Proposed request will be contingent upon State and Federal Permits.

Motion to table due to lack of agent or applicant present by Ben Houston. Seconded by Alex Skovronsky. All 5 members in favor. None opposed. Motion carries.

Commercial Site Plan Review

11. 2118 Highway 98

Consideration of a request for Commercial site plan review of an RV Park on property described as 2118 Highway 98, Lanark Village, Franklin County, Florida. Request submitted by Garlick Environmental Associates, agent for Team Golson Motorsports, Inc, applicant.

Motion to deny made by Joey Taranto. Seconded by Alex Skovronsky. All 5 members in favor. None opposed. Motion Carries.

Board Discussion: Member Joey Taranto brought up erosion once trees are removed. Member Alex Skovronsky had reservations about consistency of site plan

Ordinance Amendment Applications

12. St. James Bay PUD

Consideration of a request to amend verbiage for the current St. James Bay PUD to include 'RV Park' as a usage in the description of the commercial space. Request submitted by Garlick Environmental Associates, agent for Casey Meeks, applicant.

Agent requested application be removed from agenda until later date.

Re-Zoning & Land Use Change Applications

13. 780 Hickory Hammock Road

Consideration of a request for Public Hearing to re-zone a 38.54 acre parcel lying in Section 25, Township 6 South, Range 4 West, property address described as 780 Hickory Hammock Road, Carrabelle, Franklin County, Florida from A-2 Forestry Agriculture to R-6 Rural Residential District. Request submitted by Wanda Rose, agent for Al Byrne and Mary Lynn Mathre, applicants.

Motion to approve to go for Public Hearing by James Morris. Seconded by Ben Houston. All 5 members in favor. None opposed. Motion carries.

Zoning Administrator Report

12. Proposed Franklin County Comp Plan Amendment

This is a proposed amendment to the Franklin County Comprehensive Plan. Commission Board will not be asked to vote on this proposed plan until September Board Meeting.

Motion to table for final proposed amendment by Alex Skovronsky. Seconded by Ben Houston. All 5 members in favor. None opposed. Motion carries.

Meeting adjourned @ 7:33PM

Chairman signature / Date

Monthly Building Report



Franklin County

Franklin County Planning & Building Department
 34 Forbes Street, Suite 1, Apalachicola, FL 32320
 Phone (850) 653-9783 Fax (850) 653-9799

PowerLine
 Building Permit
 Software

Date range: 8/1/2021 to 8/31/2021

Total Number of Permits: 63

Total Fees Collected: \$33108.92

Date	Permit	Property Owner	Development	Location	Street Address	Cost	Fee
08/02/2021	30826	Kamal Jeffrey A & Elisa B	INSTALL MINISPLIT	UNIT 3 BL A LOT 10	772 WEST GORRIE DRIVE	\$2,500.00	\$89.00
08/02/2021	30827	Kamal Jeffrey A & Elisa B	INSTALL INTERIOR OUTLETS	UNIT 3 BL A LOT 10	772 WEST GORRIE DRIVE	\$0.00	\$100.00
08/02/2021	30828	Barlow Todd	ADDING A COVERED BOAT LIFT TO EXISTING DOCK	UNIT 1 LANARK BEACH BL W LOT 1 154/481 OR/203/515 OR 224/112	2218 HIGHWAY 98 EAST	\$24,800.00	\$496.25
08/02/2021	30829	Lee John A & Suzanne T	DOUBLE WIDE	A PARCEL IN SECTION 13 07S 05W CONTAINING 2.05 AC M/L 627/432 1084/566 1188/457-EASEMENT	497 MILL ROAD	\$238,193.70	\$0.00

08/03/2021	30830	Short David G & Susan M	REPLACE HVAC SYSTEM EQUIPMENT	CLIPPER BAY SUBDIVISION PB 7/24 LOT 4 FKA TRACT 47 686/47 727/639 836/444 1153/326 1153/327 1254/568	1457 CUTTYSHARK WAY	\$7,000.00	\$145.00
08/03/2021	30831	Enemark Peter C- Debellus Barbara Debelius Enemark	METAL RE- ROOF	LANARK VILLAGE UNIT 1 BL 9 LOT 38 239/305 349/62 655/374 672/64	39-1 CARLTON STREET	\$10,500.00	\$201.00
08/05/2021	30832	Dorothy Woolf	Re-Roof	A PARCEL BEING TRACTS 63-C TARPON SHORES UNIT 2	152 Wilderness Road	\$9,400.00	\$187.00
08/05/2021	30833	Nancy Allee	Window Replacement	A PRT OF TRACT 22 BEING 1.02 AC AKA LOT 5	1632 East Gulf Beach Drive	\$12,190.00	\$229.00
08/05/2021	30834	James Winnie C/O Bobby James	RE-ROOF	LOTS 14-15 UN-RECD PL TUCKER	425 AVENUE A	\$8,100.00	\$173.00
08/05/2021	30835	Willis William Mark	SHINGLE RE- ROOF	A PARCEL IN SEC 27 8S 08W A PARCEL BEING 1.97 ACRES M/L 811/582 979/676 AKA LOT 19 UNRECORDED 1245/555	127 DEER PATCH	\$26,700.00	\$416.40
08/05/2021	30836	Slaton Pierce Hastin & Correia Marusya S	METAL RE- ROOF OF THIRD STORY ONLY	LOT 52 PELICAN BCH VILL	2008 WELK COURT EAST	\$14,200.00	\$257.00
08/06/2021	30837	Cannon Dean	TO CONSTRUCT A NEW SINGLE FAMILY RESIDENCE	A PARCEL IN SECTION 29-06S-02W BEING 59.28 AND EXTENDING TO TO GULF	4304 1/2 HIGHWAY 98	\$850,000.00	\$3,323.35
08/06/2021	30838	Cannon Dean	DETACHED GARAGE	A PARCEL IN SECTION 29-06S-02W BEING 59.28 AND EXTENDING TO TO GULF OR/563/368 565/773	4304.5 HIGHWAY 98	\$65,000.00	\$922.75
08/06/2021	30839	Parke William G	REPLACEMENT POWER POLE FOR MOBILE HOME	50 X 155 FT	22 GIBSON ROAD	\$0.00	\$100.00

08/06/2021	30840	Mcloud Michael B & Silvia A	METER UPGRADE	UNIT 1 BL U LOT 4	2312 HIGHWAY 98 EAST	\$0.00	\$100.00
08/09/2021	30841	Davis William T & Loretta M	TO CONSTRUCT A NEW SINGLE FAMILY HOME	UNIT 1 BL P LOT 27	131 ILLINOIS STREET	\$209,400.00	\$1,281.33
08/09/2021	30842	Gulf Beach Drive,LLC	RE-WIRE, RE-PLUMB, INSTALL NEW HVAC SYSTEM, REPAIR EXISTING DECK	UNIT 3 BL H LOT 3 1283/432 1297/495	916 WEST GULF BEACH DRIVE	\$55,790.00	\$678.98
08/10/2021	30843	Thornburg Michael L & Dorothy	INSTALL EXTERIOR CARGO LIFT	LOT 28 SHELL HARBOUR	1827 EAST GULF BEACH DRIVE	\$9,662.90	\$233.75
08/11/2021	30844	Chisholm Terrell & Tracy West	POLE BARN	20 ACRES M/L LYING IN SEC 24-06S-04W	574 CLARKS LANDING	\$8,200.00	\$216.25
08/11/2021	30845	Hosford Thomas D & Colleen	WINDOW REPLACEMENT	LOTS 40 BRE INC OR/135/300	1462 ALLIGATOR DRIVE	\$1,139.00	\$75.00
08/11/2021	30846	Thornberry Marcia Deeb & Robert L	REPLACING 20 WINDOWS, AND A SLIDING GLASS DOOR	A PORTION OF PENN POINT UNIT 5 BLOCK R LOT 5 ALSO A PORTION OF LOT 6 ALSO A PORTION OF PENN POINT UNIT 3 BLOCK M LOT 1	1541 ALLIGATOR DRIVE	\$14,640.00	\$257.00
08/11/2021	30847	LA Floridita, LLC	TO CONSTRUCT A GARAGE	SUMMER CAMP WEST PHASE 1B LOT 91 PB 9/26-47 1197/175 1236/483 1276/394	304 Pine Grove Way	\$198,702.00	\$1,861.55
08/12/2021	30848	Johnson Tony M & Wanda L	METAL ROOF OVER	UNIT 1 BL 6 LOT 56	30-6 HEFFERNAN AVENUE	\$6,200.00	\$145.00

08/12/2021	30849	Orciani Jared & Amy	SINGLE FAMILY DOCK	LOT 7 INDIAN BAY VILL	1927 INDIAN HARBOR ROAD	\$6,500.00	\$181.00
08/13/2021	30850	Reiter Elizabeth	REPLACEMENT POWER POLE FOR MOBILE HOME	UNIT 1 BL L LOTS 15 16 17 18 762/181 838/613 987/753 1020/484 1046/468 1066/755 1125/65	106 FLORIDA STREET	\$0.00	\$100.00
08/13/2021	30851	St George Bluff, LLC	New Single Family Dwelling	ST GEORGES BLUFF LOT 5 PB 9/24 1012/298 1169/547	1694 ST GEORGES COURT	\$177,973.54	\$1,766.56
08/13/2021	30852	St George Bluff, LLC	New Single Family Residence	ST GEORGES BLUFF LOT 6 PB 9/24 1012/298 1169/547	1696 St Georges Court	\$177,973.54	\$1,766.56
08/13/2021	30853	St George Bluff, LLC	NEW SINGLE FAMILY RESIDENCE	ST GEORGES BLUFF LOT 20 PB 9/24 1012/298 1169/547	1699 ST GEORGES COURT	\$159,866.33	\$1,645.26
08/13/2021	30854	William Bryan & Dawn M. Hanson	Replace Five Gang Meter Socket (Electrical Upgrade)	PELICAN BAY TOWNHOUSE RESORT BLOCK A LOT 5 LOTS 46 & 47 NORTH OF THE ROAD ALLIGATOR POINT OR 747/589 1164/132	1684 Alligator Drive #3015	\$6,120.00	\$100.00
08/13/2021	30855	Edp Investment Company, LLC	Replace Five Gang Meter Socket (Meter Upgrade)	PELICAN BAY TOWNHOUSE RESORT BLOCK A LOT 1 LOTS 46 & 47 NORTH OF THE ROAD ALLIGATOR POINT 1001/700	1648 Alligator Drive # 311	\$6,120.00	\$100.00
08/13/2021	30856	Everall D Perkins As Trustee Of Revocable Trust	Replace Five Gang Meter Socket (Meter Base Upgrade)	PELICAN BAY TOWNHOUSE RESORT BLOCK A LOT 2 LOTS 46 & 47 NORTH OF THE ROAD ALLIGATOR POINT	1648 Alligator Drive # 312	\$6,120.00	\$100.00

08/13/2021	30857	Carolyn C. Howard	REPLACE FIVE GANG METER SOCKET (METER BASE UPGRADE)	PELICAN BAY TOWNHOUSE RESORT BLOCK A LOT 3 LOTS 46 & 47 NORTH OF THE ROAD ALLIGATOR POINT	1648 ALLIGATOR DRIVE UNIT 313	\$6,120.00	\$100.00
08/13/2021	30858	Cgw, LLC	REPLACE FIVE GANG METER SOCKET	PELICAN BAY TOWNHOUSE RESORT BLOCK A LOT 4 LOTS 46 & 47 NORTH OF THE ROAD ALLIGATOR POINT	1648 ALLIGATOR DR UNIT 314	\$6,120.00	\$100.00
08/13/2021	30859	St George Bluff, LLC	New Single Family Residence	ST GEORGES BLUFF LOT 2 PB 9/24 1012/298 1169/547	1686 St Georges Court	\$159,575.84	\$1,645.26
08/13/2021	30860	Charles & Sherry Buettner	Graceland Shed	UNIT 5 BL 75 LOT 10 996/486 996/488 1243/217 1273/145	808 WEST PINE AVENUE	\$18,904.00	\$391.25
08/13/2021	30861	New Season Developments, LLC	Replace Exterior Siding, Deck Repair	UNIT 3 BL K LOT 7	749 West Gulf Beach Drive	\$42,447.00	\$571.60
08/17/2021	30862	Mcallister Jutta E	METER BASE REPLACEMENT	A PARCEL KNOWN AS TRACT 3 A LOT 3-A TRACT 9 IN SEC. 27- 08S-08W CONTAINING 1.00 ACRES M/L OR/681/617	243 QUAIL TRAIL	\$0.00	\$100.00
08/17/2021	30863	Jenks Jimmy & Janet	DEMO EXISTING MOBILE HOME TO HAVE REPLACEMENT MOBILE HOME INSTALLED	UNIT 1 BL F LOTS 3 & 4 INC LANARK BEACH 565/192 612/481 1053/670 1089/67 1089/69 1093/480 1093/486	2236 KENTUCKY AVENUE	\$0.00	\$100.00
08/17/2021	30864	Sgi Real Estate Inc	CLEAR AND GRADE	UNIT 1 BL 6E LOT 5 ST GEORGE ISLAND ORB 184 PAGE 481	45 EAST GULF BEACH DRIVE	\$0.00	\$100.00
08/18/2021	30865	Parish Edward J & Sarawanee	METER BASE UPGRADE	LOT 14 1.00 AC 102.23X . 100.09X106.58X332.67X100.00 X332.67 SEA PALM VILLAGE	1452 BAYBERRY LANE	\$0.00	\$100.00

08/18/2021	30866	Shirley Haley James	Roof Mounted Solar PV Installation	LOT 5 SHELL HARBOUR 526.17X100X511.04X73.55X28.51 169/483 170/136 282/106 282/107 725/762 1046/378 1250/479 1295/14 1295/27	1673 East Gulf Beach Drive	\$34,903.00	\$617.50
08/18/2021	30867	Earl & Linda Dukes	Exterior Lift	FRM POB RUN SE 84.62 TO OLD CO N MON TH SE 41.77 TO OLD CON MON TH NE 50.19 TH NW127.69 TO PT ON S ROW SR 30 PT ALSO BNG ON CRV CONCAVE TO SE TH RUN SW ALG ROW FOR DIST OF 50' TO POB CONT .14 AC M/L KA TRACT 1 AND ALSO FRM POB RUN SE 127.69 TH NE 38.21 TH NE 12.21 TH NW 131 .46 TO PT ON S ROW SR30 PT ALS O BNG ON CRV CONCAVE TO SE TH RUN SW ALG ROW 50' TO POB KA TRACT 2 253/183 296/347 697/748 1102/191 1265/433	2320 East Highway 98	\$22,844.50	\$461.25
08/19/2021	30868	JINGOLI POWER AS LEASE HOLDER (FRANKLIN COUNTY AIRPORT PROPERTY)	TEMPOARY MOBILE OFFICE BUILDING	639.3 AC ALSO 6 AC	1086 BLUFF ROAD	\$0.00	\$125.00
08/19/2021	30869	Boone Tiffany	TO CONSTRUCT A NEW SINGLE FAMILY DWELLING	LOT43 WHISPERING PINS SUB PHASES 3 & 4 PB 7/32 716/713 814/109 1289/102	689 LONGWOOD COURT	\$150,000.00	\$1,820.48
08/19/2021	30870	Boone Tiffany	SITE PREP	LOT43 WHISPERING PINS SUB PHASES 3 & 4 PB 7/32 716/713 814/109 1289/102	689 LONGWOOD COURT	\$0.00	\$100.00
08/20/2021	30871	Camp & Julie Neel	Demolition	UNIT 2 BL I LOT 8 PENN POINT ALSO 22 FT ADJ TO LOT 8	1465 Alligator Drive	\$0.00	\$100.00

08/20/2021	30872	SGI Real Estate INC	Electrical Upgrade	UNIT 1 BL 6E LOT 5 ST GEORGE ISLAND ORB 184 PAGE 481 ORB 279 PAGE 112 312/110 829/660 1127/699	45 East Gulf Beach Drive	\$0.00	\$100.00
08/20/2021	30873	James Shirley Haley	Meter Base Upgrade	LOT 5 SHELL HARBOUR 526.17X100X511.04X73.55X28.51 169/483 170/136 282/106 282/107 725/762 1046/378 1250/479 1295/14 1295/27	1673 GULF BCH DR	\$0.00	\$100.00
08/20/2021	30874	Pam Ward	N/A	lot 1	1065 Brinkley St	\$0.00	\$100.00
08/20/2021	30875	Lewis Kent A & M Karl Hawkins	HVAC Changeout Permit	LOT 26 TREASURE BCH VILL	1912 NAUTILUS DRIVE	\$7,400.00	\$159.00
08/20/2021	30876	Robert Massey	To construct a concrete slab under home	UNIT 1 BL 10 E LOT 45 ST GEO IS	36 East Gorrie Drive	\$5,000.00	\$146.25
08/23/2021	30877	Anthony Dipaola	Driveway Concrete Slab	A PARCEL BEING 203 X 316 LYING NORTH OF HWY ALSO A PARCEL SOUTH OF 98 BEING 203 X 103 PP/174 FF/473 SS/1 603/368 634/419 692/224 694/390 951/256 1229/788 1229/790 1301/154	1911 West Highway 98	\$10,000.00	\$374.00
08/23/2021	30878	Parish Edward J & Sarawanee	Piling Repair	LOT 14 1.00 AC 102.23X . 100.09X106.58X332.67X100.00 X332.67 SEA PALM VILLAGE	1452 Bayberry Lane	\$0.00	\$775.13
08/23/2021	30882	Southern Risk Managers Properties, LLC	Electrical Upgrade	UNIT 3 BL G LOT 22	801 West Gorrie Drive	\$0.00	\$100.00
08/23/2021	30883	Southern Risk Managers Properties, LLC	Upgrade Swimming Pool Electrical	UNIT 3 BL G LOT 22	801 West Gorrie Drive	\$0.00	\$100.00

08/23/2021	30884	Dodd Iris Janet & Dodd Johnie Edward	Replace existing siding with hardy board	UNIT 1 BL 3 LOT 8 SUN-N-SAND	636 Alligator Drive	\$0.00	\$201.00
08/23/2021	30885	Zadakis John	Re-Roof	UNIT 1 BL 13 LOT 201 ALSO 6' X 10' OF LOT 200	93 Fern Way	\$5,950.00	\$131.00
08/23/2021	30886	Chad Gunter Enterprises,LLC & Kph Properties, LLC	Metal Re-Roof	UNIT 5 BL 54 LOT 5	431 MCCLOUD ST	\$28,000.00	\$426.10
08/23/2021	30887	Galloway Heath	siding, plumbing, sheetrock, and flooring repairs	UNIT 2 BL G LOT 8 ST GEORGE ISLAND	756 East Gulf Beach Drive	\$5,000.00	\$117.00
08/24/2021	30888	Wanda Register Nichols	New Single Family Residence	BLK 4 LOT 8	160 North Bayshore Drive	\$0.00	\$1,348.73
08/24/2021	30889	Border William L & Jacqueline	Rail, stair replacement	LOT 25 1.01 AC 100.04X 105.59X332.67X100X332.67X 108.25 SEA PALM VILLAGE	1420 Camellia Court	\$8,900.00	\$216.25
08/24/2021	30890	Sumner Lewis G & Vicki	New Siding	A PARCEL IN TRACT 41 EAST END A.K.A. TRACT "C"	1309 East Gulf Beach Drive	\$0.00	\$542.50
08/24/2021	30891	Caissie Kenneth F & Helen G	New Single Family Residence	LOT 4 PELICAN BCH VILL	2128 Tarpon Lane	\$0.00	\$4,491.63





DOCK PERMIT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT
 34 Forbes Street, Suite 1, Apalachicola, Florida 32320
 Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____

FEE: \$ _____

C.S.I : \$ _____

TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:
 VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:
 ISSUANCE DATE: _____ EXPIRES: _____

EXISTING HOUSE: Yes No

DEP PERMIT: Yes No

ARMY COE PERMIT: Yes No

APPROVED: Yes No

RECEIVED
 AUG 17 2021

APPLICATION MUST BE COMPLETE:

Property Owner/s: William Hackney

Contact Information: Home #: _____ Cell #: 850 710-3289

Mailing Address: 39 Carousel Terrace City/State/Zip: Parola FL 32346

EMAIL Address: williamhackney @ hackneynursery.com

Contractor Name: Gene K Strickland Business Name: Gene K Strickland LLC

Contact Information: Office #: _____ Cell #: 850 528 4992

State License #: CBC 1254312 County Registration #: _____

Mailing Address: 6468 Downhill Rd City/State/Zip: Tallah 71 32311

EMAIL Address: waterhawk1 @ ael.com

PROPERTY DESCRIPTION: 911 Address: 39 Carousel Terrace

Lot/s: _____ Block: _____ Subdivision: _____ Unit: _____

Parcel Identification #: _____

JURISDICTION: Franklin County City of Carrabelle

Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

SINGLE FAMILY DOCK/PIER MULTI-FAMILY DOCK/PIER COMMERCIAL

DESCRIPTION: addition to existing dock

ZONING DISTRICT: _____ CONTRACT COST: 66K

TOTAL SQUARE FOOT: _____ FOUNDATION TYPE: _____

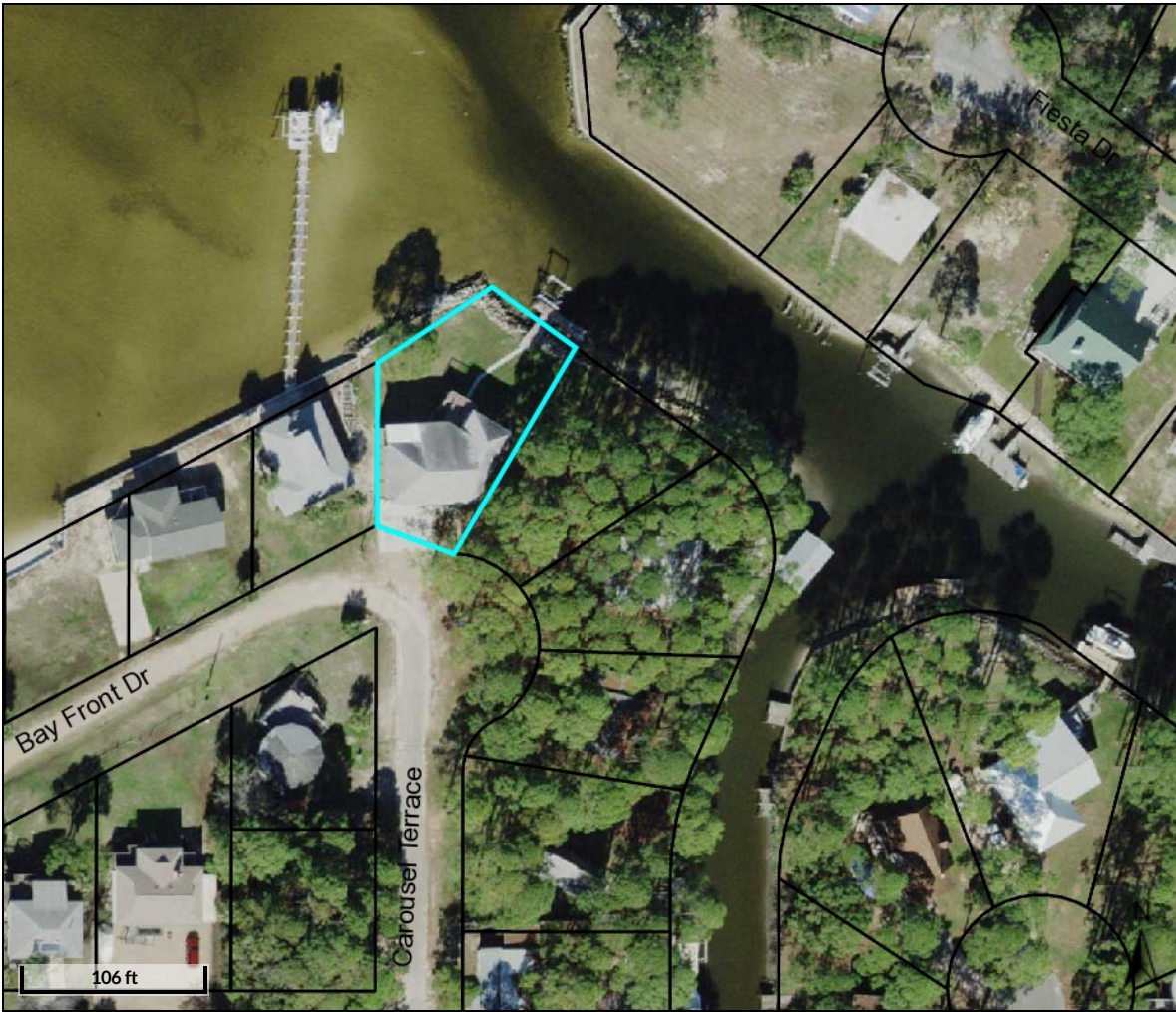
ROOF MATERIAL: _____

APPROVED BY: Planning & Zoning Date: _____ County Commissioners Date: _____

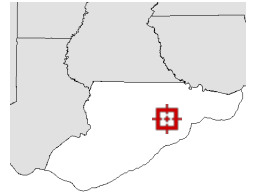
WATER BODY: _____

CRITICAL SHORELINE DISTRICT YES OR NO CRITICAL HABITAT ZONE YES OR NO

BUILDING OFFICIAL Date _____ **OWNER** (Required) Date _____ **CONTRACTOR** (Required) Gene K Strickland Date 8/17/21



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-07S-02W-1031-0000-0010	Alternate ID	02W07S01103100000010	Owner Address	HACKNEY WILLIAM NORDEN
Sec/Twp/Rng	1-7S-2W	Class	SINGLE FAM		AS TRUSTEE
Property Address	39 CAROUSEL TER ALLIGATOR POINT	Acreage	0.377		312 NORTH 9TH ST QUINCY, FL 32351
District	7				
Brief Tax Description	UNIT 1 LOT 1 90/513 142/244				
	(Note: Not to be used on legal documents)				

Date created: 8/25/2021
 Last Data Uploaded: 8/25/2021 7:43:31 AM

Developed by  **Schneider**
 GEOSPATIAL



DOCK SITE PLAN, CONSTRUCTION AND LIGHTING AFFIDAVIT

FRANKLIN COUNTY BUILDING DEPARTMENT
34 Forbes Street, Suite 1, Apalachicola, Florida 32320
Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PERMIT

ORDINANCE
No. 2004-17
Dock Ordinance

DOCK CONSTRUCTION STANDARDS & LIGHTING AFFIDAVIT

APPLICATION MUST BE COMPLETE: (We will no longer accept incomplete applications)

Property Owner/s: William Hackney
Contact Information: Home #: _____ Cell #: 850-210-3289
Mailing Address: 39 Carousel Terrace City/State/Zip: Panacea FL 32376
EMAIL Address: williamhackney@hacknynursery.com

PROPERTY DESCRIPTION: 911 Address: 39 Carousel Terrace
Lot/s: _____ Block: _____ Subdivision: _____ Unit: _____
Parcel Identification #: _____

JURISDICTION: Franklin County City of Carrabelle
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

SITE PLAN & CONSTRUCTION STANDARDS:

- I understand that applications for dock or piers must contain a survey prepared by a professional surveyor which indicates riparian rights, unless the dock is built at least 25 feet from existing property lines. INITIAL: GKS
- I understand that Docks built on canals are permitted to be no larger than 25% of the width of the canal including the boat mooring site. INITIAL: GKS
- I understand that the lot must be large enough to accommodate a single-family dwelling; or be a lot separated from the single family dwelling by a right-of-way and owned by the same owner; or the lot may be eligible for a hardship variance from the Board of Adjustment. INITIAL: GKS
- I understand that no dry dock facilities, gasoline or fuel pumps are allowed on a residential lot other than boat lifts connected to a dock. INITIAL: GKS
- I understand that boat ramps may be allowed so long as the property contains adequate size for the parking of trailers on the property. No commercial boat docking or launching allowed. INITIAL: GKS
- I understand that no parking of vehicles is allowed within the Critical Habitat Zone, which is the first 50 feet from mean high water. INITIAL: GKS
- I understand that the lot must be kept in natural vegetation within the Critical Habitat Zone. INITIAL: GKS
- I understand that I must comply with the permitting requirements for all other governmental agencies having jurisdiction over the project. (Evidence of an exemption from such compliance must be furnished by the homeowner before approval can be granted. INITIAL: GKS
- I understand that the dock must be elevated a minimum of five (5) feet above mean high water, except that the terminal platform may be lower at the owner's discretion. This requirement shall not apply to docks running parallel to the shoreline provided they extend no further than 25 feet from the edge of the water. (*This will allow pedestrians to cross under the dock at the water's edge) INITIAL: GKS

- I understand that the dock must be constructed on pilings set a minimum of eight (8) feet apart center to center. INITIAL: GKS
- I understand that no dusk to dawn lights. Must be able to switch off or on by motion detector, or be activated by a 3-way switch. INITIAL: GKS
- I understand that lights limited to one on the terminal platform and one on the landward end of the dock or pier, and one every 100 feet between the terminal platform and the landward end of the dock, except where a hardship exists. INITIAL: GKS
- I understand that all lights must be downward directed and have adequate shielding to prevent light trespass and minimize light pollution from light scatter. INITIAL: GKS
- I understand the type and location of fixtures must be included on a diagram of dock or pier and submitted with permit application. INITIAL: GKS
- I understand that the dock must have amber colored night time reflectors set at a minimum of one at each side in the middle and one at each side of the terminal. INITIAL: GKS

I have read and understood that construction and lighting standards of the Franklin County Dock Ordinance No. 2004-17 and will practice these standards.

Gene K Strickland Aug 17, 2021
Contractor/Owner Signature: Date

Gene K Strickland
Contractor/Owner Printed Name:

State of Florida
County of Franklin

I, Laura A. Hoover, who is personally known or provided the following identification _____, on this day 18th of August, 2021 understand that I have read and understood the above statement and will comply or the Final Certificate of Occupancy will be held up until the above has been documented.

NOTARY: Laura A. Hoover
Laura A Hoover
Printed Name

SEAL:



NOTICE OF COMMENCEMENT

Space Reserved For Recording:

PERMIT # 0401701-001-EE/19 PARCEL ID # _____

STATE OF FLORIDA, COUNTY OF FRANKLIN

The **UNDERSIGNED** hereby gives notice that improvements will be made to certain real property, an in accordance with Chapter 713, Florida Statutes, the following information is provided in the Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY: (Include Street Address)
39 Carousel Terrace Panama, Fl 32346

General Description of Improvements: addition to existing dock

Owner Information or Lessee Information Contracted For The Improvements:

Name: William Hackney Phone Number: 850 210 3289
Address: 39 Carousel Terrace Panama, Fl 32346

Owner's Interest In Site Of The Improvement:

Name & Address Of Fee Simple Titleholder: _____
(If Different From Owner Listed Above): _____

Contractor's Name: Gene K Strickland Phone Number: 850 522 4992
Address: 6462 Downhill Rd Tallahassee, Fl 32311

Surety: (If Applicable, A Copy Of The Payment Bond Is Attached): _____

Name & Address: _____ Amount: \$ _____

Lender Name: _____ Phone Number: _____
Address: _____

PERSONS WITH IN THE STATE OF FLORIDA DESIGNATED BY THE OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED FOR BY FLORIDA STATUTE 713.13(1) (A) 7.

NAME: _____
ADDRESS: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES THE FOLLOWING PERSON(S) TO RECEIVE A COPY OF THE LEINOR'S NOTICE AS PROVIDED IN SECTION 713.13 (1)(B) FLORIDA STATUTES:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT (THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DAT OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED.) _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOBSITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

NOTARY SE



Owner/Agent Signature: Gene K Strickland
Printed Name: Gene K Strickland

Sworn to me this 17th day of August In the year of 20 21

Notary Signature: Laura A Hooper
Printed Name: Laura A Hooper


CONSTRUCTION COMMENCEMENT NOTICE

Instructions: In accordance with Chapter 62-330.350(1)(d), F.A.C., complete and submit this form at least 48 hours prior to commencement of activity authorized by permit.

Permit No. 0401701-001-EE Application No. _____
Project Name Hackney Exemption Phase N/A

Construction of the system authorized by the above referenced Environmental Resource Permit and Application, is expected to commence on 09-15, 2021
and will have an estimated completion date of 12-31, 2021

PLEASE NOTE: If the actual construction commencement date is not known within 30 days of issuance of the permit, District staff should be so notified in writing. As soon as a construction commencement date is known, the permittee shall submit a completed construction commencement notice form.


Permittee's or Authorized Agent's Signature _____ Company _____
William Hackney _____ 07/19/2021
Print Name _____ Title _____ Date _____
williamhackney@hackneynursery.com _____
E-mail _____ Phone Number _____





FLORIDA DEPARTMENT OF Environmental Protection

Northwest District
160 W. Government Street, Suite 308
Pensacola, FL 32502-5740

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Shawn Hamilton
Interim Secretary

June 30, 2021

William Hackney
39 Carousel Ter
Panacea, FL 32346 5140
williamhackney@hackneynursery.com

File No. 0401701-001-EE/19, Franklin County

Dear Mr. Hackney:

On April 6, 2021, we received your request for verification of exemption to perform the following activities:

To construct two dock additions to an existing dock: on the manmade canal a 108 square foot dock, on Alligator Harbor Aquatic Preserve a 160 square foot terminal platform with a 30 square foot staircase and one jet ski lift. The project is within Alligator Harbor Aquatic Preserve and a manmade canal adjacent to the Preserve, Class II Outstanding Florida Waters, Prohibited Shellfish Harvesting Area. The project is located at 39 Carousel Ter, Panacea, Florida 32346, Parcel No. 01-07S-02W-1031-0000-0010, in Section 1, Township 7 South, Range 2 West in Franklin County; 29°54'0.0409" North Latitude, -84°23'15.9920" West Longitude.

Your request has been reviewed to determine whether it qualifies for (1) regulatory exemption, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal approval that may be necessary for work in wetlands or waters of the United States.

Your project qualifies for all three. However, this letter does not relieve you from the responsibility of obtaining other federal, state, or local authorizations that may be required for the activity.

If you change the project from what you submitted, the authorization(s) granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

1. Regulatory Review – Verified

Based on the information submitted, the Department has verified that the activities as proposed are exempt, under Rule 62-330.051(5)(b), Florida Administrative Code (F.A.C.) **and** under Rule 62-330.051(5)(c), F.A.C. from the need to obtain a regulatory permit under Part IV of Chapter 373 of the Florida Statutes.

This exemption verification is based on the information you provided the Department and the statutes and rules in effect when the information was submitted. This verification may not be valid if site conditions materially change, the project design is modified, or the statutes or rules governing the exempt activity are amended. In the event you need to re-verify the exempt status for the activity, a new request and verification fee will be required. Any substantial modifications to the project design should be submitted to the Department for review, as changes may result in a permit being required.

2. Proprietary Review – Granted

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review activities on sovereign submerged lands under Chapters 253 and 258, F.S. and Chapters 18-20 and 18-21, F.A.C.

The activity appears to be located on sovereign submerged lands owned by the Board of Trustees. The activity is not exempt from the need to obtain the applicable proprietary authorization. As staff to the Board of Trustees, the Department has reviewed the activity described above, and has determined that the activity qualifies for an automatic consent by rule under Rule 1821.005(1)(b), F.A.C. and Section 253.77, F.S. to construct and use the activity on the specified sovereign submerged lands, as long as the work performed is located within the boundaries as described herein and is consistent with the terms and conditions herein. No further application is required for this consent by rule.

Special Consent Conditions for Sovereign Submerged Lands Authorization

1. The applicant agrees to indemnify, defend and hold harmless the Board of Trustees and the State of Florida from all claims, actions, lawsuits and demands in any form arising out of the authorization to use sovereignty submerged lands or the applicant’s use and construction of structures on sovereignty submerged lands. This duty to indemnify and hold harmless will include any and all liabilities that are associated with the structure or activity including special assessments or taxes that are now or in the future assessed against the structure or activity during the period of the authorization.

2. Failure by the Board of Trustees to enforce any violation of a provision of the authorization or waiver by the Board of Trustees of any provision of the authorization will not invalidate the provision not enforced or waived, nor will the failure to enforce or a waiver prevent the Board of Trustees from enforcing the unenforced or waived provision in the event of a violation of that provision.

3. Applicant binds itself and its successors and assigns to abide by the provisions and conditions set forth in the authorization. If the applicant or its successors or assigns fails or refuses to comply with the provisions and conditions of the authorization, the authorization may be terminated by the Board of Trustees after written notice to the applicant or its successors or assigns. Upon receipt of such notice, the applicant or its successors or assigns will have thirty (30) days in which to correct the violations. Failure to correct the violations within this period will result in the automatic revocation of this authorization.

4. All costs incurred by the Board of Trustees in enforcing the terms and conditions of the authorization will be paid by the applicant. Any notice required by law will be made by certified mail at the address shown on page one of the authorization. The applicant will notify the Board of Trustees in writing of any change of address at least ten days before the change becomes effective.

5. This authorization does not allow any activity prohibited in a conservation easement or restrictive covenant that prohibits the activity.

General Conditions for Authorizations for Activities on State-Owned Submerged Land

All authorizations granted by rule or in writing under rule 18-21.005, F.A.C., except those for geophysical testing, shall be subject to the general conditions as set forth in paragraphs (a) through (j) below. The general conditions shall be part of all authorizations under this chapter, shall be binding upon the grantee, and shall be enforceable under chapter 253 or 258, part II, F.S.

(a) Authorizations are valid only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use shall constitute a violation. Violation of the authorization shall result in suspension or revocation of the grantee's use of the sovereignty submerged land unless cured to the satisfaction of the Board.

(b) Authorizations convey no title to sovereignty submerged land or water column, nor do they constitute recognition or acknowledgment of any other person's title to such land or water.

(c) Authorizations may be modified, suspended or revoked in accordance with their terms or the remedies provided in sections 253.04 and 258.46, F.S., or chapter 18-14, F.A.C.

(d) Structures or activities shall be constructed and used to avoid or minimize adverse impacts to sovereignty submerged lands and resources.

(e) Construction, use, or operation of the structure or activity shall not adversely affect any species which is endangered, threatened or of special concern, as listed in rules 68A-27.003, 68A-27.004 and 68A-27.005, F.A.C.

(f) Structures or activities shall not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity shall be modified in accordance with the court's decision.

(g) Structures or activities shall not create a navigational hazard.

(h) Activities shall not interfere with the public easement for traditional uses of the sandy beaches provided in section 161.141, F.S.

(i) Structures shall be maintained in a functional condition and shall be repaired or removed if they become dilapidated to such an extent that they are no longer functional. This shall not be construed to prohibit the repair or replacement subject to the provisions of rule 18-21.005, F.A.C., within one year, of a structure damaged in a discrete event such as a storm, flood, accident, or fire.

(j) Structures or activities shall be constructed, operated, and maintained solely for water dependent purposes, or for non-water dependent activities authorized under paragraph 18-21.004(1)(g), F.A.C., or any other applicable law.

3. Federal Review – SPGP Approved– State 404 Not Regulated

Your proposed activity as outlined in your application and attached drawings qualifies for Federal authorization pursuant to the State Programmatic General Permit V-R1, and a **SEPARATE permit** or authorization **will not be required** from the U.S. Army Corps of Engineers (Corps). Please note that the Federal authorization expires on July 26, 2021. However, your authorization may remain in effect for up to 1 additional year, if provisions of Special Condition 19 of the SPGP V-R1 permit instrument are met. You, as permittee, are required to adhere to all General Conditions and Special Conditions that may apply to your project. Special conditions required for your project are attached. A copy of the SPGP V-R1 with all terms and conditions and the General Conditions may be found at <https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

Authority for review - an agreement with the Corps entitled "Coordination Agreement Between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection (or Duly Authorized Designee), State Programmatic General Permit", Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

Additional Information

Please retain this letter. The activities may be inspected by authorized state personnel in the future to ensure compliance with appropriate statutes and administrative codes. If the activities are not in compliance, you may be subject to penalties under Chapter 373, F.S. and Chapter 18-14, F.A.C.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until a subsequent order of the Department. Because the administrative hearing process is designed to formulate final agency action, the subsequent order may modify or take a different position than this action.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@FloridaDEP.gov. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. You cannot justifiably rely on the finality of this decision unless notice of this decision and the right of substantially affected persons to challenge this decision

has been duly published or otherwise provided to all persons substantially affected by the decision. While you are not required to publish notice of this action, you may elect to do so pursuant Rule 62-110.106(10)(a).

The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C. If you do not publish notice of this action, this waiver may not apply to persons who have not received a clear point of entry.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@FloridaDEP.gov, before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S. by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

If you have any questions regarding this matter, please contact Laura Roncal at the letterhead address, at (850)595-0657, or at laura.roncal@FloridaDEP.gov.

EXECUTION AND CLERKING

Executed in Orlando, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



Laura Roncal
Environmental Specialist
Submerged Lands and Environmental Resources Program

Attachments:

- 1. Rule 62-330.051(5)(b), F.A.C. and Rule 62-330.051(5)(c), F.A.C., 2 pages
- 2. Special Conditions for Federal Authorization for SPGP V-R1, 4 pages
- 3. General Conditions for Federal Authorization for SPGP V-R1, 2 pages
- 4. Standard Manatee Conditions for In-Water Work, 2 pages
- 5. Project Drawings, 3 pages

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this document and all attachments were sent on the filing date below to the following listed persons:

Jennifer Waltrip, DEP, jennifer.waltrip@floridadep.gov
Laura Roncal, DEP, laura.roncal@floridadep.gov
Jonathan Brucker, DEP, Jonathan.Brucker@dep.state.fl.us
Ann Lazar, DEP, ann.lazar@floridadep.gov
Elva Peppers, Consultant, elvapeppers@felsi.org
Aaron Sarchet, Consultant, asarchet@felsi.org
Franklin County, michael@franklincountyflorida.com

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to Section 120.52, F.S., with the designated Department Clerk, receipt of which is hereby acknowledged.

	<u>June 30, 2021</u>
Clerk	Date

62-330.051 Exempt Activities.

The activities meeting the limitations and restrictions below are exempt from permitting. However, if located in, on, or over state-owned submerged lands, they are subject to a separate authorization under chapters 253 and 258, F.S., as applicable.

(5) Dock, Pier, Boat Ramp and Other Boating-related Work –

(b) Installation of private docks, piers, and recreational docking facilities, and installation of local governmental piers and recreational docking facilities, in accordance with section 403.813(1)(b), F.S. This includes associated structures such as boat shelters, boat lifts, and roofs, provided:

1. The cumulative square footage of the dock or pier and all associated structures located over wetlands and other surface waters does not exceed the limitations in section 403.813(1)(b), F.S.;
2. No structure is enclosed on more than three sides with walls and doors;
3. Structures are not used for residential habitation or commercial purposes, or storage of materials other than those associated with water dependent recreational use; and
4. Any dock and associated structure shall be the sole dock as measured along the shoreline for a minimum distance of 65 feet, unless the parcel of land or individual lot as platted is less than 65 feet in length along the shoreline, in which case there may be one exempt dock allowed per parcel or lot.

Rulemaking Authority 373.026(7), 373.043, 373.4131, 373.4145, 403.805(1) FS. Law Implemented 373.406, 373.4131, 373.4145, 373.415, 403.813(1) FS. History—New 10-1-13, Amended 6-1-18.

403.813 Permits issued at district centers; exceptions.—

(1) A permit is not required under this chapter, chapter 373, chapter 61-691, Laws of Florida, or chapter 25214 or chapter 25270, 1949, Laws of Florida, for activities associated with the following types of projects; however, except as otherwise provided in this subsection, this subsection does not relieve an applicant from any requirement to obtain permission to use or occupy lands owned by the Board of Trustees of the Internal Improvement Trust Fund or a water management district in its governmental or proprietary capacity or from complying with applicable local pollution control programs authorized under this chapter or other requirements of county and municipal governments:

(b) The installation and repair of mooring pilings and dolphins associated with private docking facilities or piers and the installation of private docks, piers and recreational docking facilities, or piers and recreational docking facilities of local governmental entities when the local governmental entity's activities will not take place in any manatee habitat, any of which docks:

1. Has 500 square feet or less of over-water surface area for a dock which is located in an area designated as Outstanding Florida Waters or 1,000 square feet or less of over-water surface area for a dock which is located in an area which is not designated as Outstanding Florida Waters;
2. Is constructed on or held in place by pilings or is a floating dock which is constructed so as not to involve filling or dredging other than that necessary to install the pilings;
3. Shall not substantially impede the flow of water or create a navigational hazard;
4. Is used for recreational, noncommercial activities associated with the mooring or storage of boats and boat paraphernalia; and

5. Is the sole dock constructed pursuant to this exemption as measured along the shoreline for a distance of 65 feet, unless the parcel of land or individual lot as platted is less than 65 feet in length along the shoreline, in which case there may be one exempt dock allowed per parcel or lot.

Nothing in this paragraph shall prohibit the department from taking appropriate enforcement action pursuant to this chapter to abate or prohibit any activity otherwise exempt from permitting pursuant to this paragraph if the department can demonstrate that the exempted activity has caused water pollution in violation of this chapter.

62-330.051 Exempt Activities.

The activities meeting the limitations and restrictions below are exempt from permitting. However, if located in, on, or over state-owned submerged lands, they are subject to a separate authorization under chapters 253 and 258, F.S., as applicable.

(5) Dock, Pier, Boat Ramp and Other Boating-related Work –

(c) Construction of private docks or piers of 1,000 square feet or less of over-water surface area in artificial waters in accordance with section 403.813(1)(i), F.S., and within residential canal systems legally in existence under chapter 403 or part IV of chapter 373, F.S. This includes associated structures such as roofs and boat lifts, provided the cumulative square footage of the dock or pier and all associated structures located over wetlands and other surface waters does not exceed 1,000 square feet.

Rulemaking Authority 373.026(7), 373.043, 373.4131, 373.4145, 403.805(1) FS. Law Implemented 373.406, 373.4131, 373.4145, 373.415, 403.813(1) FS. History—New 10-1-13, Amended 6-1-18.

403.813 Permits issued at district centers; exceptions.—

(1) A permit is not required under this chapter, chapter 373, chapter 61-691, Laws of Florida, or chapter 25214 or chapter 25270, 1949, Laws of Florida, for activities associated with the following types of projects; however, except as otherwise provided in this subsection, this subsection does not relieve an applicant from any requirement to obtain permission to use or occupy lands owned by the Board of Trustees of the Internal Improvement Trust Fund or a water management district in its governmental or proprietary capacity or from complying with applicable local pollution control programs authorized under this chapter or other requirements of county and municipal governments:

(i) The construction of private docks of 1,000 square feet or less of over-water surface area and seawalls in artificially created waterways where such construction will not violate existing water quality standards, impede navigation, or affect flood control. This exemption does not apply to the construction of vertical seawalls in estuaries or lagoons unless the proposed construction is within an existing manmade canal where the shoreline is currently occupied in whole or part by vertical seawalls.

Special Conditions for Federal Authorization for SPGP V-R1

Note: JAXBO (Jacksonville District’s Programmatic Biological Opinion), referenced throughout, may be found online in the Jacksonville District Regulatory Division Sourcebook, or at <http://cdm16021.contentdm.oclc.org/utils/getfile/collection/p16021coll3/id/577>.

The SPGP V-R1 instrument and all attachments may be found online through the Sourcebook, or at <https://www.saj.usace.army.mil/SPGP/>

In addition to the conditions specified above, the following Special Conditions apply to all projects reviewed and/or authorized under the SPGP V-R1.

Special Conditions for All Projects

1. Authorization, design and construction must adhere to the terms of the SPGP V-R1 instrument including the Procedure and Work Authorized sections.
2. Design and construction must adhere to the PDCs for In-Water Activities ([Attachment 6](#), from PDCs AP.7 through AP11, inclusive, of JAXBO) (Reference: JAXBO PDC AP.1.).
3. All activities performed during daylight hours (Reference: JAXBO PDC AP.6.).
4. For all projects involving the installation of piles or sheet piles, the maximum number of piles, sheet piles or concrete slab walls or boatlift I-beams installed by impact hammer per day is limited to no more than 5 per day. Any installation of metal pipe or metal sheet pile by impact hammer is not authorized (Reference: Categories D and E of JAXBO PDCs for In-Water Noise from Pile and Sheet Pile Installation, page 86.).
5. Projects within the boundary of the NOAA Florida Keys National Marine Sanctuary require prior approval from the Sanctuary (Reference: JAXBO PDCs AP.14 and A1.6).
6. Notifications to the Corps. For all authorizations under this SPGP V-R1, including Self-Certifications, the Permittee shall provide the following notifications to the Corps:
 - a. Commencement Notification. Within 10 days before the date of initiating the work authorized by this permit or for each phase of the authorized project, the Permittee shall provide a written notification of the date of commencement of authorized work to the Corps.
 - b. Corps Self-Certification Statement of Compliance form. Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the “Self-Certification Statement of Compliance” form ([Attachment 32](#)) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the “Self-Certification Statement of Compliance” form. The description of any deviations on the “Self-Certification Statement of Compliance” form does not constitute approval of any deviations by the Corps.
 - c. Permit Transfer. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of

this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form ([Attachment 2](#)).

- d. Reporting Address. The Permittee shall submit all reports, notifications, documentation, and correspondence required by the general and special conditions of this permit to the following address.
 - (1) For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Enforcement Section, P.O. Box 4970, Jacksonville, FL, 32232-0019.
 - (2) For electronic mail: SAJ-RD-Enforcement@usace.army.mil (not to exceed 10 MB). The Permittee shall reference this permit number, SAJ- 2015-02575 on all submittals.
7. The District Engineer reserves the right to require that any request for authorization under this SPGP V-R1 be evaluated as an Individual Permit. Conformance with the terms and conditions of the SPGP V-R1 does not automatically guarantee Federal authorization.
8. On a case-by-case basis, the Corps may impose additional Special Conditions which are deemed necessary to minimize adverse environmental impacts.
9. Failure to comply with all conditions of the SPGP V-R1 constitutes a violation of the Federal authorization.
10. No structure or work shall adversely affect or disturb properties listed in the National Register of Historic Places or those eligible for inclusion in the National Register. Prior to the start of work, the Applicant/Permittee or other party on the Applicant's/Permittee's behalf, shall conduct a search of known historical properties by contracting a professional archaeologist, and contacting the Florida Master Site File at 850-245-6440 or SiteFile@dos.state.fl.us. The Applicant/Permittee can also research sites in the National Register Information System (NRIS). Information can be found at <http://www.cr.nps.gov/nr/research>.
 - a. If, during the initial ground disturbing activities and construction work, there are archaeological/cultural materials unearthed (which shall include, but not be limited to: pottery, modified shell, flora, fauna, human remains, ceramics, stone tools or metal implements, dugout canoes or any other physical remains that could be associated with Native American cultures or early colonial or American settlement), the Permittee shall immediately stop all work in the vicinity and notify the Compliance and Review staff of the State Historic Preservation Office at 850-245-6333 and the Corps Regulatory Project Manager to assess the significance of the discovery and devise appropriate actions, including salvage operations. Based on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend, or revoke the permit in accordance with 33 C.F.R. § 325.7.
 - b. In the unlikely event that human remains are identified, the remains will be treated in accordance with Section 872.05, Florida Statutes; all work in the vicinity shall immediately cease and the local law authority, and the State Archaeologist (850-245-6444) and the Corps Regulatory Project Manager shall immediately be notified. Such

activity shall not resume unless specifically authorized by the State Archaeologist and the Corps.

11. The Permittee is responsible for obtaining any “take” permits required under the U.S. Fish and Wildlife Service’s regulations governing compliance with these laws. The Permittee should contact the appropriate local office of the U.S. Fish and Wildlife Service to determine if such “take” permits are required for a particular activity.
12. For Projects authorized under this SPGP V-R1 in navigable waters of the U.S., the Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.
13. The SPGP V-R1 will be valid through July 26, 2021 unless suspended or revoked by issuance of a public notice by the District Engineer. The Corps, in conjunction with the Federal resource agencies, will conduct periodic reviews to ensure that continuation of the permit during the period ending July 26, 2021, is not contrary to the public interest. The SPGP V-R1 will not be extended beyond July 26, 2021, but may be replaced by a new SPGP. If revocation occurs, all future applications for activities covered by the SPGP V-R1 will be evaluated by the Corps.
14. If the SPGP V-R1 expires, is revoked, or is terminated prior to completion of the authorized work, authorization of activities which have commenced or are under contract to commence in reliance upon the SPGP V-R1 will remain in effect provided the activity is completed within 12 months of the date the SPGP V-R1 expired or was revoked.

Special Conditions for Docks, Piers, Associated Facilities, and other Minor Piling-Supported Structures

1. For temporary structures associated with marine events. Upon completion of the event, these structures must be removed and, to the maximum extent practical, the site must be restored to pre-construction elevations. Water depths in the area of marine events must be deep enough to support at least 5 ft of water depth under the keel of a vessel and between the keel of a vessel and Endangered Species Act listed coral colonies, if present, when transiting to the mooring areas (Reference: JAXBO PDC A2.1.4.).
2. Educational Signs. For commercial, multi-family, or public facilities, and marine events, signs must be posted as described below (Reference: These replicate JAXBO PDCs A.2.2 and A.2.2.1 to A.2.2.3., inclusive, within the table PDCs Specific to Activity 2 - Pile Supported Structures and Anchored Buoys, starting on page 112.):
 - a. (A2.2.) For commercial, multi-family, or public facilities, and marine events, signs must be posted in a visible location(s), alerting users of listed species in the area susceptible to vessel strikes and hook-and-line captures. The most current version of the signs that must

be downloaded and sign installation guidance are available at:

(http://sero.nmfs.noaa.gov/protected_resources/section_7/protected_species_educational_signs/index.html). The signs required to be posted by area are stated below:

- (1) (A2.2.1.) All projects in Florida shall use the Save Sea Turtle, Sawfish, and Dolphin sign. These signs shall include contact information to the sea turtle and marine mammal stranding networks and smalltooth sawfish encounter database.
 - (2) (A2.2.2.) Projects within the North Atlantic right whale educational sign zone shall post the Help Protect North Atlantic Right Whales sign.
 - (3) (A2.2.3.) On the east coast of Florida, projects located within the St. Johns River and those occurring north of the St. Johns River to the Florida-Georgia line shall post the Report Sturgeon sign. On the west coast of Florida, projects occurring from the Cedar Key, Florida north to the Florida-Alabama line.
3. Monofilament Recycling Bins. For commercial, multi-family, or public facilities, monofilament recycling bins must be provided as described below (Reference: The below replicates PDC A.2.3 within the table PDCs Specific to Activity 2 - Pile Supported Structures and Anchored Buoys, the PDC itself on page 113 of the JAXBO.):
- a. (A2.3.) For commercial, multi-family, or public facilities, monofilament recycling bins must be provided at the docking facility to reduce the risk of turtle or sawfish entanglement in, or ingestion of, marine debris. Monofilament recycling bins must:
 - (1) (A2.3.1.) Be constructed and labeled according to the instructions provided at <http://mrrp.myfwc.com>.
 - (2) (A2.3.2.) Be maintained in working order and emptied frequently (according to <http://mrrp.myfwc.com> standards) so that they do not overflow.
4. North Atlantic Right Whale. The attached North Atlantic Right Whale Information Form ([Attachment 27](#)) describes the presence of North Atlantic right whales in the area and the Federal regulations governing the approach to North Atlantic right whales. (The FDEP or Designee will attach this document to their authorizations for a dock project (new construction, repair, or replacement) at a private residence located within 11 nautical miles of North Atlantic right whale critical habitat as measured in a radius from the center of the nearest inlet to open ocean described by [Attachment 29](#), the North Atlantic Right Whale Educational Sign Zones (from Section 2.1.1.4 of JAXBO, pages 31 and 32, inclusive) (Reference: JAXBO PDC A2.4.).
5. Aids to Navigation. Aids to navigation must be approved by and installed in accordance with the requirements of the U.S. Coast Guard (i.e., 33 C.F.R., chapter I, subchapter C, part 66, Section 10 of the Rivers and Harbors Act, and any other pertinent requirements) (Reference: JAXBO PDC A2.5.).
6. Lighting for docks installed within visible distance of ocean beaches. If lighting is necessary, then turtle-friendly lighting shall be installed. Turtle-friendly lighting is explained and examples are provided on the Florida Fish and Wildlife Conservation Commission website: <http://myfwc.com/wildlifehabitats/managed/sea-turtles/lighting/> (Reference: JAXBO PDC A2.8.).

7. Construction Location. Project construction shall take place from uplands or from floating equipment (e.g., barge); prop or wheel-washing is prohibited (Reference: JAXBO PDC A2.9.).

8. Regarding submerged and emergent aquatic vegetation, the design and construction of a Project must comply with the following:
 - a. A pile supported structure (i) that is located on a natural waterbody (i.e., outside an artificial waterway that was excavated for boating access and is bordered by residential properties) and (ii) that is within the range of seagrass (estuarine waters within all coastal counties except for Nassau, Duval, St Johns, Flagler and Volusia north of Ponce Inlet), will be constructed to the following standards:
 - (1) Must comply with or provide a higher level of protection than, the protective criteria in the joint U.S. Army Corps of Engineers'/National Marine Fisheries Service's "Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat" updated November 2017 ([Attachment 5](#)).
 - (2) In addition to (1), above, IF the project is within range of Johnson's seagrass (the range of Johnson's seagrass is defined as Turkey Creek/Palm Bay south to central Biscayne Bay in the lagoon systems on the east coast of Florida), THEN the design and construction shall comply with, in some cases, the more restrictive requirements within paragraph 8.c., below (Reference: JAXBO PDC A2.17).
 - b. For all other Projects,
 - (1) Within the range of Johnson's seagrass (the range of Johnson's seagrass is defined as Turkey Creek/Palm Bay south to central Biscayne Bay in the lagoon systems on the east coast of Florida), the presence of submerged aquatic vegetation will be determined utilizing the "Submerged Aquatic Vegetation Survey Guidelines" ([Attachment 7](#)). If no survey performed, aquatic vegetation, including Johnson's seagrass, will be presumed to be present for purposes of this Special Condition.
 - (2) Outside the range of Johnson's seagrass but within the range of seagrass (estuarine waters within all coastal counties except for Nassau, Duval, St Johns, Flagler and Volusia County north of Ponce Inlet) and within tidal waters, the presence of seagrass and tidal freshwater submerged aquatic vegetation will be determined using the "Submerged Aquatic Vegetation Survey Guidelines" ([Attachment 7](#)) unless a site visit or aerial photography observes absence during the growing season (if water depth and clarity allows) or aquatic vegetation has not been found in the vicinity in the past.
 - (3) Pile-supported structures, IF aquatic vegetation is present (including seagrass, tidal freshwater submerged aquatic vegetation and emergent vegetation), THEN must comply with or provide a higher level of protection than, the protective criteria in the joint U.S. Army Corps of Engineers'/National Marine Fisheries Service's "Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat" updated November 2017 ([Attachment 5](#)).
 - (4) In addition to (1) to (3) above, IF the proposed dock or proposed structure is within range of Johnson's seagrass (the range of Johnson's seagrass is defined as Turkey Creek/Palm Bay south to central Biscayne Bay in the lagoon systems on the east coast of Florida), and IF the proposed dock or proposed structure falls within the following

scenarios, THEN the design and construction shall comply with, in some cases, the more restrictive requirements within paragraph 8.c., below. (Reference: The following replicates “Scenario B” as defined within A2.17., PDCs for Docks or Other Minor Structures of JAXBO.):

- (i) Dock replacement in the exact footprint (i.e., same location/configuration/size) as the previous dock and:
 - (a) within Johnson’s seagrass critical habitat with No current seagrass survey (completed no earlier than 1 year before submitting the application); or, Johnson’s seagrass under the dock; or, Native seagrass, other than Johnson’s seagrass, under the dock; or,
 - (b) within the Range of Johnson’s seagrass (outside of critical habitat) with No current seagrass survey or, Johnson’s seagrass under the dock,
 - (ii) New docks or dock expansions and:
 - (a) within Johnson’s seagrass critical habitat; or,
 - (b) within the Range of Johnson’s seagrass (outside of critical habitat) with: No current seagrass survey (completed no earlier than 1 year before submitting the application) or, Johnson’s seagrass within property limit.
- c. The following additional restrictions apply when required by paragraphs 8.a.(2) or 8.b.(4), above (Reference: The following replicates the “Dock PDCs for Scenario B” within A2.17. PDCs for Docks or Other Minor Structures of JAXBO.):
- (1) To avoid and minimize impacts to Johnson’s seagrass and native, non-listed seagrasses to the maximum extent practicable:
 - (i) The dock must be positioned to avoid and minimize effects to Johnson’s seagrass.
 - (ii) Over any area that contains Johnson’s seagrass or native, non- listed seagrasses, the dock shall be oriented in a north-south orientation to the maximum extent that is practicable to allow maximum sunlight under the structure.
 - (iii) If practicable, terminal platforms shall be placed in deep water, waterward of Johnson’s seagrass beds or native, non-listed seagrasses beds or in an area devoid of Johnson’s seagrass or native, non-listed seagrasses.
 - (iv) Piles must be spaced a minimum of 10 ft apart in any area that contains Johnson’s seagrass to minimize direct impacts.
 - (v) Piles shall be installed in a manner that will not result in the formation of sedimentary deposits (e.g., donuts or halos) around the newly installed pilings.
 - (vi) No covered boat lifts are allowed over any Johnson’s seagrass.
 - (2) Decking options: Deck surfaces (parallel with the water) that are located waterward of the MHWL must be constructed of grated materials or plank construction or a combination of the both methods (e.g. plank decking on the walkway and grated decking on the terminal platform). These decking options are described below:
 - (i) For grated decking:
 - (a) Height requirement: The surface of the structure, including the dock walkway (the over- water narrow portion connecting the terminal platform to the shore and any over-water ramp required for access) and the dock, must be a minimum of 3 ft above MHW when constructed with grated decking.
 - (b) Size limitations: The dock walkway is limited to a width of 4 ft. The terminal platform is limited to a total area of 160 ft². Marginal docks are limited to a width of 5 ft. The 5 ft width restriction is measured from wet side of the

seawall. For example, if a seawall cap is 3 feet overwater then the dock would be limited to 2 feet.

- (c) Material description: Decking materials shaped in the form of grids, grates, lattices, etc., to allow the passage of light through the open spaces. These materials must provide a minimum of 43% open space.
- (ii) For plank decking:
 - (a) Height requirement: The surface of the structure, including the dock walkway (the over- water narrow portion connecting the terminal platform to the shore and any over-water ramp required for access) and the dock, must be a minimum of 5 ft above MHW when constructed of plank decking.
 - (b) Size limitations: The dock walkway is limited to a width of 4 ft. The terminal platform is limited to a total area of 120 ft². Marginal docks are limited to a width of 5 ft.
 - (c) Material description: Deck boards may be constructed of any material. Deck Boards must be installed to provide a minimum of a 0.5-in gap between individual deck boards.
- d. Aids to Navigation in Acropora critical habitat. The distance from Aids to Navigation (ATONs) to ESA-listed corals and Acropora critical habitat shall ensure there are no impacts to the corals or the essential feature of Acropora critical habitat from the movement of buoys and tackle. The appropriate distance shall be based on the size of the anchor chain or other tackle to be installed to secure the buoy to its anchor, particularly when the design of the ATON does not prohibit the contact of tackle with the marine bottom. In all cases, buoy tackle will include flotation to ensure there is no contact between the anchor chain or line and the marine bottom (Reference: JAXBO PDC A2.10.).

General Conditions for Federal Authorization for SPGP V-R1

1. The time limit for completing the work authorized ends on July 26, 2021.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit, you must obtain the signature of the new owner on the enclosed form and forward a copy of the permit to this office to validate the transfer of this authorization.

5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit.
6. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Further Information:

1. Limits of this authorization.
 - a. This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
 - b. This permit does not grant any property rights or exclusive privileges.
 - c. This permit does not authorize any injury to the property or rights of others.
 - d. This permit does not authorize interference with any existing or proposed Federal projects.
2. Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any liability for the following:
 - a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.
 - c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
 - d. Design or Construction deficiencies associated with the permitted work.
 - e. Damage claims associated with any future modification, suspension, or revocation of this permit.
3. Reliance on Applicant's Data: The determination of this office that issuance of this permit is not contrary to the public interest was made in reliance on the information you provided.
4. Reevaluation of Permit Decision: This office may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
 - a. You fail to comply with the terms and conditions of this permit.
 - b. The information provided by you in support of your permit application proves to have been false, incomplete, or inaccurate (see 3 above).
 - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
5. Such a reevaluation may result in a determination that it is appropriate to use the suspension, modification, and revocation procedures contained in 33 CFR 325.7 or enforcement procedures such as those contained in 33 CFR 326.4 and 326.5. The referenced enforcement procedures provide for the issuance of an administrative order requiring you

comply with the terms and conditions of your permit and for the initiation of legal action where appropriate. You will be required to pay for any corrective measures ordered by this office, and if you fail to comply with such directive, this office may in certain situations (such as those specified in 33 CER 209.170) accomplish the corrective measures by contract or otherwise and bill you for the cost.

6. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form.
7. The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the U.S. Army Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal, relocation or alteration.

STANDARD MANATEE CONDITIONS FOR IN-WATER WORK

2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at ImperiledSpecies@myFWC.com
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8 ½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at MyFWC.com/manatee. Questions concerning these signs can be sent to the email address listed above.

CAUTION: MANATEE HABITAT

All project vessels

IDLE SPEED / NO WAKE

When a manatee is within 50 feet of work
all in-water activities must

SHUT DOWN

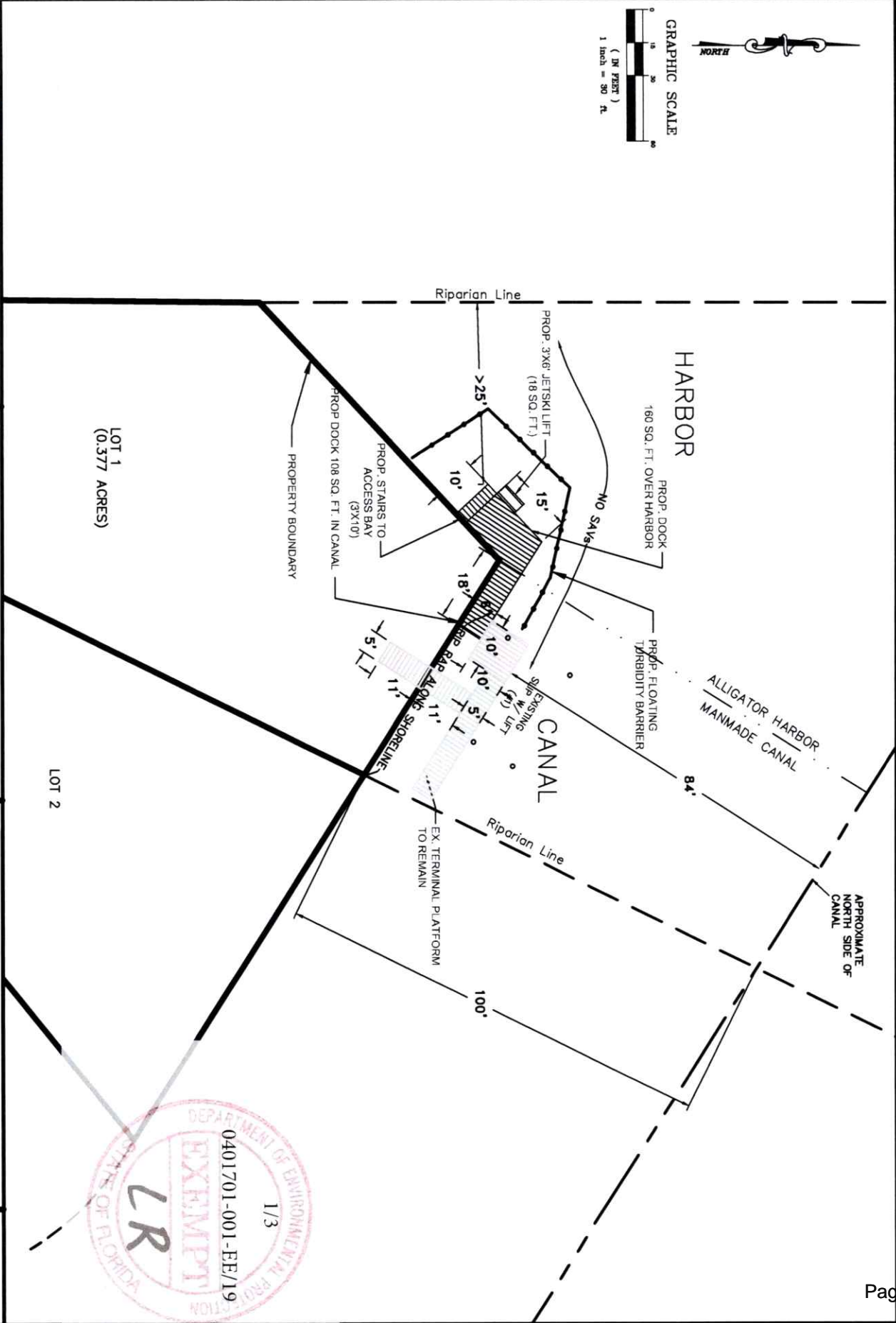
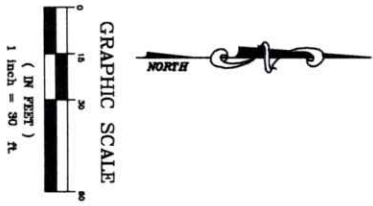
Report any collision with or injury to a manatee:



Wildlife Alert:

1-888-404-FWCC(3922)

cell *FWC or #FWC




 Florida Environmental
 & Land Services Inc.
 221-4 DELTA COURT
 TALLAHASSEE, FLORIDA 32303
 850-385-6255 (VOICE) 850-385-6355 (FAX)

PROJECT
HACKNEY DOCK
 FRANKLIN COUNTY, FL

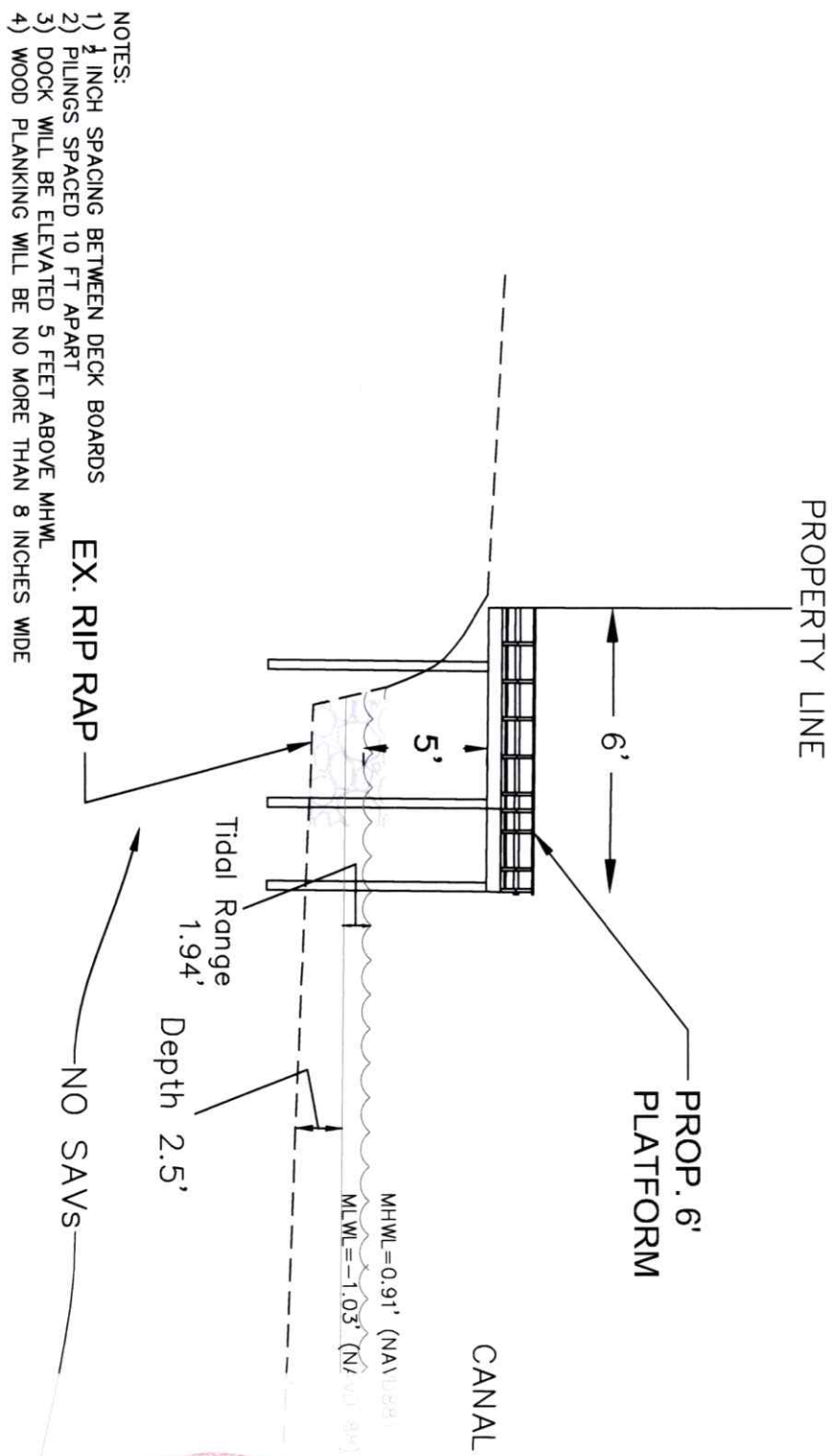
TITLE
PLAN VIEW
PROPOSED CONDITIONS

DATE
 6-22-2021

BY: BCW
CHK: EP
PROJ: 21-1868


PAGE:
 1
OF: 3

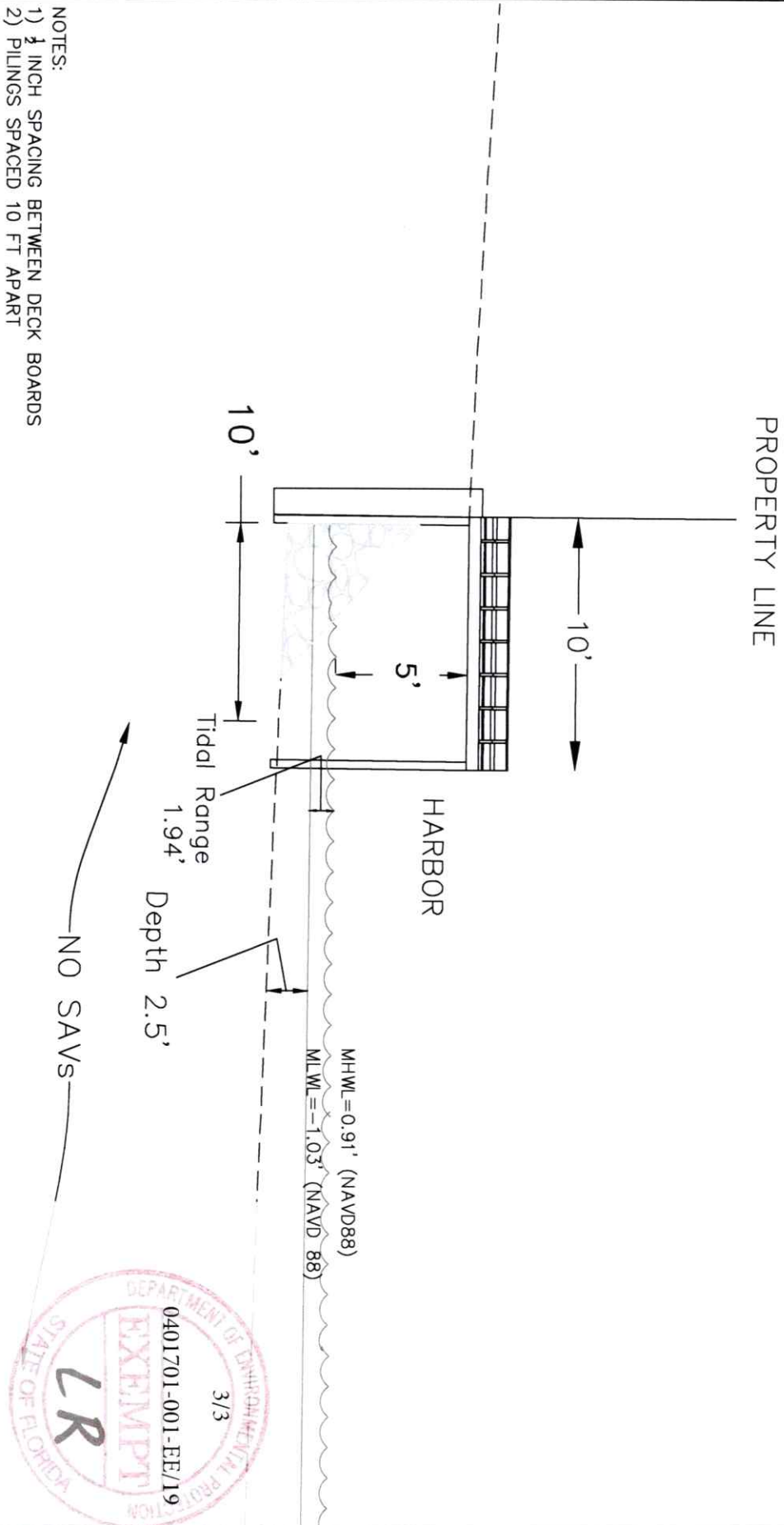





- NOTES:
- 1) 1/2 INCH SPACING BETWEEN DECK BOARDS
 - 2) PLINGS SPACED 10 FT APART
 - 3) DOCK WILL BE ELEVATED 5 FEET ABOVE MHWL
 - 4) WOOD PLANKING WILL BE NO MORE THAN 8 INCHES WIDE

N.T.S

 <p>Florida Environmental & Land Services Inc. 221-4 DELTA COURT TALLAHASSEE, FLORIDA 32303 850-385-6255 (VOICE) 850-385-6355 (FAX)</p>		<p>PROJECT</p> <p>HACKNEY DOCK</p> <p>FRANKLIN COUNTY, FL</p>		<p>TITLE</p> <p>SECTION VIEW</p> <p>PROPOSED CONDITIONS</p>		<p>DATE</p> <p>6-22-2021</p>		<p>BY</p> <p>BCW</p>		<p>CHK</p> <p>EP</p>		<p>PROJECT</p> <p>21-1868</p>		<p>PAGE:</p> <p>2</p>		<p>OF:</p> <p>3</p>	
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 <p>Florida Environmental & Land Services Inc. 221-4 DELTA COURT TALLAHASSEE, FLORIDA 32303 850-385-6255 (VOICE) 850-385-6355 (FAX)</p>		<p>PROJECT HACKNEY DOCK FRANKLIN COUNTY, FL</p>		<p>TITLE SECTION VIEW PROPOSED CONDITIONS</p>		<p>PAGE: 3</p>	
<p>DATE 6-22-2021</p>		<p>BY: BCW</p>		<p>CHK: EP</p>		<p>PROJ: 21-1868</p>	
						<p>OF: 3</p>	



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	06-075-01W-1042-000L-0020	Alternate ID	01W07S061042000L0020	Owner Address	VARELA CARLOS &
Sec/Twp/Rng	6-7S-1W	Class	SINGLE FAM		VARELA BLAIR ANDERSON-
Property Address	1494 ALLIGATOR DRIVE	Acreage	0.278		3514 MAHAN DRIVE
	ALLIGATOR POINT				TALLAHASSEE, FL 32308
District	7				
Brief Tax Description	UNIT 2 BL L LOT 2 OR 117				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 8/4/2021
 Last Data Uploaded: 8/4/2021 7:43:15 AM

Developed by  **Schneider**
 GEOSPATIAL



DOCK PERMIT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT
 34 Forbes Street, Suite 1, Apalachicola, Florida 32320
 Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____
 FEE: \$ _____
 C.S.I : \$ _____
 TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:
 VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE: ISSUANCE DATE: _____ EXPIRES: _____

EXISTING HOUSE: Yes No
DEP PERMIT: Yes No
ARMY COE PERMIT: Yes No
APPROVED: Yes No

RECEIVED
 JUN 30 2021

APPLICATION MUST BE COMPLETE:

Property Owner/s: VALEA & BLAIR ANDERSON
 Contact Information: Home #: _____ Cell #: _____
 Mailing Address: 3514 MAHAN DR. City/State/Zip: 32308 TALL. FLA.
 EMAIL Address: _____@_____

Contractor Name: STAN BROWN Business Name: SALTY DOG CONSTRUCTION
 Contact Information: Office #: 850-984-5878 Cell #: 850-528-1542
 State License #: CBC-1250713 County Registration #: _____
 Mailing Address: 69 BAY DR City/State/Zip: PANACEA, FLA. 32346
 EMAIL Address: SALTYDOGBROWN @ COMCAST.NET.

PROPERTY DESCRIPTION: 911 Address: 1494 Alligator Drive
 Lot/s: 2 Block: L Subdivision: PENINSULA POINT Unit: 2
 Parcel Identification #: 06-075-01W-1042-000L-0020

JURISDICTION: Franklin County City of Carrabelle
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point
 SINGLE FAMILY DOCK/PIER MULTI-FAMILY DOCK/PIER COMMERCIAL

DESCRIPTION: 300' X 4' WITH 16' X 10' TERMINAL END

ZONING DISTRICT: _____ CONTRACT COST: 36,000

TOTAL SQUARE FOOT: _____ FOUNDATION TYPE: _____
 ROOF MATERIAL: _____

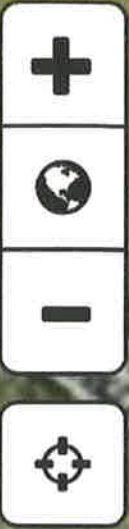
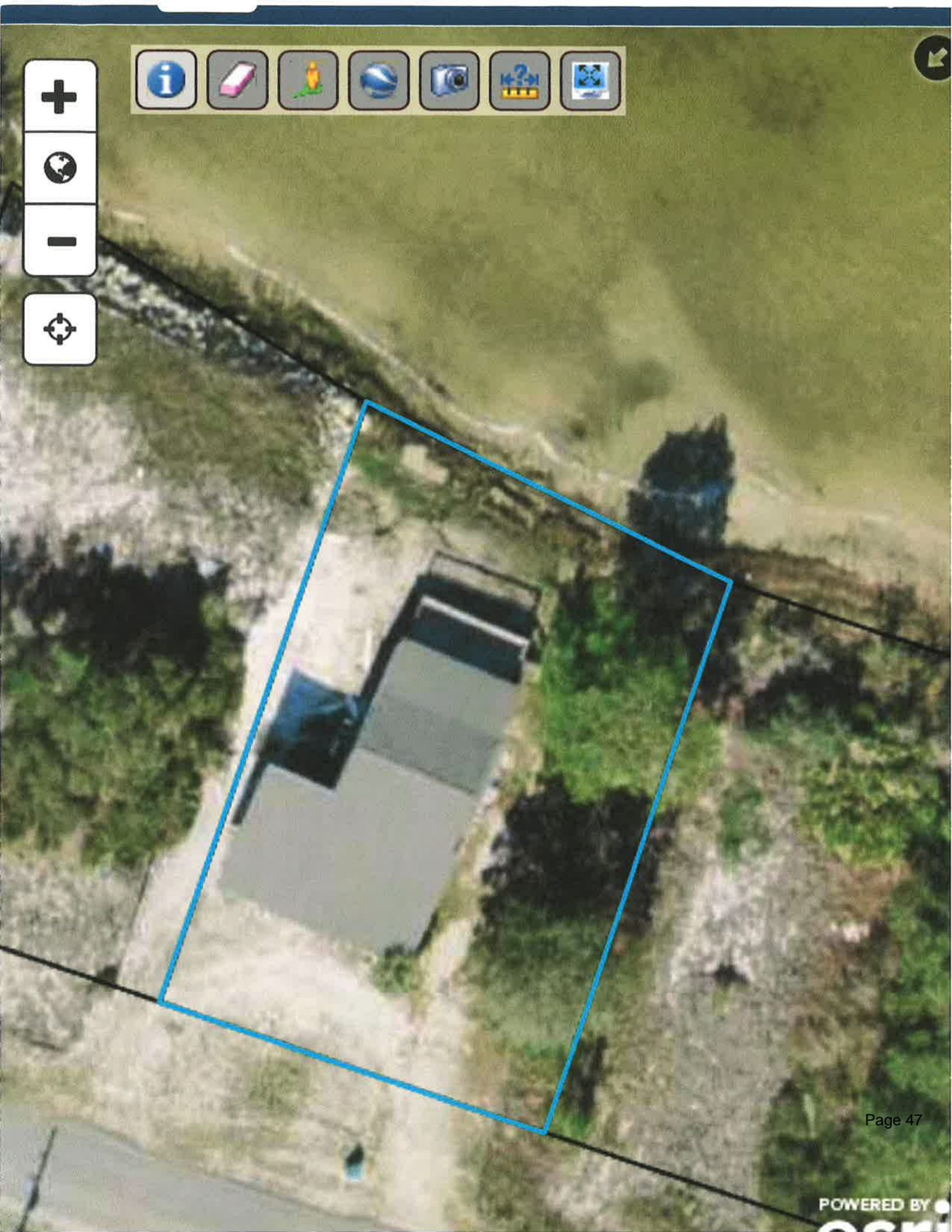
APPROVED BY: Planning & Zoning Date: _____ County Commissioners Date: _____

WATER BODY: ALLIGATOR HARBOUR
 CRITICAL SHORELINE DISTRICT YES OR NO CRITICAL HABITAT ZONE YES OR NO

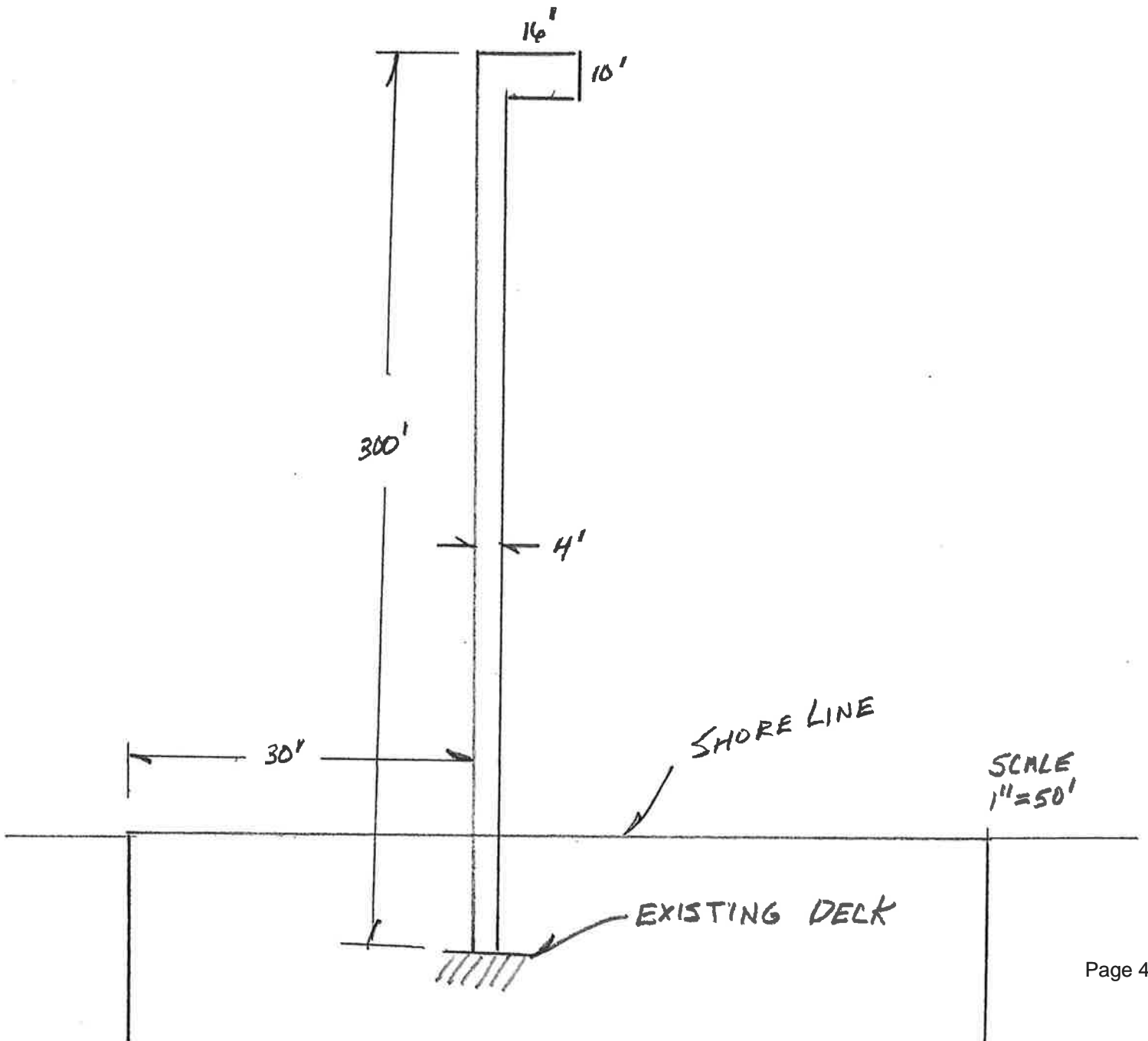
BUILDING OFFICIAL **Date** _____

OWNER (Required) **Date** _____

CONTRACTOR (Required) **Date** 6/30/21



ALIGATOR HARBOUR



1494 ALIGATOR DR



DOCK SITE PLAN, CONSTRUCTION AND LIGHTING AFFIDAVIT

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building.aspx

PERMIT

ORDINANCE

No. 2004-17

Dock Ordinance

DOCK CONSTRUCTION STANDARDS & LIGHTING AFFIDAVIT

APPLICATION MUST BE COMPLETE: (We will no longer accept incomplete applications)

Property Owner/s: VARELA & BLAIR ANDERSON
Contact Information: Home #: _____ Cell #: _____
Mailing Address: 3514 MAHAN DR. City/State/Zip: TALL. FLA.
EMAIL Address: _____

PROPERTY DESCRIPTION: 911 Address: 1494 ALLIGATOR DR.
Lot/s: 2 Block: L Subdivision: PENINSULAR PT. Unit: 2
Parcel Identification #: 06-070-01W-1042-0002-0020

JURISDICTION: Franklin County City of Carrabelle
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

SITE PLAN & CONSTRUCTION STANDARDS:

- I understand that applications for dock or piers must contain a survey prepared by a professional surveyor which indicates riparian rights, unless the dock is built at least 25 feet from existing property lines. INITIAL: SB
- I understand that Docks built on canals are permitted to be no larger than 25% of the width of the canal including the boat mooring site. INITIAL: SB
- I understand that the lot must be large enough to accommodate a single-family dwelling; or be a lot separated from the single family dwelling by a right-of-way and owned by the same owner; or the lot may be eligible for a hardship variance from the Board of Adjustment. INITIAL: SB
- I understand that no dry dock facilities, gasoline or fuel pumps are allowed on a residential lot other than boat lifts connected to a dock. INITIAL: SB
- I understand that boat ramps may be allowed so long as the property contains adequate size for the parking of trailers on the property. No commercial boat docking or launching allowed. INITIAL: SB
- I understand that no parking of vehicles is allowed within the Critical Habitat Zone, which is the first 50 feet from mean high water. INITIAL: SB
- I understand that the lot must be kept in natural vegetation within the Critical Habitat Zone. INITIAL: SB
- I understand that I must comply with the permitting requirements for all other governmental agencies having jurisdiction over the project. (Evidence of an exemption from such compliance must be furnished by the homeowner before approval can be granted. INITIAL: SB
- I understand that the dock must be elevated a minimum of five (5) feet above mean high water, except that the terminal platform may be lower at the owner's discretion. This requirement shall not apply to docks running parallel to the shoreline provided they extend no further than 25 feet from the edge of the water. (*This will allow pedestrians to cross under the dock at the water's edge) INITIAL: SB

- I understand that the dock must be constructed on pilings set a minimum of eight (8) feet apart center to center. INITIAL: SB
- I understand that no dusk to dawn lights. Must be able to switch off or on by motion detector, or be activated by a 3-way switch. INITIAL: SB
- I understand that lights limited to one on the terminal platform and one on the landward end of the dock or pier, and one every 100 feet between the terminal platform and the landward end of the dock, except where a hardship exists. INITIAL: SB
- I understand that all lights must be downward directed and have adequate shielding to prevent light trespass and minimize light pollution from light scatter. INITIAL: SB
- I understand the type and location of fixtures must be included on a diagram of dock or pier and submitted with permit application. INITIAL: SB
- I understand that the dock must have amber colored night time reflectors set at a minimum of one at each side in the middle and one at each side of the terminal. INITIAL: SB

I have read and understood that construction and lighting standards of the Franklin County Dock Ordinance No. 2004-17 and will practice these standards.

Stan Brown 6/30/21
Contractor/Owner Signature: Date

STAN BROWN
Contractor/Owner Printed Name:

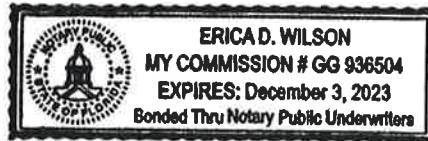
**State of Florida
County of Franklin**

I, Stan Brown, who is personally known or provided the following identification _____, on this day 30 of June, 2021 understand that I have read and understood the above statement and will comply or the Final Certificate of Occupancy will be held up until the above has been documented.

NOTARY: Erica D. Wilson

SEAL:

Erica D. Wilson
Printed Name



FRANKLIN COUNTY DOCK CHECKLIST & FEE SCHEDULE

CHECKLIST:

- Application
- DEP
- Army CORPS
- Site Plan
- ~~Lighting Plan~~
- Drawings (Approved by all entities)
- Approvals from local jurisdictions
- ~~Dock Site Plan, Construction & Lighting Affidavit~~
- Copy of Signed Contract Cost



(29°53'58"N 84°23'39"W) 324 m

Parcel Summary

Parcel ID 06-07S-01W-1042-000L-0020
Location Address 1494 ALLIGATOR DRIVE
 ALLIGATOR POINT 32346
Brief Tax Description* UNIT 2 BL L LOT 2 OR 117 363-64 PENN POINT ORB 0117 PAGE 0363 1062/322 1172/410 1224/200
**The Description above is not to be used on legal documents.*
Property Use Code SINGLE FAM (000100)
Sec/Twp/Rng 6-7S-1W
Tax District Alligator Point (District 7)
Millage Rate 13.022
Acreage 0.278
Homestead N

[View Map](#)

Owner Information

Primary Owner
 Varela Carlos &
 Varela Blair Anderson-
 3514 Mahan Drive
 Tallahassee, FL 32308

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
011103	APT BAY FRONT	12,150.00	SF	90	135

Residential Buildings

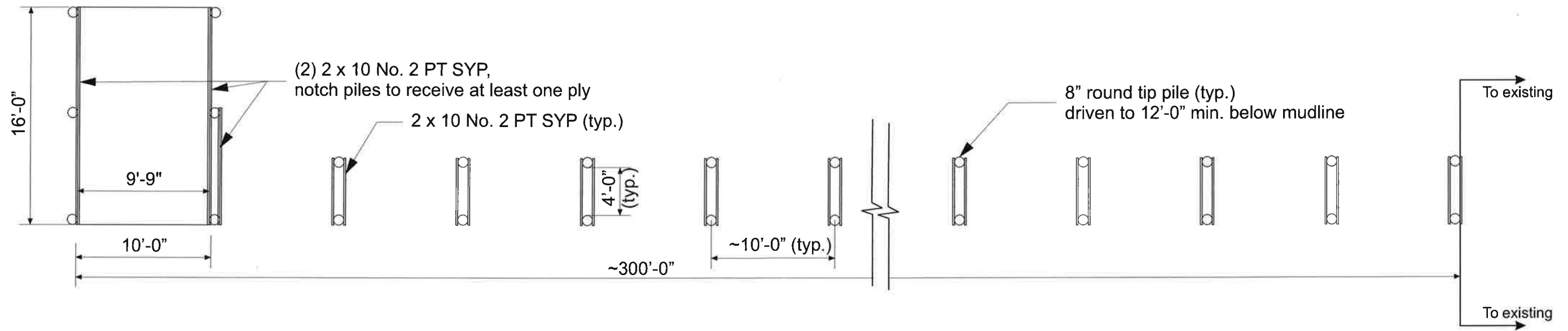
Building 1
Type SINGLE FAM
Total Area 2,247
Heated Area 1,624
Exterior Walls VINYL SIDE
Roof Cover COMP SHNGL
Interior Walls PLYWOOD
Frame Type N/A
Floor Cover CLAY TILE
Heat AIR DUCTED
Air Conditioning CENTRAL
Bathrooms 2
Bedrooms 3
Stories 1
Effective Year Built 1998

Extra Features

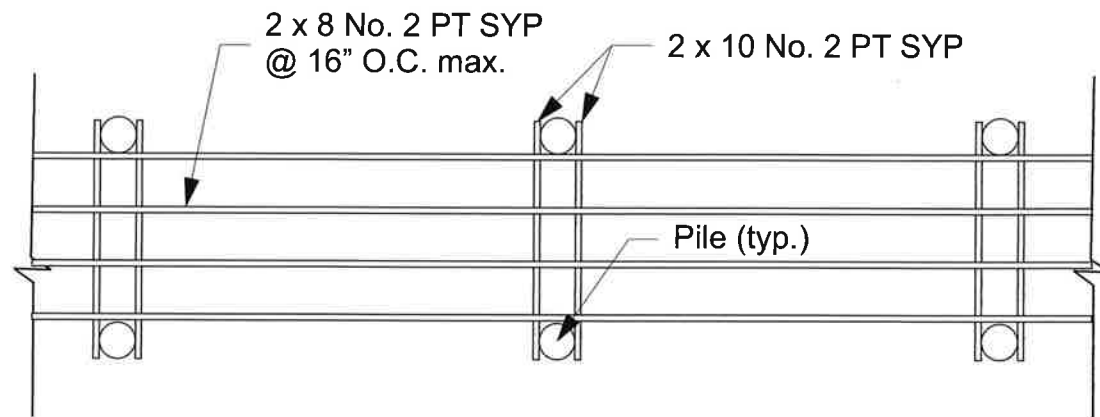
Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0300	STEPS	1	4 x 4 x 0	16	SF	1980
0300	STEPS	1	7 x 4 x 0	28	SF	1980
0200	GARAGE FINISHED	1	6 x 4 x 0	1	UT	0

Sales

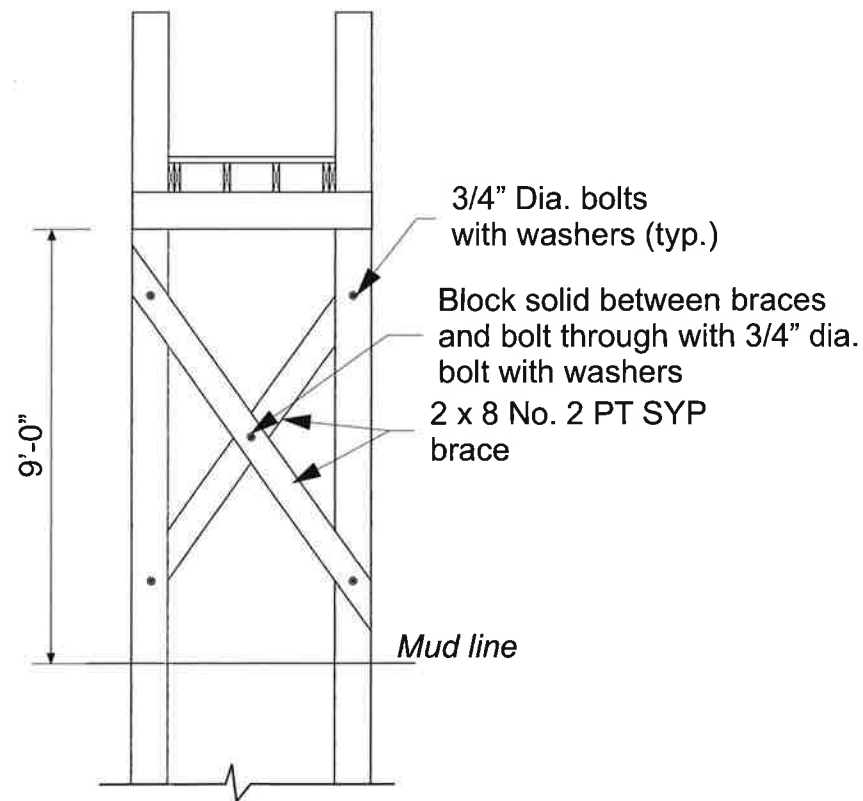
Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	07/19/2018	\$325,000	WD	1224	200	Qualified (Q)	Improved	MCMILLAN	VARELA/VARELA
N	06/30/2016	\$175,000	WD	1172	410	Qualified (Q)	Improved	WHIDDON/GRIFFIN	MCMILLAN
N	03/27/2012	\$100	WD	1062	322	Unqualified (U)	Improved	WHIDDON	WHIDDON
N	01/01/1973	\$18,000	WD	117	363	Qualified (Q)	Improved		
N	01/01/1970	\$14,400		97	267	Qualified (Q)	Improved		



Plan Layout
Scale: 1/8" = 1'-0"



Existing Framing Plan Layout
Scale: 1/8" = 1'-0"



Walkway Cross Bracing for Clear Heights over 9'-0"

Scale: 1/4" = 1'-0"

DESIGN CRITERIA

Basic Wind Velocity: 130 mph, 3 sec. gust
 Importance Factor: 0.87
 Building Category: "OPEN"
 Wind Exposure Type: "B"
 Internal Pressure Coefficient: +/- 0.0 (open)
 Floor Live Load: 40 psf
 Roof Live Load: 20 psf

All construction shall be provided in accordance with the current recognized versions of the Standard Building Code, Florida Building Code - 2020 REV 7, as well as all applicable local requirements.

Base connections shall be provided as shown and shall be field adjusted on the basis of the manufacturer's requirements for actual soil type.

All materials identified by manufacturer name may be substituted with comparable materials that exceed or equal the specifications for the original material.

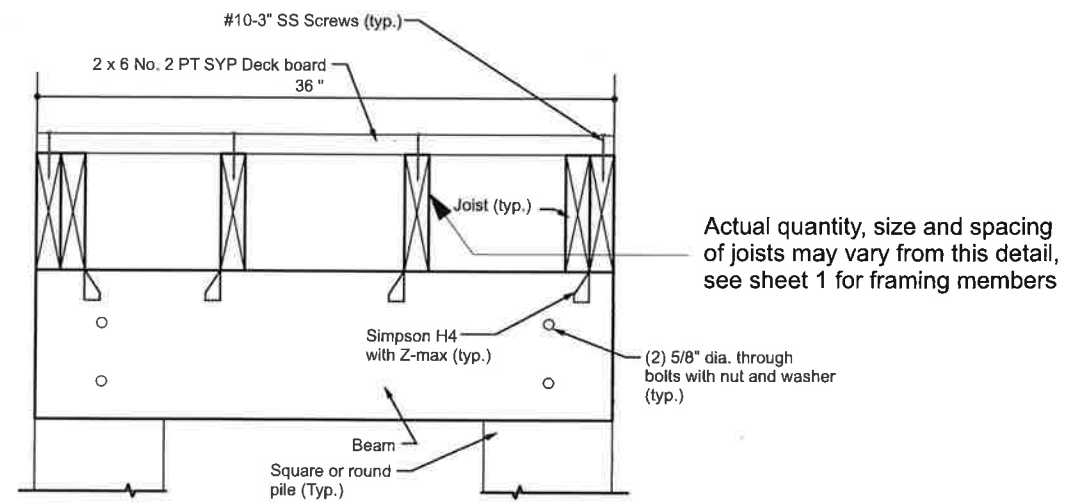
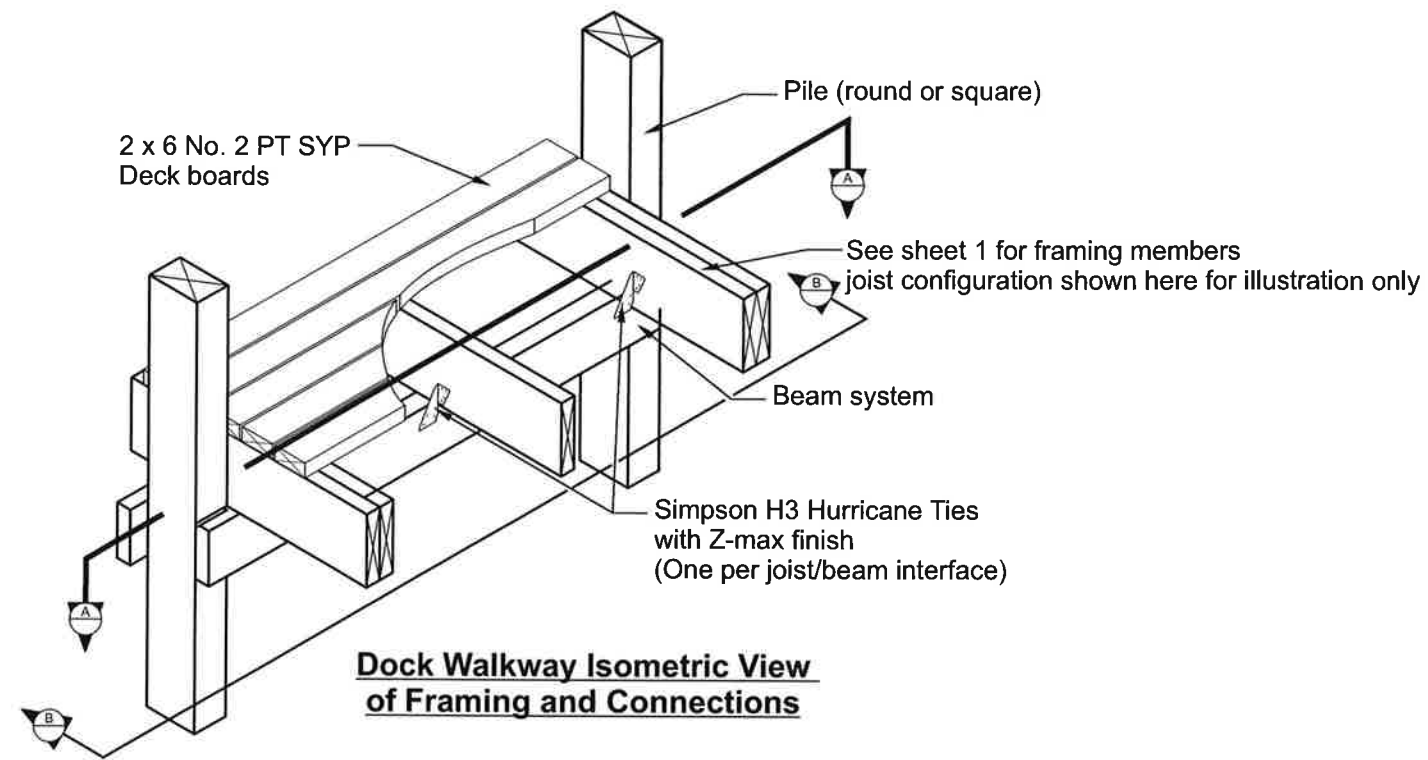


Digitally signed by
 Thomas E Beitelman
 Date: 2021.05.18
 13:19:21 -04'00'

Thomas E. Beitelman, PE

Florida PE #51870, SI #2060
 7626 E. Park Ave., Unit 4303, Tallahassee, FL 32301
 (321) 543-6750 - beitelman@gmail.com

PROJECT: 1494 Alligator Drive		SCALE: As Shown		CLIENT:	
TITLE: Details		Revision By:		Description:	
File No:	YEB	Drawn:	YEB	Date:	5/16/20
Design:	YEB	Checked:	YEB		
Sheet	1	of	2		
No.					



Dock Walkway Section Through End
Scale: 1"=1'-0"

Dock Walkway



Digitally signed by
Thomas E Beitelman
Date: 2021.05.18
13:19:07 -04'00'

PROJECT: 1494 Alligator Drive		CLIENT:	
TITLE: Details	SCALE: Varies	Revision By:	Description:
File Name:	Date:	Date:	Date:
Drawn by: TEB	Checked by: TEB	Checked by: TEB	Checked by: TEB
Date: 5/16/20	Date: 5/16/20	Date: 5/16/20	Date: 5/16/20
Sheet 2 of 2	No.		

BY:

DEVELOPMENT PERMIT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

<https://www.franklincountyflorida.com/county-government/planning-building/>

Property Owner Information:

Property Owner: Robert Kasper

Mailing Address: 133 Sapodilla Ln Port St Joe FL 32456

Phone Number/ Email: 678 438 4322 / kasper.rob@gmail.com

Contractor Information:

Contractor Name: Bob Windolf

Business Name: Windolf Construction, Inc.

State License Number: RG0066385

Phone Number: 850 229 2660

Email: office@windolfconst.com

Property Information:

911 Address/Construction Location: 8 Airport Rd Apalachicola FL

Parcel Identification Number: 03-095-0810-0000-0010-0000

Property is Zoned: R1 R2 R3 R4 Other: _____

Near Water Body: _____

Gate Code (if located in Gated Community): _____

Description of Development: Build airplane hanger

Contract Cost: \$ 350,000.00

Owner/Contractor Signature [Signature] Date 8-4-21

OFFICE USE ONLY

Flood Panel Number: _____

Firm Zone: _____

Elevation Requirements: _____

Critical Shoreline District: YES NO

Critical Habitat Zone: YES NO

PERMIT NUMBER: _____

Permit Fee: \$ _____

Radon: \$ _____

Total FEE: \$ _____

FLOODPLAIN MANAGER _____ DATE _____

BUILDING OFFICIAL _____ DATE _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:
VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF DATE ISSUED.

EPCI
CITY OF APALACHICOLA
BUILDING DEPT.
192 Couch Wagoner Blvd.
APPLICATION FOR BUILDING PERMIT

DATE: 8-4-21 Permit # _____ Permit Fee _____ (payable to EPCI)

OWNER'S NAME: Robert Kasper Email: Kasper.rob@gmail.com

ADDRESS: 133 Sapodilla Ln

CITY, STATE & ZIP CODE: Port St Joe FL 32456 PHONE # 678 438 4322

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: Bob Windolf Email: office@windolfconst.com

ADDRESS: 318 6th Street

CITY, STATE & ZIP CODE: Port St Joe FL 32456 PHONE # 850 229 2660

STATE LICENSE NUMBER: RG0066385 COMPETENCY CARD # _____

ADDRESS OF PROJECT: 8 Airport Road

PURPOSE OF PERMIT: Build a airplane hanger

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # 03-095-08W-0000-0010-0000

LEGAL DESCRIPTION OF PROPERTY: _____

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to cityofapalachicola@gmail.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:

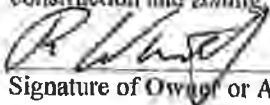
Single Family Townhouse Commercial Industrial Shed
 Multi-Family Swimming Pool Storage Sign Pole Barn
 Temp Pole Demolition Other Air plane hanger
 Addition, Alteration or Renovation to building _____

Distance from property lines: Front 40 Rear 40 L. Side 12 1/2
R. Side 12 1/2
Cost of Construction \$ _____ Square Footage 50x60
EPI 0 Flood Zone _____ Lowest Floor Elevation 17.25 FT
Area Heated/Cooled _____ # Of Stories 1 # Of Units 1
Type of Roof metal Type of Walls Metal Type of Floor concrete
Extreme Dimensions of: Length 50 Height 18 Width 60

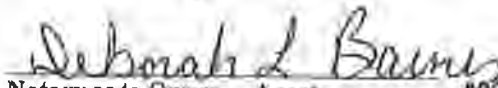
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.


NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

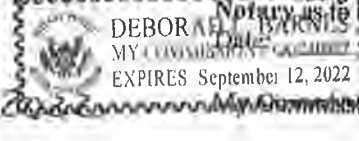
OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.


Signature of Owner or Agent _____ Date _____


Signature of Contractor _____ Date _____


Notary as to Owner or Agent _____
Date: 7-8-21


Notary as to Contractor _____
Date: 7-8-21


DEBORAH L. BARNES
MY COMMISSION EXPIRES September 12, 2022

My Commission expires: Sept 12, 2022 My Commission expires: Sept 12, 2022

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

(email to: cityofapalachicola@gmail.com or drop off in City drop box)
(make checks payable to EPCI – 192 Coach Wagoner Blvd, Apalachicola, FL 32320)



STRUCTURE HEIGHT & NUMBER OF STORIES AFFIDAVIT

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite J, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building_services.aspx?id=building

20
REGISTRATION

FEE: \$ _____

APPLICATION MUST BE COMPLETE

Please Place My Registration As In Active Status

Contractor's Name: Bob Windolf
Business Name: Windolf Construction Inc
Office #: 850 229 2660 Cell #: 850 527 2583
Mailing Address: 318 6th Street City/State/Zip: Port St Lucie FL 32456
EMAIL Address: office@windolfconst.com

Authorized Agents: (Please Submit Notarized Authorization) _____

STATE LICENSE

State License #: RG0066385

General Contractor

Building

Residential

1. Number of Stories including mezzanines: 1 (not to exceed 3 stories)

2. Height of Structure: 18ft (not to exceed 47 feet from highest adjacent grade)

I, Bob Windolf, licensed as Windolf Construction listed above can only construct up to the following number of habitable stories _____. I understand that if the structure exceeds 2 stories I will be required to provide a Registered or Certified General Contractor's License with the State of Florida.

The aforementioned is true and correct to the best of my knowledge:

Bob Windolf 7-7-21
Contractor Date

Bob Windolf
Printed Name:

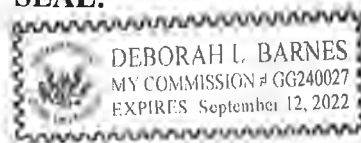
STATE OF FLORIDA
COUNTY OF FRANKLIN

The foregoing instrument was acknowledged before me on this 7 of July, 2021, by Bob Windolf, who is personally known/or produced _____ as identification.

Deborah L Barnes
NOTARY SIGNATURE:

Deborah L Barnes
PRINTED NAME:

SEAL:



September 12, 2022
My Commission Expires:



DUMPSTER AGREEMENT AFFIDAVIT
FRANKLIN COUNTY BUILDING DEPARTMENT
34 Forbes Street, Suite E, Apalachicola, Florida 32320
Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.asp

DUMPSTER AGREEMENT AFFIDAVIT

I, Bob Windolf / Robert Kasper, said Contractor/Owner, agree to have an on-site dumpster or some type of debris container to store debris material to contain all scrap building materials

- Cubic Yard Dumpster
- Trailer Dumpster
- Dump Truck
- LIST: _____

3-10-21
Contractor's Signature: Date

3/10/2021
Owner's Signature: Date

Reinhard (Bob) Windolf
Contractor's Printed Name:

Robert Kasper
Owner's Printed Name:

State of Florida
County of Franklin

I, Reinhard Windolf / Robert Kasper, who is personally known or provided the following identification _____, on this day 11 of Mar, 2021 understand that I have read and understood the above statement and will comply or the Final Certificate of Occupancy will be held up until the above has been documented.

NOTARY: Deborah L Barnes

Deborah L Barnes
Printed Name

SEAL:



NOTICE OF COMMENCEMENT

Space Reserved For Recording:

PERMIT # _____

PARCEL ID # 03-095-08W-0000-0010-0000

STATE OF FLORIDA, COUNTY OF FRANKLIN

The **UNDERSIGNED** hereby gives notice that improvements will be made to certain real property, an in accordance with Chapter 713, Florida Statutes, the following information is provided in the Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY: (Include Street Address)

639.3 AC A150.6 AC OR GG/365 8 Airport Road

General Description of Improvements: New Construction

Owner Information or Lessee Information Contracted For The Improvements:

Name: Robert Kasper

Phone Number: _____

Address: 133 Sapadilla Lane, Port St. Joe FL 32456

Owner's Interest In Site Of The Improvement:

Name & Address Of Fee Simple Titleholder:

(If Different From Owner Listed Above): _____

Contractor's Name: Windolf Construction Inc

Phone Number: 850 229 2660

Address: 318 6th St, Port St Joe FL 32456

Surety: (If Applicable, A Copy Of The Payment Bond Is Attached): None

Name & Address: _____

Amount: \$ _____

Lender Name: None

Address: _____

Phone Number: _____

PERSONS WITH IN THE STATE OF FLORIDA DESIGNATED BY THE OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED FOR BY FLORIDA STATUTE 713.13(1) (A) 7.

NAME: Debra Windolf

ADDRESS: 318 6th St, Port St Joe FL 32456

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES THE FOLLOWING PERSON(S) TO RECEIVE A COPY OF THE LEINOR'S NOTICE AS PROVIDED IN SECTION 713.13 (1)(B) FLORIDA STATUTES:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT (THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DAT OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED.) _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.11, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOBSITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

NOTARY SEAL:



Owner/Agent Signature: [Signature]

Printed Name: Robert Kasper

Sworn to me this 11 day of Mar In the year of 20 21

Notary Signature: [Signature]

Printed Name: Deborah L Barnes

AGENT PERMISSION FORM

To Whom It May Concern:

This is to certify that Reinhard Windolf or Delores Windolf, acting as representatives of Windolf Construction, Inc. has our permission to act as our agent to obtain any and all necessary permits for the construction of my hangar at 8 Airport Road, Apalachicola, Florida.

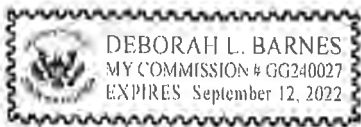
Robert Kasper 6/19/2021
Robert Kasper Date

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, Robert Kasper personally appeared, to me known to be the person described in and who executed the foregoing instrument and acknowledged before me the execution of same.

WITNESS my hand and official seal in the County and State last aforesaid this 28 day of June, 2021.

Deborah L Barnes

Notary Public- (State) FL
Date Commission Expires Sept 12, 2022
(SEAL.)



City of Apalachicola

192 Coach Wagoner Blvd.
Apalachicola, FL 32320
850-653-9319 / 850-653-2205 FAX

April 1, 2021

Delores Windolf
Windolf Construction
318 6th St
Port St. Joe, FL 32456

Dear Ms. Windolf,

The lines on the property at the airport are property of the County and water is supplied to them by the City. However there is not a meter installed at the property line to track water usage. Your contractor will have to install the meter and make the taps needed to receive water service.

The City requires its customers to install Master Meter 3G meters to be able to be read by our software for data collection and billing. Your contractor can reach Rhett Butler for the pricing of the meter that will be needed at the site.

For this information or any questions or concerns, please call Rhett Butler at 850-653-5466.

Thank you,



Janelle C. Paul, CMC
Utility Billing Clerk

jcp



DESIGN PACKAGE

BUILDER: Robert Kasper
CUSTOMER: Robert Kasper
JOB NUMBER: 17-B-66354

TABLE OF CONTENTS

	Page
Design Criteria	2
Notes on Drawings	3-4
Deflection Criteria	5
Project Layout	NA
Building A	6-14
Special Details	15-21
Reactions	22-27

Original Design Completed thru Change Order # 0
 Revision History

Rev #	Update Reactions?	Reason for Revision	Pages Revised	Date Revised	Eng.
0	NEW	Original Design	NA	6/23/2020	SIG

Project Engineer: Suzanne Gutierrez- Atwater, CA
 Checking Engineer: Mehrdad Pirataie
 Signing Engineer: Mehrdad Pirataie



June 23, 2020

ROBERT KASPER
133 SAPODILLA LANE
PORT SAINT JOE, FL 32456

17-B-66354
ROBERT KASPAR
APALACHICOLA, FL
60'0" x 50'0" x 15'0"

To Whom It May Concern:

This is to certify that materials for the subject structure have been designed in accordance with the order documents, specifically as shown per the attached Engineering Design Criteria Sheet.

Aspects of code compliance as related to use or occupancy, such as sprinkler requirements, are not addressed by these documents.

These materials, when properly erected on an adequate foundation in accordance with the erection drawings as supplied and using the components as furnished, will meet the attached loading requirements.

This certification does not cover field modifications or the design of materials not furnished by Metallic Building Systems.

The attached design criteria information is to remain with and form part of this Letter of Certification.

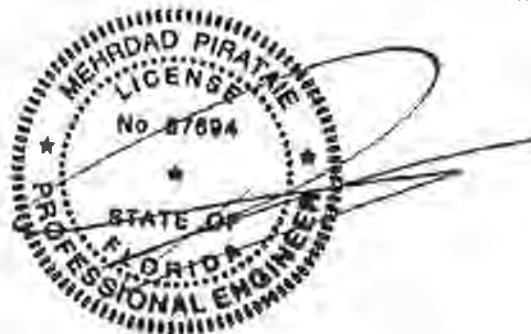
The calculations and the metal building they represent are the product of Metallic Building Systems or a division of its affiliate Cornerstone Building Brands. The engineer whose seal appears hereon is employed by either Metallic Building Systems or a division of its affiliate Cornerstone Building Brands and is not the engineer of record for this project.

Cordially,

Metallic Building Systems
Materials for Metal Buildings
A Cornerstone Building Brands Company

Mehrdad Pirataie, P.E., P.E
Engineer IV

This document has been
digitally signed



Job Number 17-B-66354
 Builder ROBERT KASPER
 Jobsite Location APALACHICOLA, Florida
 Building Code FLORIDA BUILDING CODE, 6TH EDITION (2017)
 Building Risk Category Normal (Risk Category II)
 Roof Dead Load
 Superimposed 2.55 psf
 Ceiling 2.00 psf
 (0.00 psf Ceiling 2.00 psf Other)
 Roof Live Load 20.00 psf reduction allowed

Wind
 Ultimate Wind Speed (Vult) 127.00 mph
 Nominal Wind Speed (Vasd) 98 mph (IBC section 1609.3.1)
 Serviceability Wind Speed 76 mph
 Wind Exposure Category C
 Internal Pressure Coef (GCPI) 0.18/-0.18
 Wall Loads for components not provided by building manufacturer
 Corner Areas (within 5'-00" of corner) 32.17 psf pressure -42.90 psf suction
 Other Areas 32.17 psf pressure -34.85 psf suction
 These values are the maximum values required based on a 10 sq ft area
 Components with larger areas may have lower wind loads.

Plate used for flanges conforms to ASTM A529 or ASTM A572 with a minimum specified yield strength of 55 ksi for 5"-12" flange widths that are 3/16"-1" thick, and a minimum yield strength of 50 ksi for all other flange sizes. Plate used for webs conforms to ASTM A1011, ASTM A572, or ASTM A529 with a minimum yield strength of 55 ksi for webs that are 10ga-3/8" thick, and a minimum yield strength of 50 ksi for all other web sizes. W, S and C hot rolled structural shapes conform to ASTM A572 or ASTM A992 with a minimum yield point of 50ksi. Large hot rolled W shapes and MC shapes from MC18x42.7 through MC18x58 conform to ASTM A36 with a minimum yield strength of 36 ksi. Hot rolled angles other than flange braces conform to ASTM 36 minimum. Hollow structural shapes conform to ASTM A500 grade B or C with a minimum yield strength of 42 ksi for round HSS and 46 ksi for rectangular HSS. Rod material 1/2" diameter and greater conform to ASTM A572 Grade 50. Cold-formed steel structural members conform to ASTM A1011, ASTM A1039, or ASTM A653 Grade 55 with a minimum yield strength of 55 ksi. For Canada, material properties conform to CAN/CSA G40.20/G40.21 or equivalent.

All bolted joints with A325 Type 1 bolts are specified as snug-tightened joints in accordance with the most recent edition of the RCSC Specification for Structural Joints Using ASTM A325 or A490 Bolts. Pre-tensioning methods, including turn-of-nut, calibrated wrench, twist-off-type tension-control bolts or direct-tension-indicator are NOT required. Installation inspection requirements for Snug Tight Bolts (Specification for Structural Joints Section 9.1) is suggested.

Design criteria as noted is as given within order documents and is applied in general accordance with the applicable provisions of the model code and/or specification indicated. Neither the metal building manufacturer nor the certifying engineer declares or attests that the loads as designated are proper for local provisions that may apply or for site specific parameters. The design criteria is supplied by the builder, project owner, or an Architect and/or Engineer of Record for the overall construction project.

This metal building system is designed as an Enclosed Building. Exterior and/or operable components including, but not limited to, doors, windows, vents, etc. ("Components") must be designed to withstand the required component and cladding wind pressures specified by the building code. In order to maintain the metal building system's Enclosed Building condition, all Components shall be closed when wind velocities reach half the designed wind load for the metal building system as shown on the drawings and design criteria documentation. Failure to maintain the metal building system's Enclosed Building condition will violate and void all warranties and certifications applicable to the material supplied by the metal building manufacturer.

Framed openings, walk doors, and open areas shall be located in the bay and elevation as shown in the erection drawings. The cutting or removal of girts shown on the erection drawings due to the addition of framed openings, walk doors, or open areas not shown may void the design certifications supplied by the metal building manufacturer.

X-Bracing is to be installed to a taut condition with all slack removed. Do not tighten beyond this state.

The framing at building A: gridlines 1,3 is NOT designed to receive a future bay addition. Corresponding frame reactions are calculated based upon actual tributary area.

Roof and wall panels have been designed in accordance with section 2222.4 of the Florida Building Code. Product approval numbers for the State of Florida, Department of Community Affairs per Product Rule 9B-72:

1. Panel Walls

- FL11917 26 gauge AVP panel
- FL11917 PBR 22, 24, 26 and 29 gauge walls
- FL11917 24 gauge ShadowRib
- FL16377 IMP CF Wall Panel
- FL16377 LS-36 IMP Wall Panel

2. Roofing Products

- FL11819 BattenLok HS 22 and 24 gauge roofs, 12" and 16" wide
- FL11819 DoubleLok 22 and 24 gauge roofs, 12", 18" and 24" wide
- FL11819 SuperLok 22 and 24 gauge roofs, 12" and 16" wide
- FL11819 UltraDek 22 and 24 gauge roofs, 12", 18" and 24" wide
- FL11868 PBR 22, 24, and 26 gauge roofs
- FL11868 PBU 26 gauge roofs
- FL16376 LS-36 IMP roof panel
- FL7766 CFR IMP roof panel (42" max width, 24/26 min.Ga.)

This building has been designed for a 52'0x11'0 Schweiss Bifold door at EWB. Per door manufacturer specification, this building is designed to support the door weight of 6616 lbs with a clear opening height of 11'-0".

Job Number.....: 17-B-66354
 Builder.....: ROBERT KASPER
 Jobsite Location.....: APALACHICOLA, FL

The material supplied by the manufacturer has been designed with the following minimum deflection criteria. The actual deflection may be less depending on actual load and actual member length.

BUILDING DEFLECTION LIMITS.....: BLDG-A

Roof Limits	Rafters	Purlins	Panels
Live: L/	180	150	60
Snow: L/	N/A	N/A	N/A
Serviceability Wind: L/	180	180	60
Total Gravity: L/	120	120	60
Total Uplift: L/	N/A	N/A	60

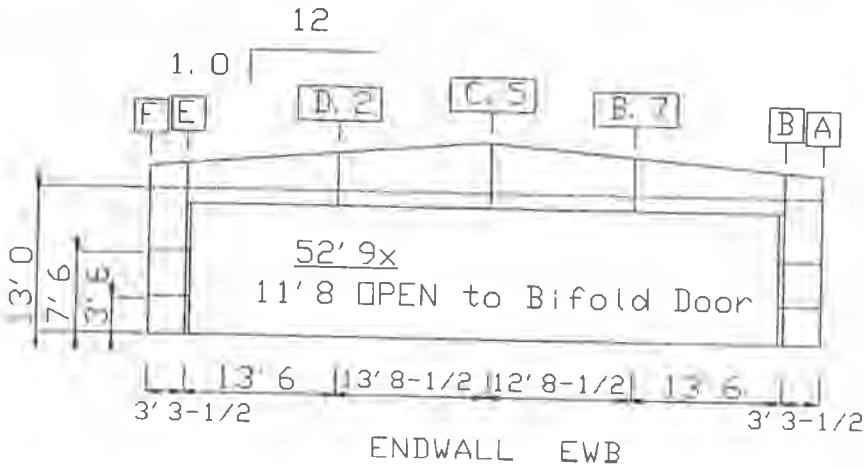
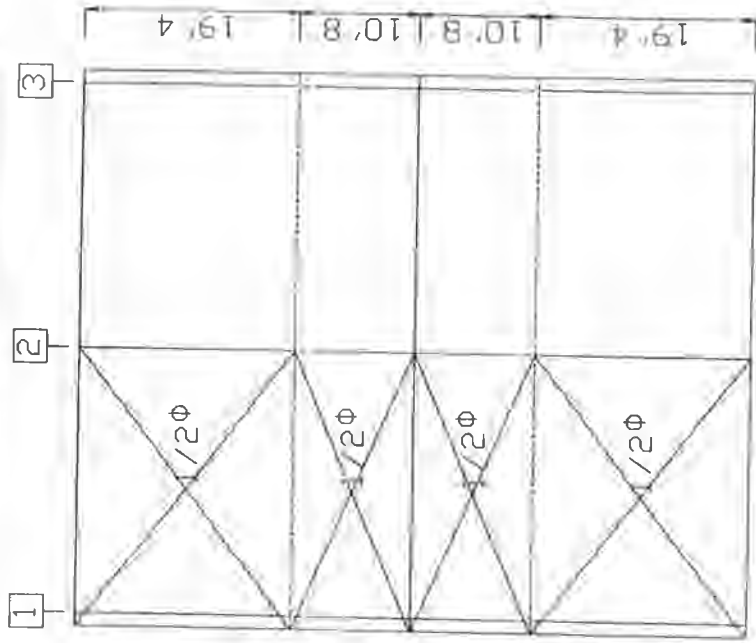
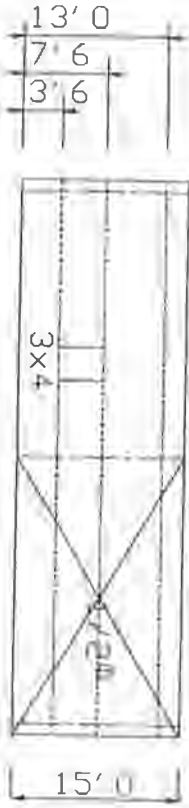
Frame Limits	Sidesway	Portal Frame Sidesway
Live: H/	60	
Snow: H/	N/A	
Serviceability Wind: H/	60	
Seismic Drift: H/	N/A	N/A
Service-Level Crane: H/	100	
Portal Serviceability Wind: H/	N/A	60
Total Gravity: H/	60	
Service Seismic: H/	N/A	N/A

Wall Limits	Limit
Total Wind Panels: L/	60
Total Wind Girts: L/	120
Total Wind EW Columns: L/	120

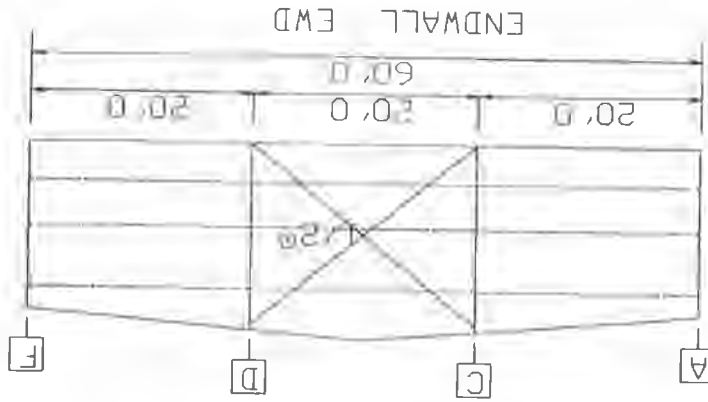
The Service Seismic limit as shown here is at service level loads.

ROBERT KASPER
 Job No: 66354A
 ver01-sgutierrez

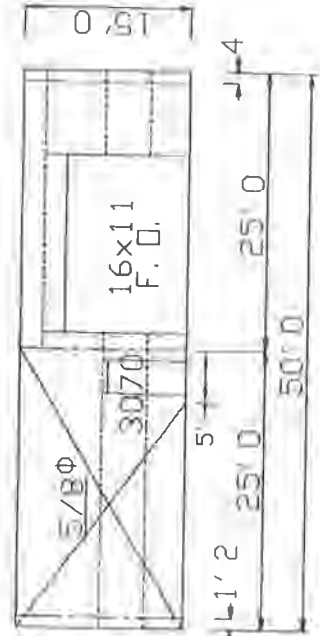
SIDEWALL SWC



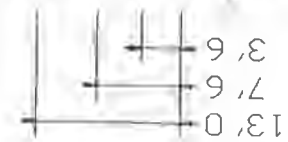
ENDWALL EWB



ENDWALL EWB



SIDEWALL SWA



Owner :
 ROBERT KASPAR

Metallic

Design Summary Program
Design Summary Report

User: sgutierrez Job Number: 66354A
Version: 8.07.4 run01 Date: 06/23/20

Start Time: 09:44:39

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B U I L D I N G - A - D E S I G N S U M M A R Y R E P O R T

All connections use ASTM A325N bolts, unless noted otherwise.
All anchor rods are checked according to ASTM F1554 Gr. 36 strengths.

ROOF PLANE ----- RPA

R:\jobs\Active\Eng\17-B-66354\ver01-sgutierrez\BLDG-A\run01\AroofRPA_01.edf

Panel DLOK
Panel Width 24 in
Panel Gage 24 ga
Purlins 55.0 ksi Yield Strength
Eave Struts 55.0 ksi Yield Strength
Note to Drafting: provide G90 Galvanized Secondary.

PURLIN SPACING : 5@4'10 4.5617 1'3-1/4

Bay #	Length (ft)	Member Size Identification	Brace Locations	L Lap Exten	R Lap Exten
1	25.000	8X2.5Z14	2 points	S 0.000	2.479 C
2	25.000	8X2.5Z14	3 points	C 2.479	0.000 S

Purlin Clip Use 2 A325 Bolts @ Level 2,3,4,5,6,7 @ Supports: 1,2,3
Purlin Stiffened Clips @ Level 2,7 @ Supports: 1,2,3
Purlin Backup Plate @ Level 2,7 @ Supports: 2

ROOF PLANE ----- RPC

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RPC SAME AS RPA (MIRRORED)

RPA	Purlin Strut @	40.667 (ft)	:8X2 5Z12	Bays	1
RPA	Purlin Strut @	40.667 (ft)	:8X2 5Z14	Bays	2
RPC	Purlin Strut @	19.333 (ft)	:8X2 5Z14	Bays	1
RPC	Purlin Strut @	30.000 (ft)	:8X2 5Z14	Bays	1
RPC	Purlin Strut @	19.333 (ft)	:8X2 5Z12	Bays	2
RPC	Purlin Strut @	30.000 (ft)	:8X2 5Z14	Bays	2
SWA	Eave Strut @	15.000 (ft)	:8X3 5E14	Bays	1,2
SWC	Eave Strut @	15.000 (ft)	:8X3 5E14	Bays	1,2

Note: 1) All Purlin strut locations for all roof planes are measured from back sidewall.

2) All purlin strut rows use the same lap lengths as the main purlin design
Eave strut interior connection at SWA, SWC uses (2)-1/2" A325 bolts.
Eave strut connection at end-frame uses (4)-1/2" A325 bolts.

BRACING ---- Roof: 1 bays Rod
Plane SWA : 1 bays Rod: Hillside Washers
Plane SWC : 1 bays Rod: Hillside Washers
Plane EWB :End Frame
Plane EWD : 1 bays Rod

Metallic

Design Summary Program

User: sgutierrez Job Number: 66354A

SIDEWALL PLANE SWA -- (8.250" Inset columns)

R:\jobs\Active\Eng\17-B-66354\ver01-sgutierrez\BLDG-A\run01\AwallSWA 01.edf

Panel PBR
Panel Width 36 in
Panel Gage 26 ga
Girts 55.0 ksi Yield Strength

Note to Drafting: provide G90 Galvanized Secondary.

GIRTS SPACINGS = 3'6 4'0 5'6

Table with 8 columns: Bay #, Elev. (ft-in), Length (ft), Member Size Identification, Brace Locations, L Lap Exten, R Lap Exten. Rows include bay configurations for 3'6, 7'6, and 13'0 spacings.

Note : Maximum Distance To Extend Girt From Adjacent Bay is 36.00 inches.

FRAMED OPENINGS:

Table with 6 columns: Width, Height, Sill Ht, Jamb, Header/Sill, Bay Distance. Rows show opening dimensions for 16'0 and 3070 widths.

SIDEWALL PLANE SWC -- (8.250" Inset columns)

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Panel PBR
Panel Width 36 in
Panel Gage 26 ga
Girts 55.0 ksi Yield Strength

Note to Drafting: provide G90 Galvanized Secondary.

GIRTS SPACINGS = 3'6 4'0 5'6

Table with 8 columns: Bay #, Elev. (ft-in), Length (ft), Member Size Identification, Brace Locations, L Lap Exten, R Lap Exten. Rows include bay configurations for 3'6, 7'6, and 13'0 spacings.

Note : Maximum Distance To Extend Girt From Adjacent Bay is 36.00 inches.

Girts at 3'6 used as sill, toe down. Girts at 7'6 used as header, toe up.

FRAMED OPENINGS:

Table with 6 columns: Width, Height, Sill Ht, Jamb, Header/Sill, Bay Distance. Row shows opening dimensions for 3'0 width with 'GIRTS USED' noted in the header/sill column.

Metallic

Design Summary Program

User: sgutierrez

Job Number: 66354A

Endwall Plane EWB Design NON-EXPANDABLE FRAME

R:\jobs\Active\Eng\17-B-66354\ver01-sgutierrez\BLDG-A\run01\AwalleEWB_01.edf

Panel PBR

Panel Width 36 in Panel Gage 26 ga

Girts 55.0 ksi Yield Strength

Note to Drafting: provide G90 Galvanized Secondary.

Girts Spacings = 3'6 4'0 5'6

Bay #	Elev. (ft-in)	Length (ft)	Member Size Identification	Brace Locations	L Lap Exten	R Lap Exten
1,6	3'6	2.604	8X2.5Z16	None	S 0.000	0.000 S
1,6	7'6	2.604	8X2.5Z16	None	S 0.000	0.000 S
1	13'0	2.604	8X2.5Z16	None	S 0.000	0.000 S
2	13'0	13.500	8X2.5Z16	None	S 0.000	0.000 S
3	13'0	13.708	8X2.5Z16	None	S 0.000	0.000 S
4	13'0	12.708	8X2.5Z16	None	S 0.000	0.000 S
5	13'0	13.500	8X2.5Z16	None	S 0.000	0.000 S
6	13'0	2.604	8X2.5Z16	None	S 0.000	0.000 S

OPEN AREAS: open to bi-fold door, see details

Size	Wall	Distance
53'5 x 11'8	EWB	3'3-1/2

COLUMNS ----- (0.000" Flush columns)

Col #	Dist. from left	Description	Member Size	Ident.	Base Elev (ft)	Base plate design information
1-E	3 292'	<u>W8X40</u>	50.0 ksi		0.0000'	0.375" BP thk w/(4)-0.625" A36
1-D.2	16 792'	W8X10	50.0 ksi		11.6667'	<u>gable post, see bifold door details</u>
1-C.5	30 500'	W8X10	50.0 ksi		11.6667'	<u>gable post, see bifold door details</u>
1-B.7	43 208'	W8X10	50.0 ksi		11.6667'	<u>gable post, see bifold door details</u>
1-B	56 708'	<u>W8X40</u>	50.0 ksi		0.0000'	0.375" BP thk w/(4)-0.625" A36

ENDWALL COLUMN TO BRIDGE CHANNEL CONNECTIONS:

STRUT-TO-COLUMN CLIP

COL. NO. ENDWALL PLANE 1

PLANE SWC-

- 1-E BETWEEN PURLINS, USING TYPE 3 CONN., (4)-1/2" A325N
PC75 (0.3750") (4)-1/2" A325N
NO COLUMN EXTENSION, NO BRIDGE CHANNEL
- 1-D.2 BETWEEN PURLINS, USING TYPE 3 CONN., (4)-1/2" A325N
CF Brdg Channel (0.3750") (4)-3/4" A325N
NO COLUMN EXTENSION, 8X2.5C12 BRIDGE CHANNEL
- 1-C.5 AT PEAK, TYPE 3 CONN., (4)-1/2" A325N
CF Brdg Channel (0.3750") (4)-3/4" A325N
NO COLUMN EXTENSION, 8X2.5C12 BRIDGE CHANNEL
- 1-B.7 BETWEEN PURLINS, USING TYPE 3 CONN., (4)-1/2" A325N
CF Brdg Channel (0.3750") (4)-3/4" A325N
NO COLUMN EXTENSION, 8X2.5C12 BRIDGE CHANNEL
- 1-B BETWEEN PURLINS, USING TYPE 3 CONN., (4)-1/2" A325N
PC75 (0.3750") (4)-1/2" A325N
NO COLUMN EXTENSION, NO BRIDGE CHANNEL

PLANE SWA

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Design Summary Program

User: sgutierrez Job Number: 66354A

Endwall Plane EWD Design BEARING FRAME

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Panel PBR
Panel Width 36 in
Panel Gage 26 ga

RAFTERS -----

Table with 5 columns: Mem #, Description, Length (ft), Start (ft), End (ft). Rows include rafters 1 and 2 with member sizes (W8X10 50.0 ksi) and connection details.

Flange Braces at following purlins (horizontal distance from eave) :
PLANE SWA, SWC: 14.500

Girts 55.0 ksi Yield Strength

Note to Drafting: provide G90 Galvanized Secondary.

Girts Spacings : 3'6 4'0 5'6

Table with 8 columns: Bay #, Elev. (ft-in), Length (ft), Member Size Identification, Brace Locations, L Lap Exten, R Lap Exten. Rows list girt spacings for bays 1, 2, and 3.

COLUMNS ----- (0.000" Flush columns)

Table with 5 columns: Col #, Dist. from left, Description, Base Elev (ft), Base plate design information. Rows 3-A through 3-F describe column details.

ENDWALL COLUMN TO BRIDGE CHANNEL CONNECTIONS:

STRUT-TO-COLUMN CLIP

COL. NO. ENDWALL PLANE 3

PLANE SWA:

3-C BETWEEN PURLINS, USING TYPE 3 CONN., (4)-1/2" A325N
CF Brdg Channel (0.3750") (4)-3/4" A325N
W8X10 COLUMN EXTENSION w/ 12.000 " LAP LENGTH; 8X2.5C12 BRIDGE CHANNEL
3-D BETWEEN PURLINS, USING TYPE 3 CONN., (4)-1/2" A325N
CF Brdg Channel (0.3750") (4)-3/4" A325N
W8X10 COLUMN EXTENSION w/ 12.000 " LAP LENGTH; 8X2.5C12 BRIDGE CHANNEL

PLANE SWC:

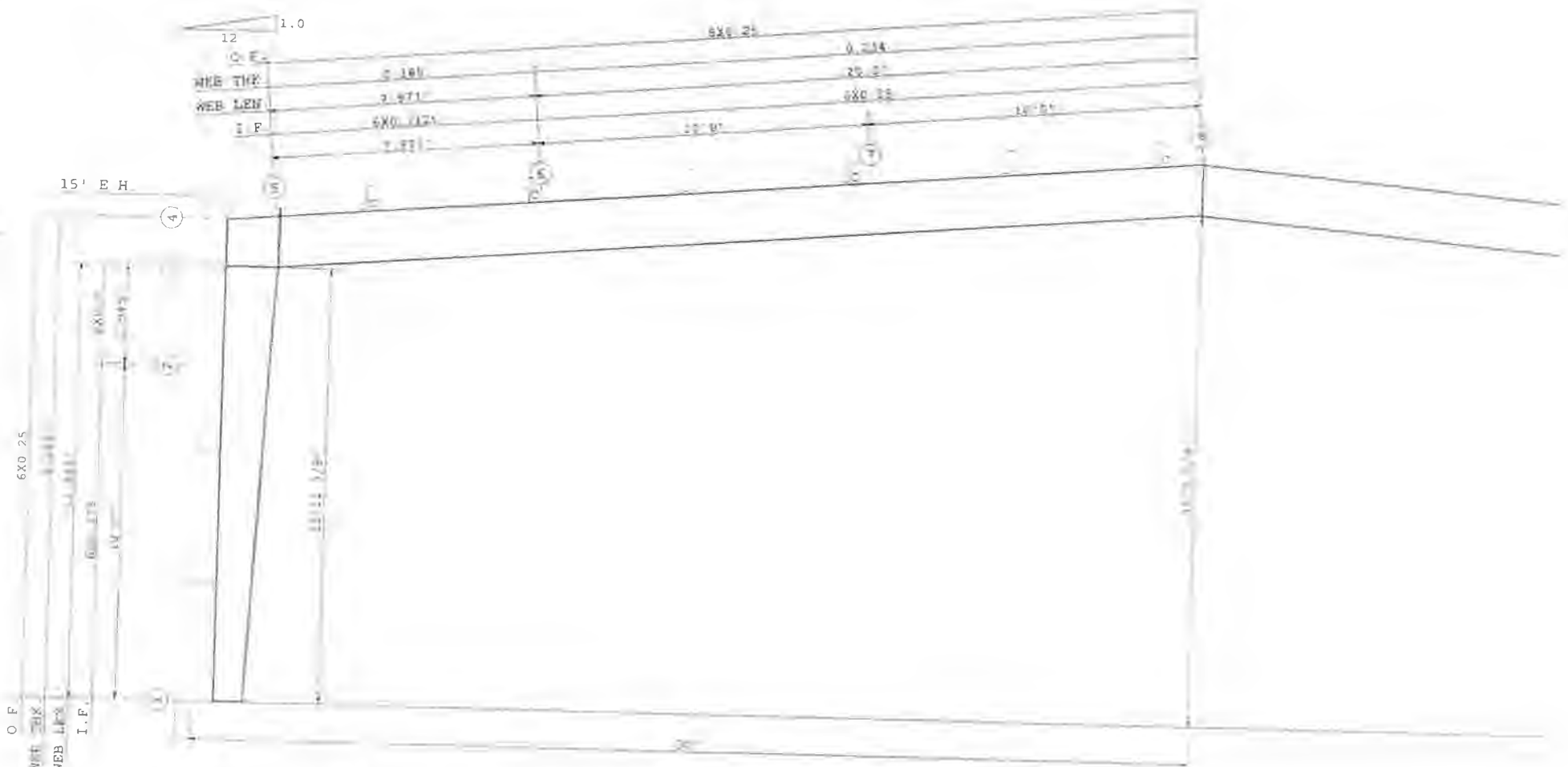
Metallic Building Systems

FRAME ID #11
cs 60./15./13.083 20./127./0

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JOB NAME:66354A FILE:a_frame 1.fra

LOCATION: Gridlines
DETAIL FILE: tive\Eng\17-B-66354\ver01-sgutierrez\BLDG-A\Drftg\x11L
BOLTS:A325 SNUG TIGHT WEIGHT: 1932 lbs
PURLINS (horz from eave) :8"-Z 5@4'10",4'6 3/4"
PURLINS (vert from floor) : 6' 2 3/4",4' 5' 6" (8.25")

- (1) All sectional dimensions are in inches.
- (2) All Flange lengths are measured along outer flange.



CONNECTION DETAILS : GRIDLINES * = 1

Location	1 *-F	2	3	4	5	6	7	8
Web Dep.	10.0	18-1796	18.0	N/A	18.0	18.0	18.0	18.0
Type	BASE	SPLICE	HORZ STF	CAP (EXT)	3E/2F	SPLICE	SPLICE	2E/2E
Plate(DN)	6 0X0 375	N/A	2 75X0 3125	6 0X0 25	6 0X0 5	N/A	N/A	6.0X0.5
Plate(UP)	N/A	N/A	N/A	N/A	6.0X0.5	N/A	N/A	6.0X0.5
Bolts	(4) -3/4	N/A	N/A	N/A	(10) -3/4	N/A	N/A	(8) -3/4

Metallic Building Systems

FRAME ID #11
cs 60./15./13.083 20./127./0

USER NAME:sgutierrez
JOB NAME:66354A

DATE: 6/23/20 TIME:10:58:37 PAGE: 11-2
FILE:a frame 1.fra

LOCATION: Gridlines 1

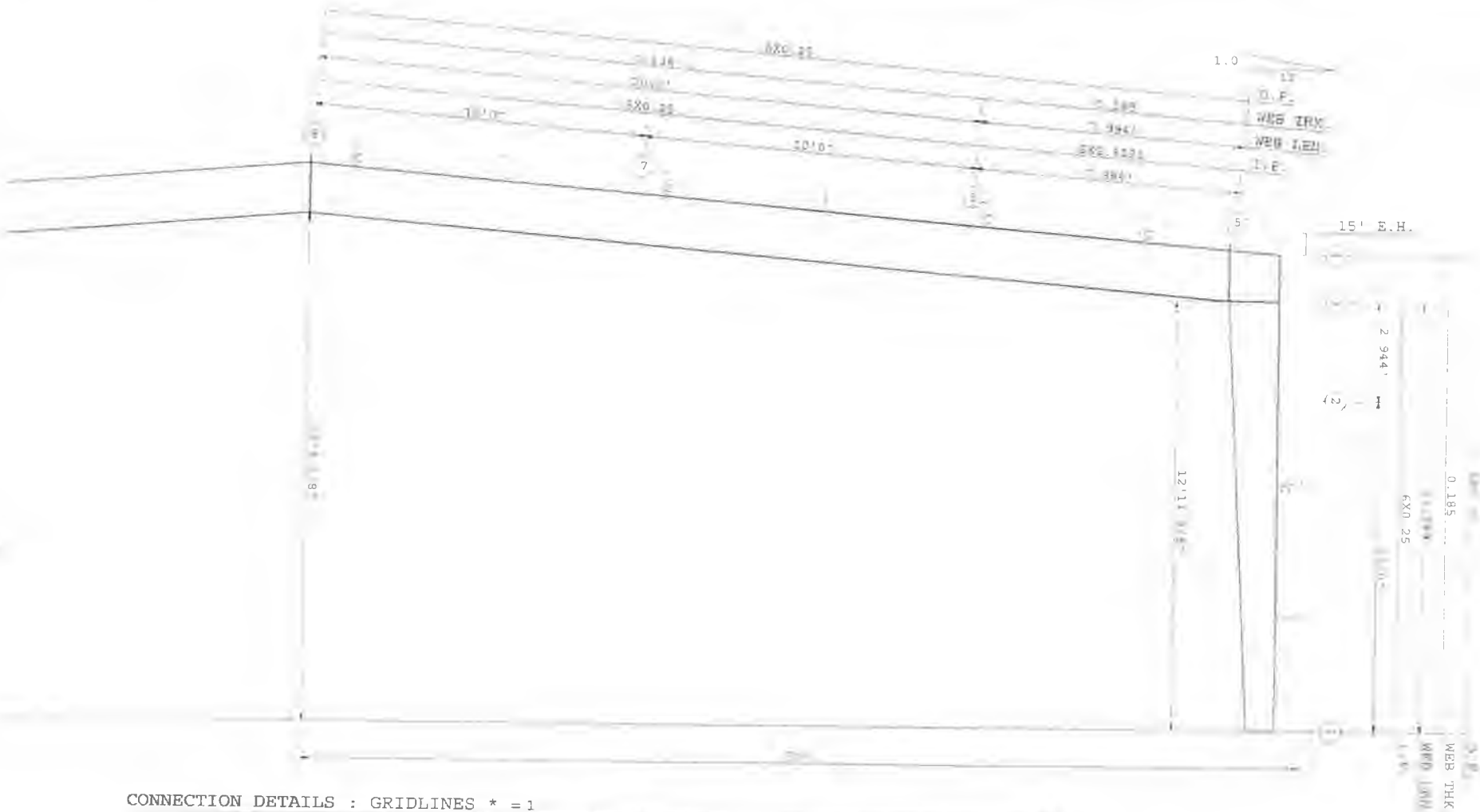
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BOLTS:A325 SNUG TIGHT WEIGHT: 1932 lbs

PURLINS (horz. from eave) :8"-Z 5@4'10",4'6 3/4"

CIRTS (vert. from floor) :5'-3 3/4",4'11 3/4"

- (1) All sectional dimensions are in inches
- (2) All Flange lengths are measured along outer flange.



CONNECTION DETAILS : GRIDLINES * = 1

Location	1 *-A	2	(3)	4	(5)	(6)	(7)	(8)
Web Dep	10.0	16.1806	18.0	N/A	18.0	18.0	18.0	18.0
Type	BASE	SPLICE	HORZ STF	CAP (EXT)	3E/2F	SPLICE	SPLICE	2E/2E
Plate (DN)	6 0X0.375	N/A	2 75X0 3125	6 0X0.25	6.0X0.5	N/A	N/A	6.0X0.5
Plate (UP)	N/A	N/A	N/A	N/A	6.0X0.5	N/A	N/A	6.0X0.5
Bolts	(4) -3/4	N/A	N/A	N/A	(10) -3/4	N/A	N/A	(8) -3/4

LOCATION: Gridlines 2

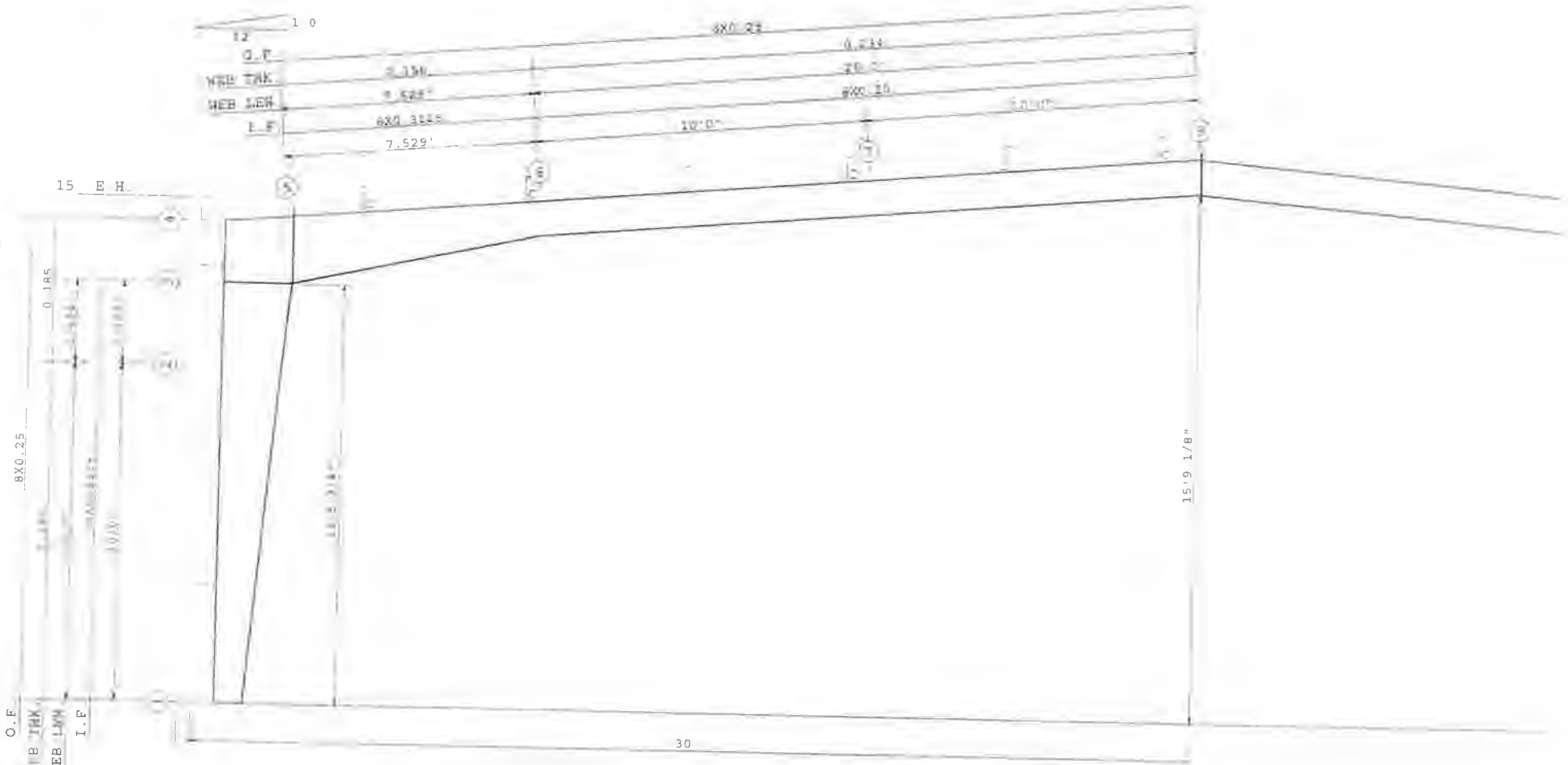
DETAIL FILE: tive\Eng\17-B-66354 ver01-sgutierrez\BLDG-A\Drftg\12L

BOLTS A325 SNUG TIGHT WEIGHT 1900 lbs

PURLINS (horz. from eave) 8"-2 5@4'10" 4'6" 3'4"

GIRDS (vert. from floor) 8"-2 1'6" 4' 5'6" 15 35"

- (1) All sectional dimensions are in inches.
- (2) All Flange lengths are measured along outer flange.



CONNECTION DETAILS : GRIDLINES * = 2

Location	(1)*-F	(2)	(3)	(4)	(5)	(6)	(7)	(8)
Web Dep.	10.0	21.2143	24.0	N/A	24.0	12.0	12.0	12.0
Type	BASE	SPLICE	HORZ STF	CAP (EXT)	3E/2E	SPLICE	SPLICE	2E/2E
Plate(DN)	8 0X0.375	N/A	3 75X0.3125	8 0X0.25	8.0X0.5	N/A	N/A	6 0X0.5
Plate(UP)	N/A	N/A	N/A	N/A	6.0X0.5	N/A	N/A	6.0X0.5
Bolts	(4) -3/4	N/A	N/A	N/A	(10) -3/4	N/A	N/A	(8) -3/4

Metallic Building Systems

FRAME ID #12
cs 60./15./30.312 20./127./0-

USER NAME:sgutierrez
JOB NAME:66354A

DATE: 6/23/20 TIME:10:58:44 PAGE: 12-2
FILE:a frame 2.fra

LOCATION: Gridlines 2

DETAIL FILE: tive\Eng\17-a-66154 ver01-sgutierrez\BLDG-A Drftg\xl-R

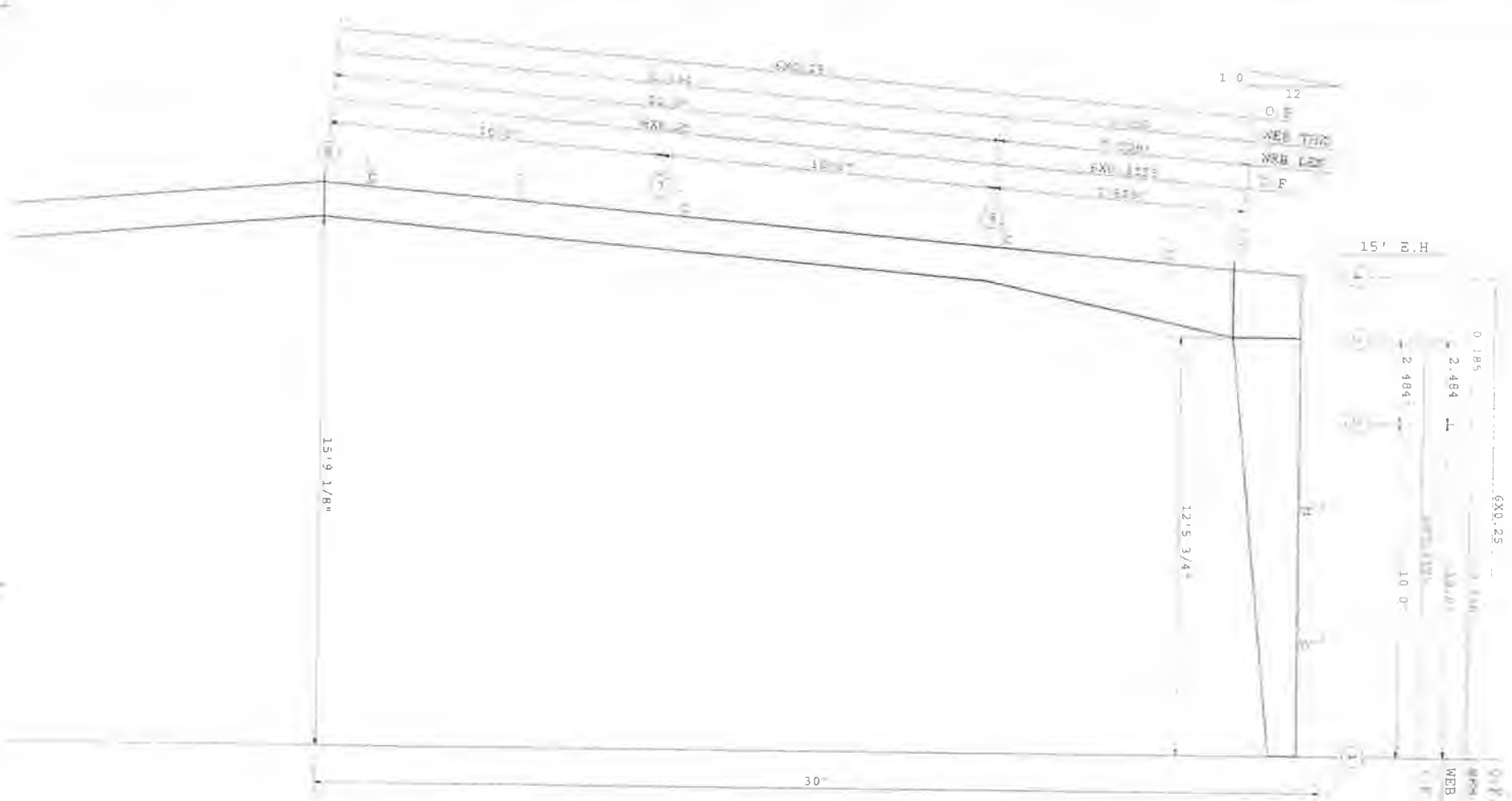
BOLTS:A325 SNUG TIGHT WEIGHT- 190 lbs

PURLINS (horz. from eave) 18'-Z 5@4'10" 4 6 1/4"

GIRTS (vert. from floor) 18'-Z 5@4'10" 4 6 1/4"

(1) All sectional dimensions are in inches.

(2) All Flange lengths are measured along outer flange

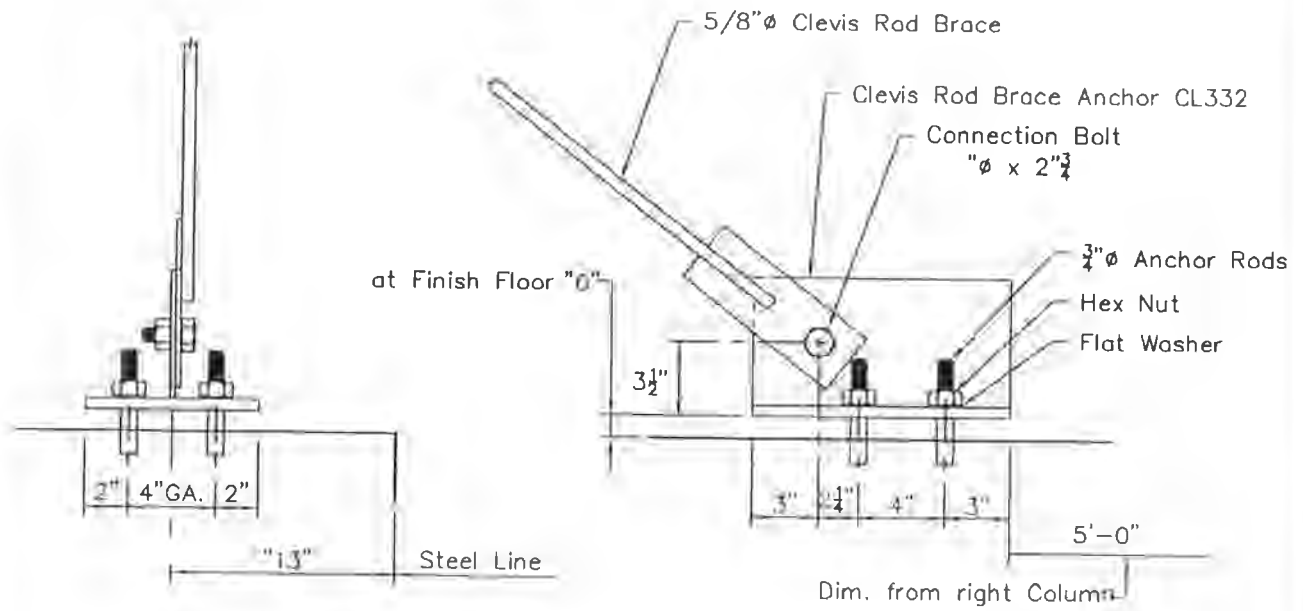


CONNECTION DETAILS : GRIDLINES * = 2

Location	(1)*-A	(2)	(3)	(4)	(5)	(6)	(7)	(8)
Web Dep.	10.0	21.2143	24.0	N/A	24.0	12.0	12.0	12.0
Type	BASE	SPLICE	HORZ STF	CAP (EXT)	3E/2E	SPLICE	SPLICE	2E/2E
Plate (DN)	6.0X0.375	N/A	2.75X0.3125	6.0X0.25	6.0X0.5	N/A	N/A	6.0X0.5
Plate (UP)	N/A	N/A	N/A	N/A	6.0X0.5	N/A	N/A	6.0X0.5
Bolts	(4)-3/4	N/A	N/A	N/A	(10)-3/4	N/A	N/A	(8)-3/4

5/8"∅ Clevis Rod Brace Anchor
Detail A

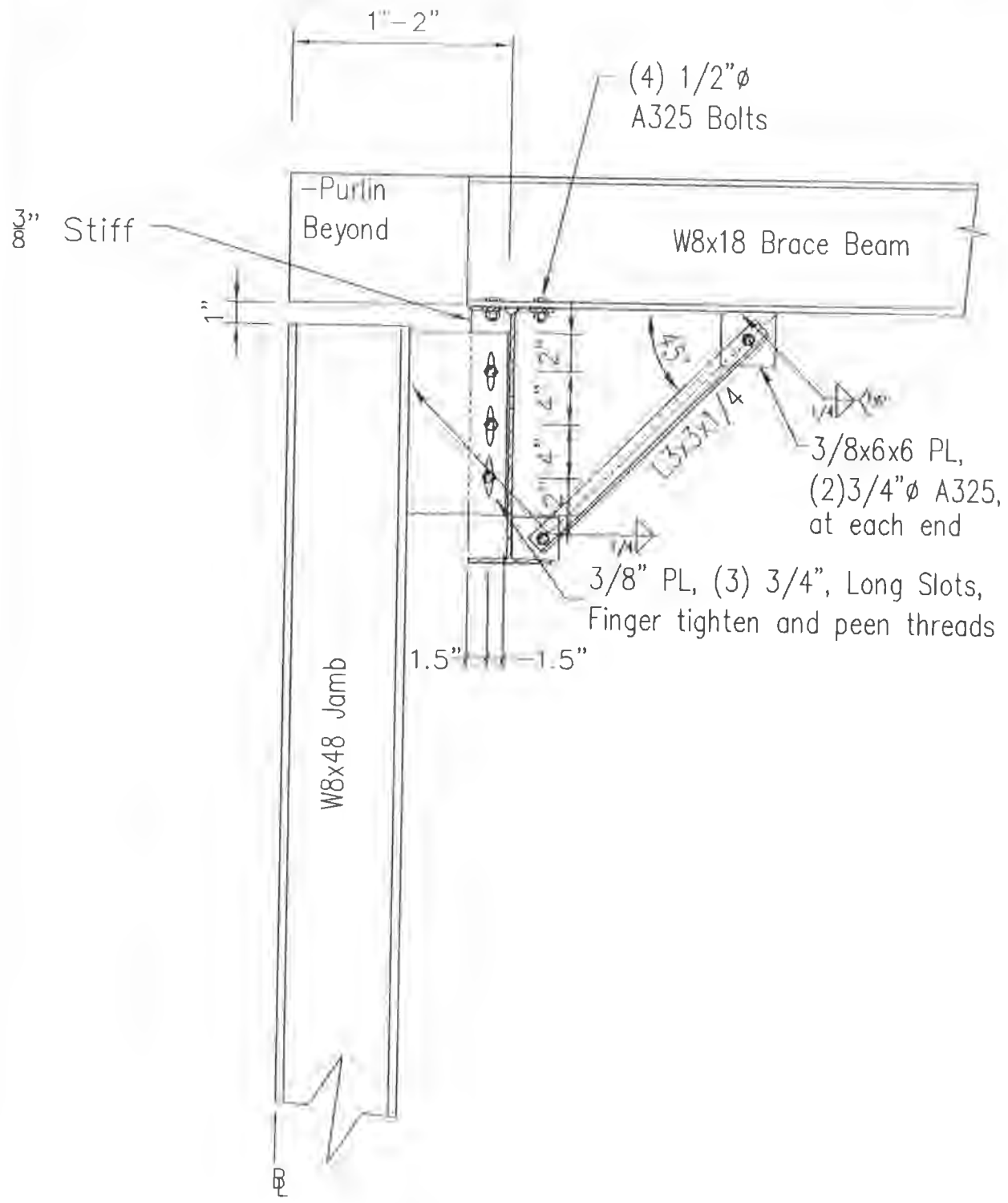
JOB NO.
17-B-66354



Rel #	A	
Date	Rev	
Jun '20	00	

Schweiss Hydraulic Door
Jamb Top Conn
Detail B

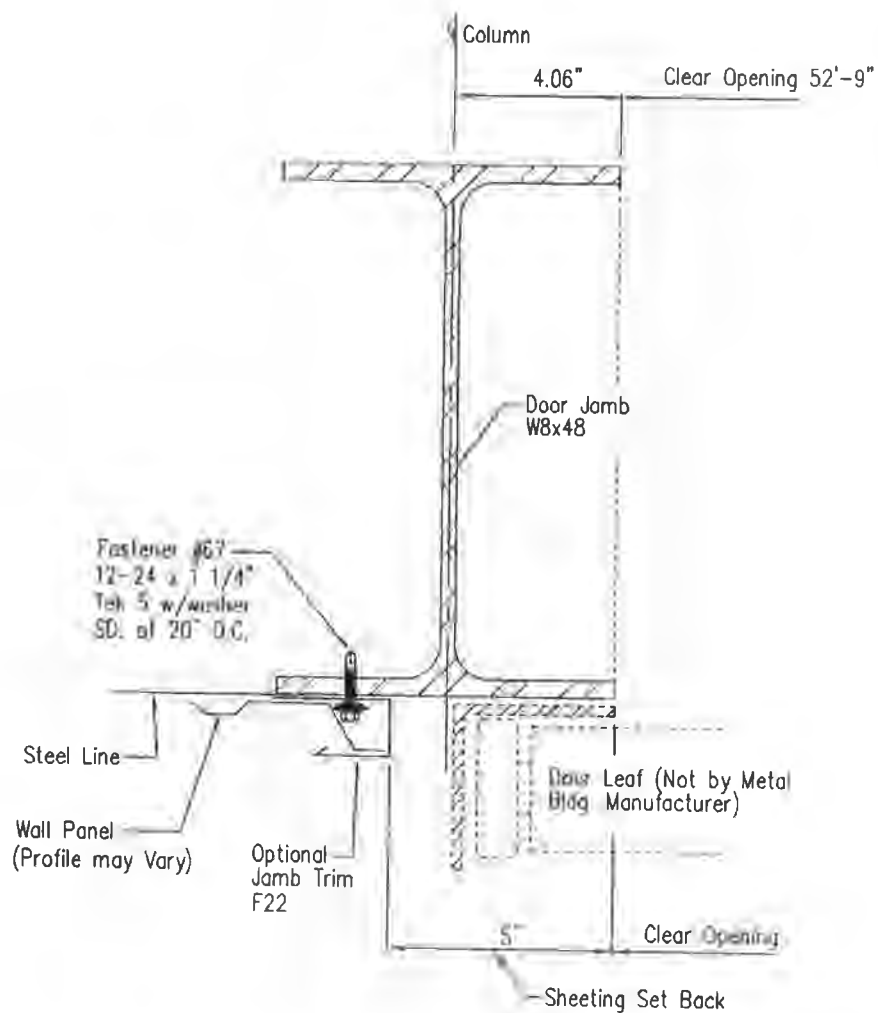
Job Number
17-B-66354



Ref #	A	
Date	Rev	
Jun '20	00	

Schweiss Hydraulic Door
Jamb Base
Detail C

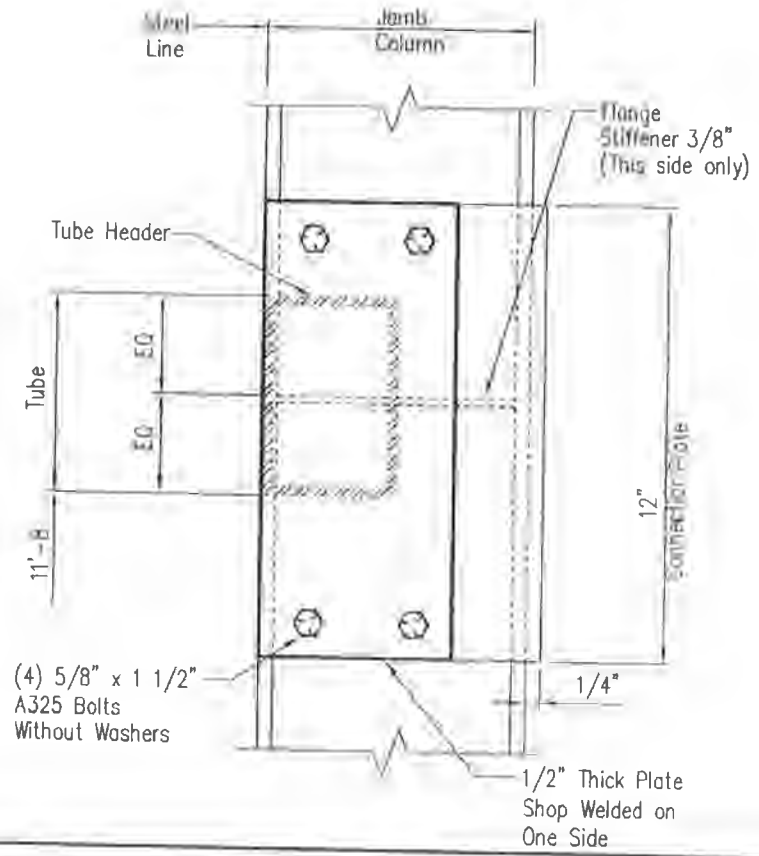
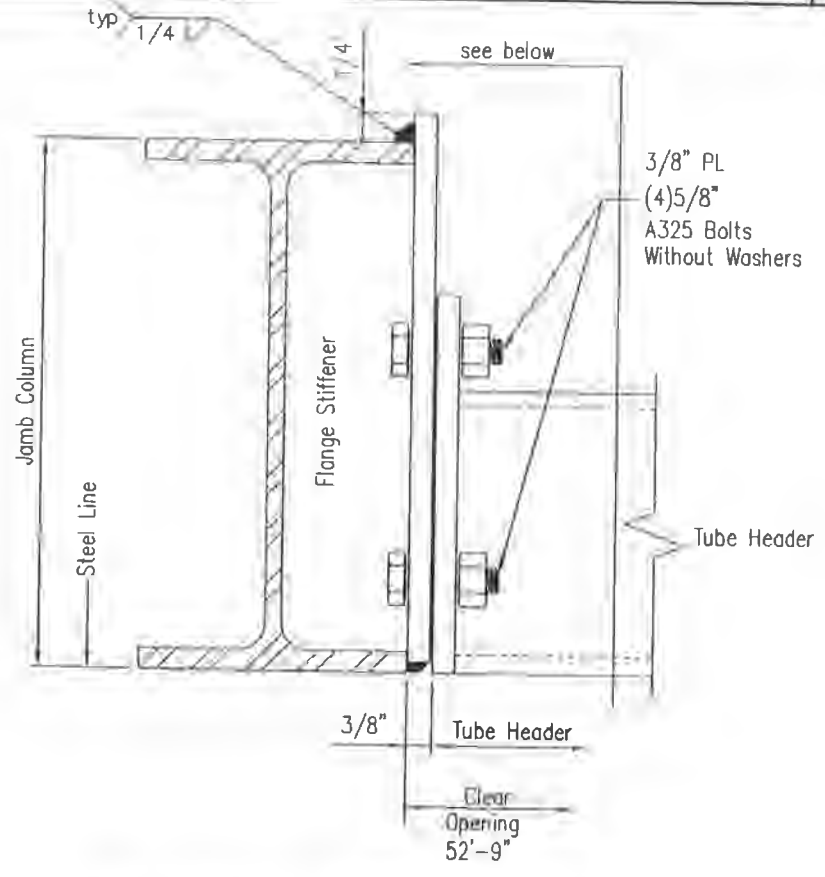
Job Number
17-B-66354



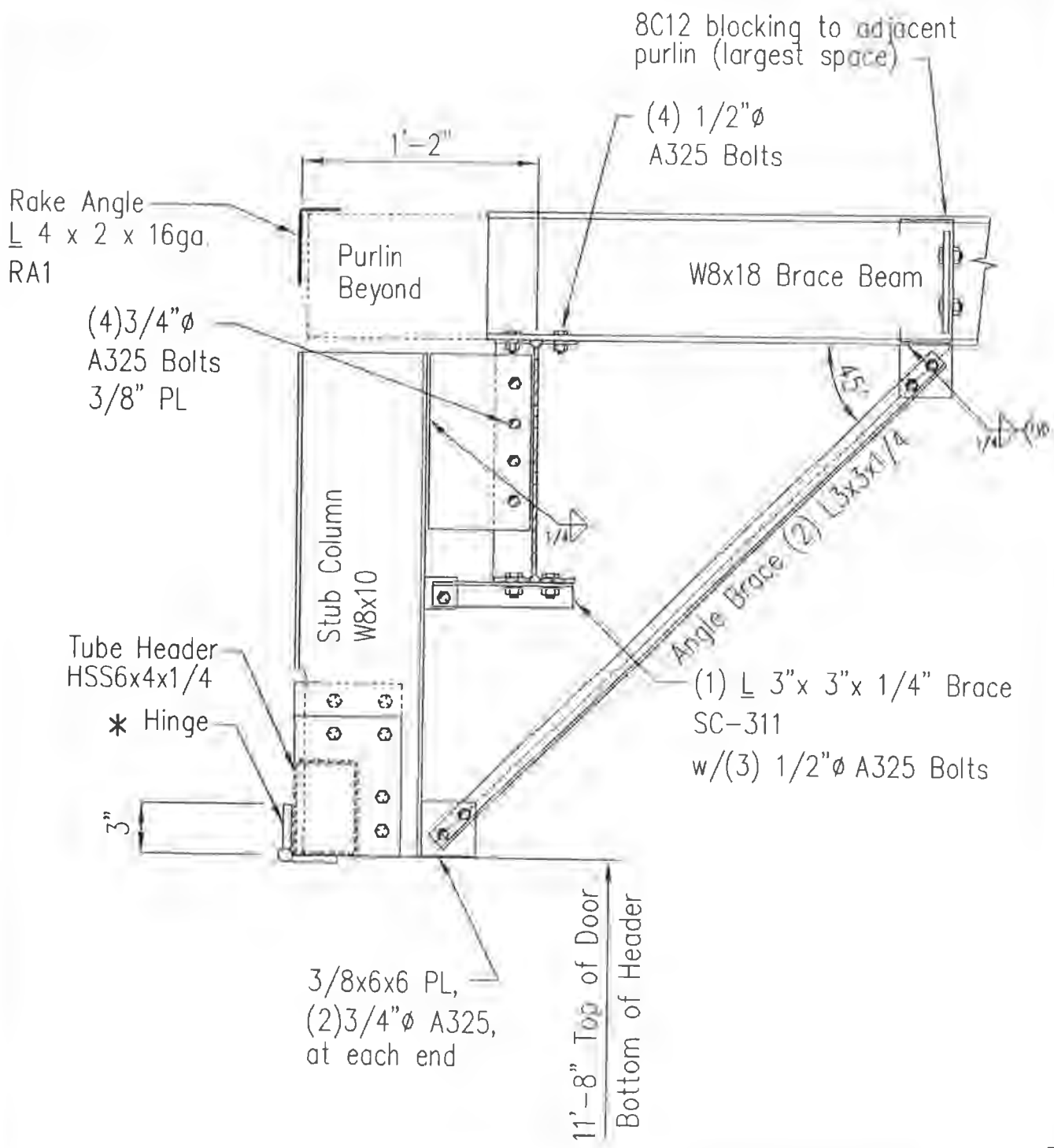
Ref#	A	
Date	Jun '20	Rev 00

**Schweiss Hydraulic Door
Header to Jamb Conn
Detail D**

Job Number
17-B-66354



Ref #	A		Schweiss Hydraulic Door Stub Post Conn Detail E	Job Number 17-B-66354
Date	Jun '20	Rev		

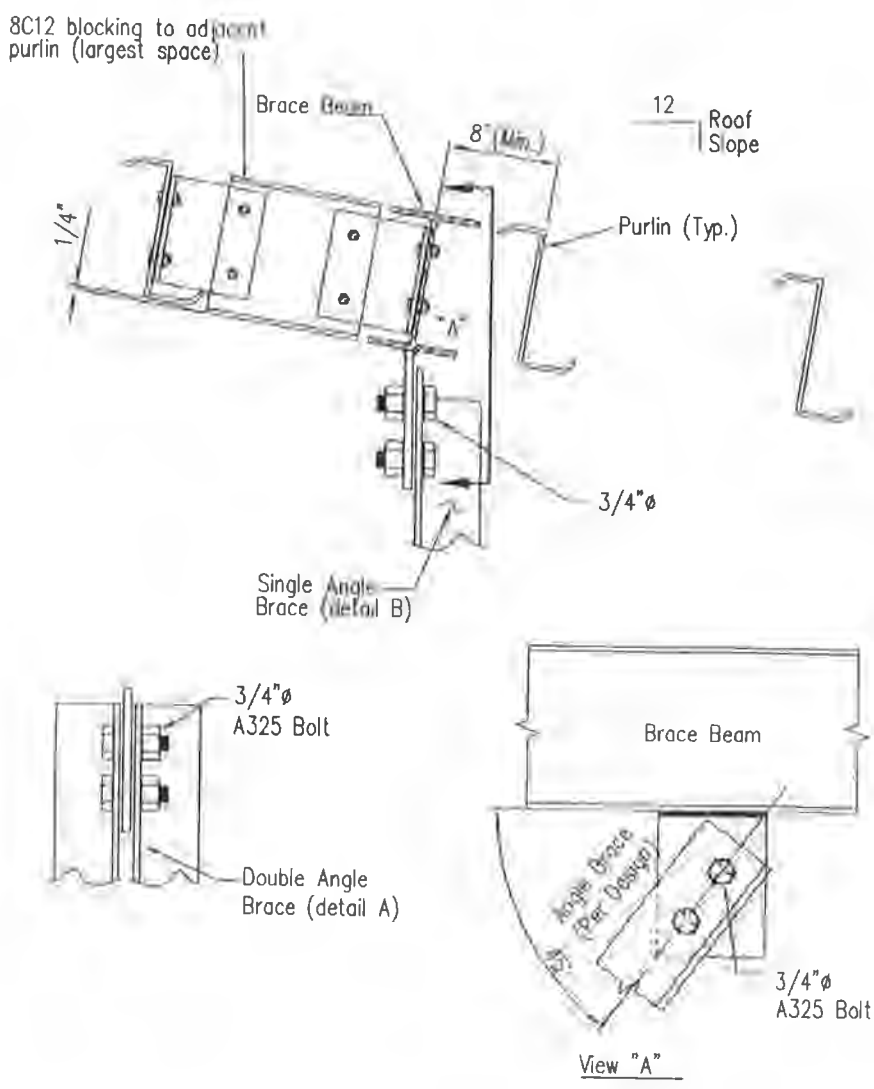


* Hinge is not supplied by Bldg. Mfr.

Rev	A	
Date	Jun '20	Rev
		00

Schweiss Hydraulic Door
kicker to brace beam Conn
Detail F

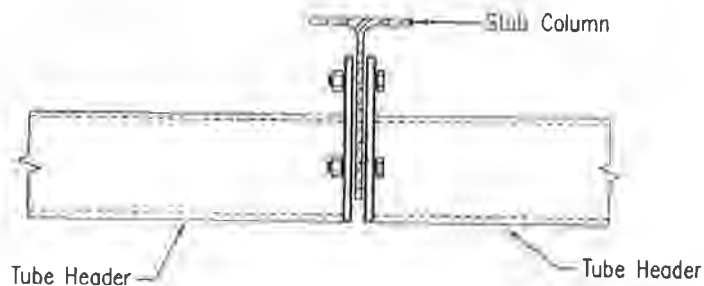
Job Number
17-B-66354



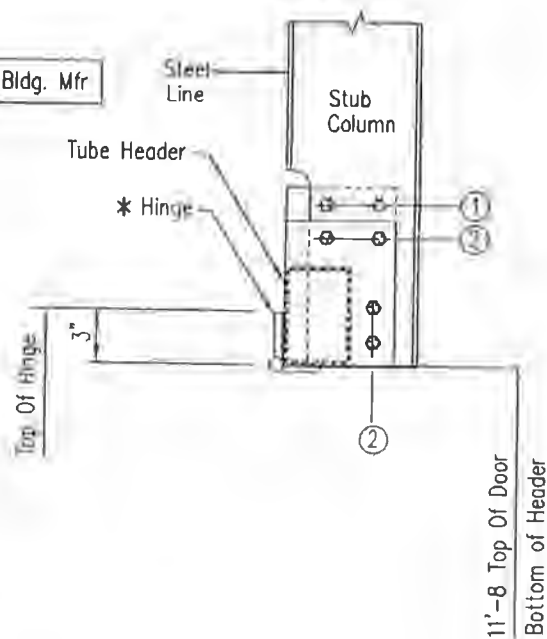
Ref#		A
Date:	Rev:	
Jun '20	00	

Schweiss Hydraulic Door
Header to Stub Conn
Detail G

Job Number
17-B-66354



* Hinge is not supplied by Bldg. Mfr



- ① Erection Aid Bolts.
Use (2) 5/8" ϕ x 1 1/2"
A325 Bolts

Temporarily to hold
header in place.

- ② Connection Bolts.
Use (2) 5/8" ϕ x 1 3/4"
A325 Bolts

After headers are
in place.



REACTIONS

BUILDER: Robert Kasper
CUSTOMER: Robert Kasper
JOB NUMBER: 17-B-66354

Notes

- 1) The reactions provided are based on the Order Documents at the time of mailing. Any changes to building loads or dimensions may change the reactions. The reactions will be superseded and voided by any future mailing.
- 2) The reactions provided have been created with the following layout (unless noted otherwise).
 - a) A reaction table is provided with the reactions for each load group.
 - b) Rigid Frames
 - (1) Gabled Buildings
 - (a) Left and Right columns are determined as if viewing the left side of the building, as shown on the anchor rod drawing, from the outside of the building.
 - (b) Interior columns are spaced from left side to right side.
 - (2) Single Slope Buildings
 - (a) Left column is the low side column.
 - (b) Right column is the high side column.
 - (c) Interior columns are spaced from low side to high side.
 - c) Endwalls
 - (1) Left and Right columns are determined as if viewing the wall from the outside.
 - (2) Interior columns are spaced from left to right.
 - d) Anchor rod size is determined by shear and tension at the bottom of the base plate. The length of the anchor rod and method of load transfer to the foundation are to be determined by the foundation engineer.
 - e) Anchor rods are A36 or A307 material unless noted otherwise on the anchor rod layout drawing (F1 sheet).
 - f) X-Bracing
 - (1) Rod Bracing reactions have been included in values shown in the reaction tables
 - (2) For IBC and CBC based building codes, when x-bracing is present in the sidewall, individual longitudinal seismic loads (RBUPEQ and RBDWEQ) do not include the amplification factor, Ω_0 .
 - (3) For IBC and CBC based building codes, when x-bracing is present in the endwall, individual transverse seismic loads (EQ) do not include the amplification factor, Ω_0 .
- 3) Reactions are provided as un-factored for each load group applied to the column. The foundation engineer will apply the appropriate load factors and combine the reactions in accordance with the building code and design specifications to determine bearing pressures and concrete design. The factors applied to load groups for the steel column design may be different than the factors used in the foundation design. *Maximum reactions are not provided by the manufacturer* to allow the foundation engineer to determine the correct values for his design procedures and allow for an economical foundation design.

SUPPORT REACTIONS FOR EACH LOAD GROUP

*LOCATION: Gridlines: 1

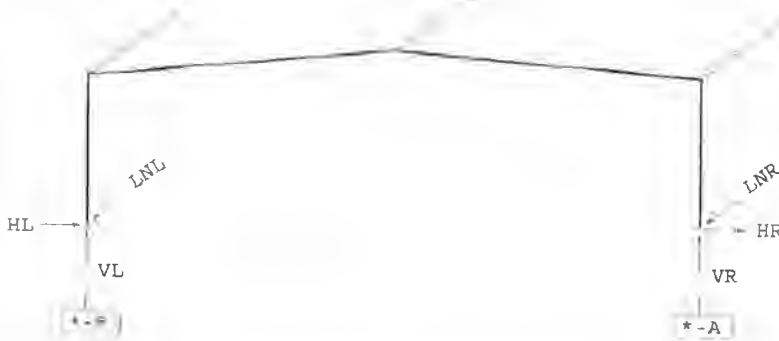
NOTES: (1) All reactions are in kips and kip-ft.

(2) Primary wind load cases are not concurrent.

(3) X-bracing reactions (RBPULW and RBUPEQ) are combined with LWL and LEQ groups only

TIME:10:58:37

REACTION NOTATIONS



LOAD GROUP REACTION TABLE GRIDLINES * = 1

COLUMN	*-F			*-A		
	HL	VL	LNL	HR	VR	LNR
DL	0.9	1.9	0.0	-0.9	1.8	0.0
LL	2.7	4.7	0.0	-2.7	4.7	0.0
COLL	3.4	5.3	0.0	-3.4	5.3	0.0
WL1	-9.1	-13.8	0.0	3.6	-9.2	0.0
WL2	-7.7	-9.6	0.0	2.2	-4.9	0.0
WL3	-3.5	-9.2	0.0	9.1	-13.7	0.0
WL4	-2.1	-5.0	0.0	7.6	-9.5	0.0
LWL1	-4.5	-13.0	0.0	5.0	-9.9	0.0
RBUPLW	0.1	-3.1	-5.2	-0.1	-3.1	-5.2
LWL2	-5.0	-10.0	0.0	4.5	-13.0	0.0
LWL3	-3.0	-8.8	0.0	3.6	-5.7	0.0
LWL4	-3.6	-5.8	0.0	3.1	-8.8	0.0
RBDWLW	-0.0	3.1	0.0	0.0	3.1	0.0

LOAD GROUP DESCRIPTION

- DL Roof Dead Load
- LL Roof Live Load
- COLL Roof Collateral Load
- WL1 Wind from Left to Right with +GCpi
- WL2 Wind from Left to Right with -GCpi
- WL3 Wind from Right to Left with +GCpi
- WL4 Wind from Right to Left with -GCpi
- LWL1 Windward Corner Left with +GCpi
- RBUPLW Upward Acting Rod Brace Load from Long. Wind
- LWL2 Windward Corner Right with +GCpi
- LWL3 Windward Corner Left with -GCpi
- LWL4 Windward Corner Right with -GCpi
- RBDWLW Downward Acting Rod Brace Load from Long. Wind

SUPPORT REACTIONS FOR EACH LOAD GROUP

*LOCATION: Gridlines: 2

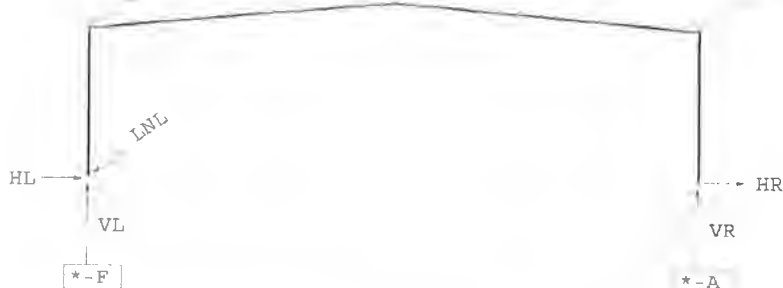
NOTES: (1) All reactions are in kips and kip-ft.

(2) Primary wind load cases are not concurrent.

(3) X-bracing reactions (RBPULW and RBUPEQ) are combined with LWL and LEQ groups only

TIME:10:58:44

REACTION NOTATIONS



LOAD GROUP REACTION TABLE GRIDLINES * - 2

COLUMN	*-F			*-A		
	HL	VL	LNL	HR	VR	LNR
DL	2.0	3.1	0.0	-2.0	3.1	0.0
LL	7.5	10.9	0.0	-7.5	10.9	0.0
COLL	1.2	1.8	0.0	-1.2	1.8	0.0
WL1	-16.6	-22.6	0.0	8.0	-16.0	0.0
WL2	-12.4	-12.8	0.0	3.8	-6.2	0.0
WL3	-8.0	-16.0	0.0	16.6	-22.6	0.0
WL4	-3.8	-6.2	0.0	12.4	12.8	0.0
LWL1	-8.5	-21.3	0.0	9.2	-17.2	0.0
RBUPLW	0.0	-3.1	-5.2	-0.0	0.0	0.0
LWL2	-9.2	-17.2	0.0	8.5	-21.3	0.0
LWL3	-4.3	-11.6	0.0	5.0	-7.4	0.0
LWL4	-5.0	-7.4	0.0	4.3	-11.6	0.0
RBDWLW	-0.0	3.1	0.0	0.0	-0.0	0.0

LOAD GROUP DESCRIPTION

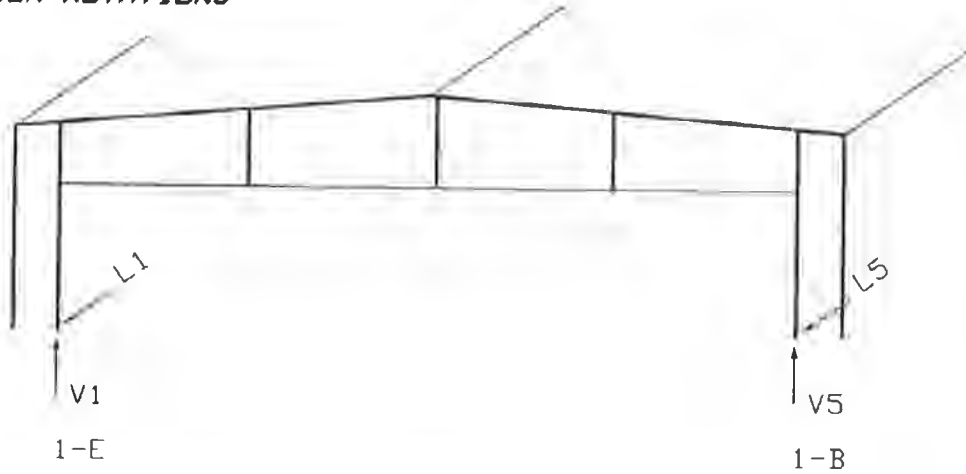
- DL Roof Dead Load
- LL Roof Live Load
- COLL Roof Collateral Load
- WL1 Wind from Left to Right with +GCpi
- WL2 Wind from Left to Right with -GCpi
- WL3 Wind from Right to Left with +GCpi
- WL4 Wind from Right to Left with -GCpi
- LWL1 Windward Corner Left with +GCpi
- RBUPLW Upward Acting Rod Brace Load from Long. Wind
- LWL2 Windward Corner Right with +GCpi
- LWL3 Windward Corner Left with -GCpi
- LWL4 Windward Corner Right with -GCpi
- RBDWLW Downward Acting Rod Brace Load from Long. Wind

FRAME DESCRIPTION: USER NAME: sgutierr DATE: 6/23/20 PAGE: EW-1
 Endwall EWB JOB NAME: 66354A FILE: REW3BLDG1
 PATH: R:\jobs\Active\Eng\17-B-66354\ver01-sgutierrez\BLDG-A\run01\

SUPPORT REACTIONS FOR EACH LOAD GROUP
 NOTE: All reactions are in kips and kip-ft

TIME: 09: 44: 37

REACTION NOTATIONS



LOAD GROUP REACTION TABLE

COLUMN	1-E		1-B	
	V1	L1	V5	L5
D	3.0	11.3	3.0	11.3
W+	-2.2	8.2	-2.2	8.2
W-	-2.2	-8.2	-2.2	-8.2

LOAD GROUP DESCRIPTION

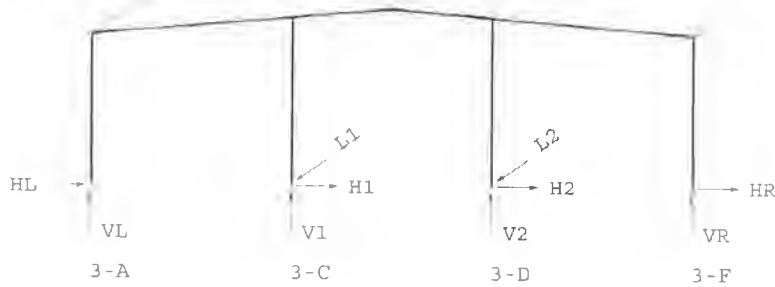
- D : DEAD LOAD
- W+ : WIND LOAD AS AN INWARD ACTING PRESSURE
- W- : WIND LOAD AS AN OUTWARD ACTING SUCTION

PATH: R:\jobs\Active\Eng\17-B-66354\ver01-sgutierrez\BLDG-A\run01\

SUPPORT REACTIONS FOR EACH LOAD GROUP
NOTE: All reactions are in kips and kip-ft

TIME:09:44:37

REACTION NOTATIONS



LOAD GROUP REACTION TABLE

LOAD GROUP	3-A			3-C			3-D			3-F		
	HL	VL	LL	H1	V1	L1	H2	V2	L2	HR	VR	LR
D	0.0	0.5	0	0	1.1	0	0	1.1	0	0.0	0.5	0
C	0.0	1.0	0	0	3.9	0.0	0	0.7	0	0.0	0.2	0
L	0.0	2.1	0	0	5.1	0.0	0	5.1	0.0	0.0	2.1	0
W+	-0.1	-4.0	0	0	-9.4	4.0	0	-9.4	4.0	0.1	-4.0	0
W	-0.1	-4.0	0	0	-9.4	-4.4	0	-9.4	-4.4	0.1	-4.0	0
WR	-0.1	-4.0	0	0	-7.5	0.0	2.2	-11.2	0.0	0.1	-4.0	0
WL	-0.1	-4.0	0	-2.2	-11.2	0.0	0	-7.5	0.0	0.1	-4.0	0

LOAD GROUP DESCRIPTION

- D : DEAD LOAD
- C : COLLATERAL LOAD
- L : LIVE LOAD
- W+ : WIND LOAD AS AN INWARD ACTING PRESSURE
- W- : WIND LOAD AS AN OUTWARD ACTING SUCTION
- WR : WIND FORCE FROM THE RIGHT
- WL : WIND FORCE FROM THE LEFT

SUPPORT REACTIONS FOR EACH LOAD GROUP

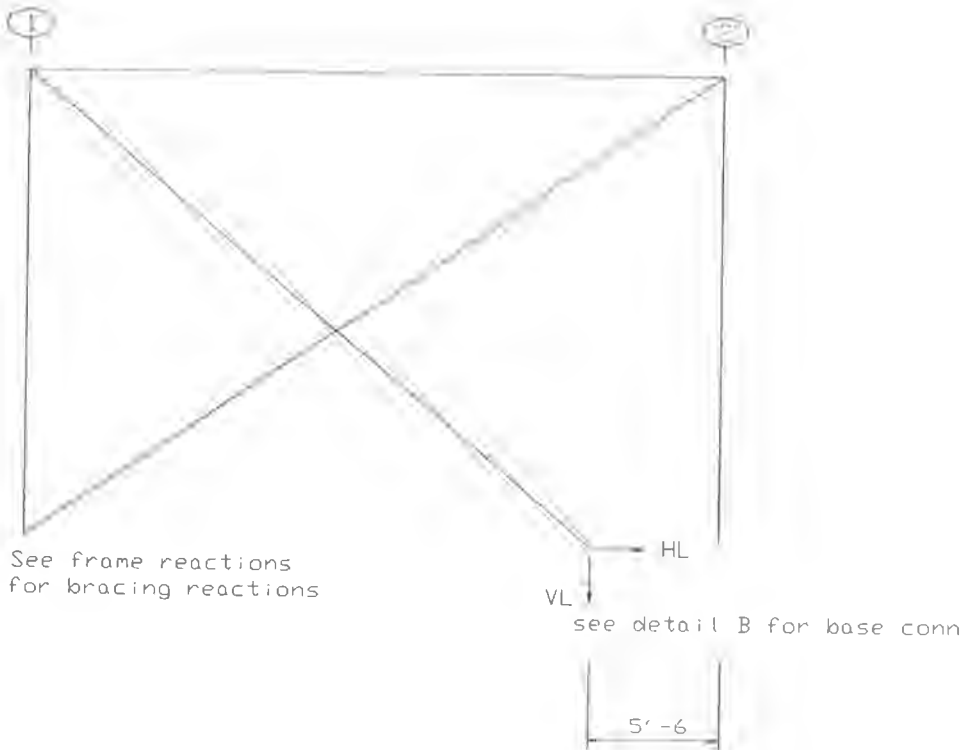
NOTES: (1) All reactions are in kips and kip-ft

JOB NAME: 17-B-66354

(2) The seismic overstrength factor (Ω) is not included in the 'EQ' Load Group reactions

REACTION NOTATIONS

SWA, Line A



LOAD GROUP REACTION TABLE

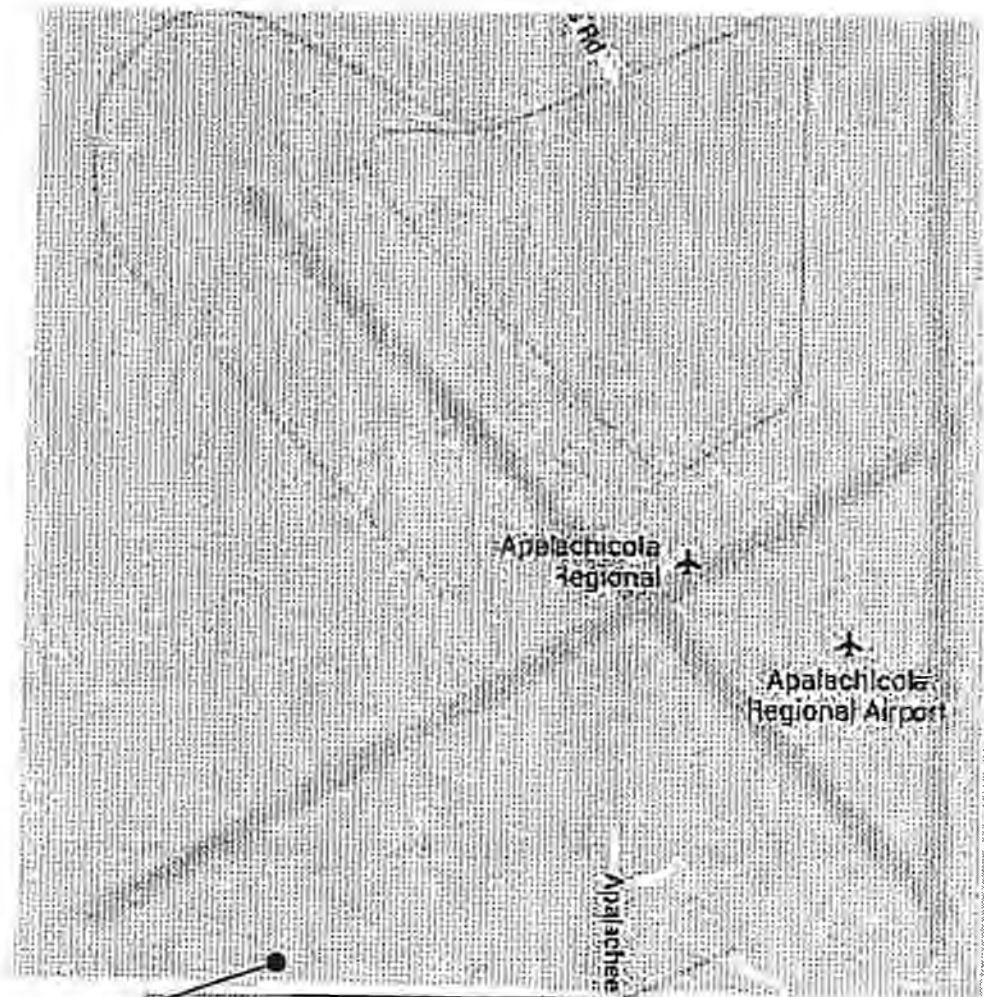
COLUMN	DETAIL A	
	HL	VL
EQ	0.0	0.0
WL	5.2	3.1

LOAD GROUP DESCRIPTION

- EQ : Longitudinal Seismic Load [parallel to sidewall]
- WL : Longitudinal Primary Wind Load

Hatchcock Rd

Hatchcock Rd



Apalachicola Regional Airport

Apalachicola Regional Airport

PROJECT LOCATION

Julie Rd

Julie Rd

98

98

Apalachicola St

Market St Chapman Rd Chapman Dr Alan Dr Bay Shore Dr

98

Apalachicola St

Apalachicola St

Apalachicola St

Brownsville Rd

Brownsville Rd

Chapman

98

98

SITE LOCATION MAP

BASE BID - HANGAR AND SITE WORK

BID ITEM	ITEM DESCRIPTION	UNIT	QTY
101-1	MOBILIZATION	LS	1
102-1	MAINTENANCE OF TRAFFIC	LS	1
104-1	PREVENTION, CONTROL, AND ABATEMENT OF EROSION AND WATER POLLUTION	LS	1
110-1	STRIPPING AND STOCKPILING	SY	1,700
120-1	UNCLASSIFIED EXCAVATION AND EMBANKMENT	LS	1
160-1	6" STABILIZED SUBGRADE	SY	260
285-1	6" LIMEROCK BASE COURSE	SY	240
350-1	6" PORTLAND CEMENT CONCRETE	SY	220
570-1	SODDING, CENTIPEDE	SY	1,350
985-1	PYRAMAT WITH SOD	SY	130
02660-1	POTABLE WATER IMPROVEMENTS	LS	1
02730-1	SANITARY SEWER IMPROVEMENTS	LS	1
AL-1	FLORIDA PUBLIC UTILITIES ALLOWANCE	AL	1

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ABBR

- BFP :
- BM :
- C/O :
- CM :
- CMP :
- CPP :
- ELEC :
- ELEV :
- ES :
- ETP :
- FDOT :
- FFE :
- FO :
- HYD :
- GPS :
- ID :
- INV :
- IR :
- IP :
- LP :
- MES :
- MH :
-

CONTRACTOR SHALL INDEMNIFY OWNER FROM ANY SUCH CLAIMS, PENALTIES, SUITS OR ACTIONS, PUBLIC OR PRIVATE, ADMINISTRATIVE OR JUDICIAL, INCLUDING ATTORNEY'S FEES PAID OR INCURRED BY OR ON BEHALF OF OWNER, JOINTLY OR SEVERALLY, AND/OR THEIR AGENTS AND EMPLOYEES. THE CONTRACTOR FURTHER AGREES, IN THE EVENT OF A CLAIMED VIOLATION OF ANY FEDERAL OR STATE SAFETY AND HEALTH LAW OR REGULATION ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF WORK OR WORK TO BE PERFORMED UNDER THIS CONTRACT, OWNER MAY IMMEDIATELY TAKE WHATEVER ACTION IS DEEMED NECESSARY BY OWNER TO REMEDY THE CLAIMED VIOLATION. ANY AND ALL COSTS OR EXPENSES PAID OR INCURRED BY OWNER IN TAKING SUCH ACTION SHALL BE BORNE BY CONTRACTOR, AND CONTRACTOR AGREES TO PROTECT, HOLD HARMLESS AND INDEMNIFY OWNER AGAINST ANY AND ALL SUCH COSTS OR EXPENSES.

ALL WORK PERFORMED UNDER THE CONTRACT, AND ALL EQUIPMENT, APPLIANCES, TOOLS AND LIKE ITEMS USED IN THE WORK SHALL CONFORM TO APPLICABLE SAFETY CODES AND REGULATIONS OF ANY PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION. IN THE EVENT OF CONFLICTING REQUIREMENTS, THE MORE STRINGENT INTERPRETATION OR REGULATION SHALL GOVERN.

THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT AN EROSION CONTROL PLAN TO MINIMIZE EROSION AND ENSURE FUNCTIONING OF STORMWATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION.

CONTRACTOR AND ITS SUBCONTRACTORS SHALL USE, HANDLE, TRANSPORT, AND DISPOSE OF ALL HAZARDOUS MATERIALS (AS DEFINED PARAGRAPH 38.) IN COMPLIANCE WITH ALL PRESENT FEDERAL, STATE AND LOCAL ENVIRONMENTAL, HEALTH OR SAFETY LAW, INCLUDING, BUT NOT LIMITED TO, ALL SUCH STATUTES, REGULATIONS, RULES, ORDINANCES, CODES, AND RULES OF COMMON LAW.

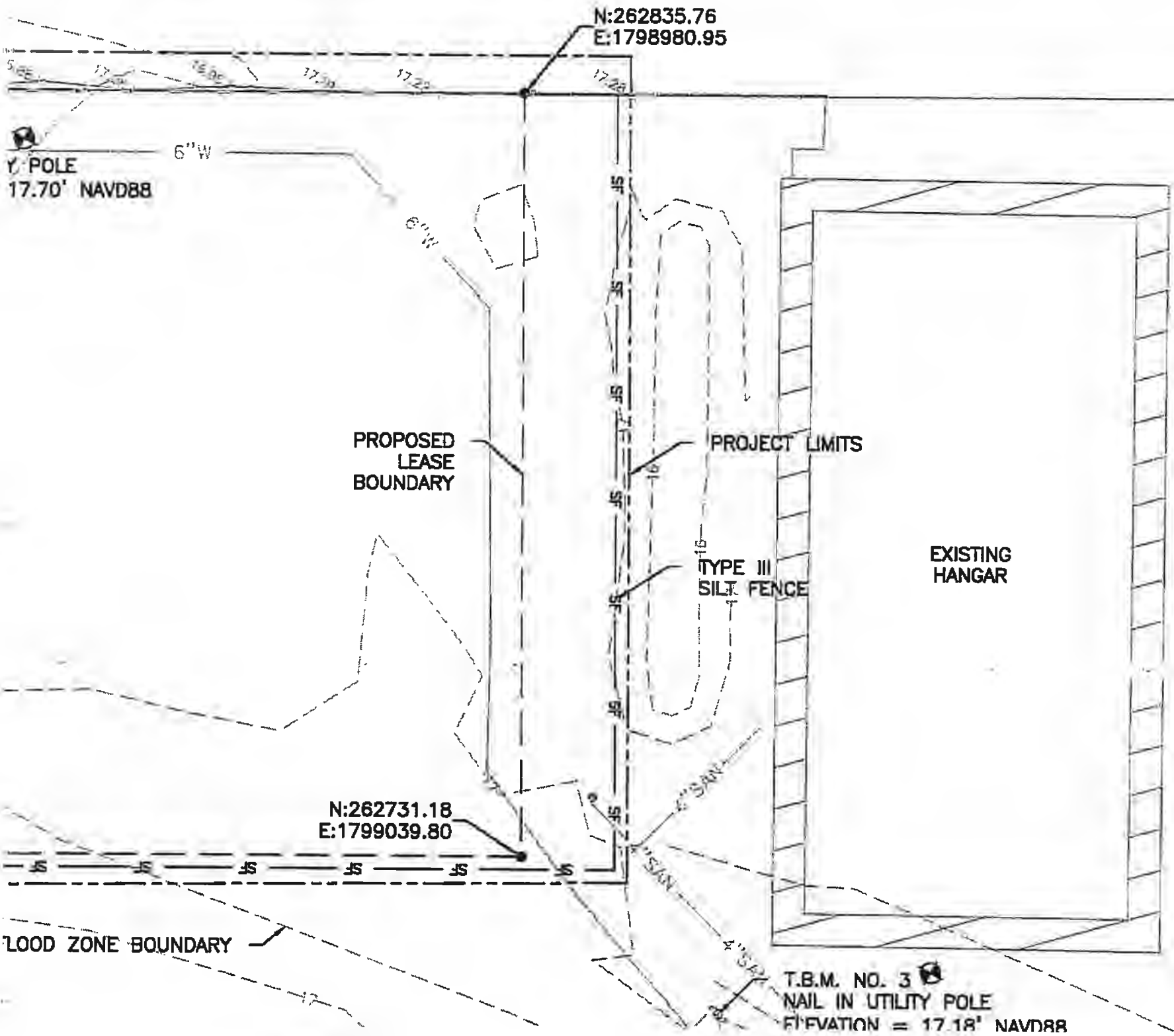
CONTRACTOR FURTHER AGREES THAT CONTRACTOR AND ITS SUBCONTRACTORS SHALL NOT CAUSE THE DISCHARGE, RELEASE OR DISPOSAL OF ANY HAZARDOUS MATERIAL CREATED BY ITS WORK ON OR ABOUT THE JOB SITE. IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS OR PROPERTY.

CONTRACTOR AND ITS SUBCONTRACTORS SHALL, UPON COMPLETION OF PERFORMANCE OF ALL DUTIES UNDER THIS CONTRACT, REMOVE ALL SUPPLIES, MATERIALS, AND WASTE CONTAINING AND HAZARDOUS MATERIAL FROM THE JOB SITE. CONTRACTOR SHALL BEAR FULL FINANCIAL RESPONSIBILITY, AS BETWEEN THE PARTIES OF THIS CONTRACT, FOR THE COMPLIANCE OF CONTRACTOR AND ITS SUBCONTRACTORS WITH THE PROVISIONS OF THIS PARAGRAPH.

CONTRACTOR AGREES TO INDEMNIFY, DEFEND, PROTECT AND HOLD THE OWNER HARMLESS FROM AND AGAINST ANY CLAIMS INCLUDING, WITHOUT LIMITATION, ACTUAL ATTORNEY'S FEES AND ANY COSTS OF INVESTIGATION, SOILS TESTING, GOVERNMENTAL APPROVALS, REMEDIATION AND CLEAN-UP ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE FAILURE OF CONTRACTOR OR ITS SUBCONTRACTORS, OR THEIR AGENTS, EMPLOYEES, OFFICERS, OR REPRESENTATIVES, TO COMPLY WITH THE TERMS OF THIS ARTICLE.

SHOULD CONTRACTOR OR ITS SUBCONTRACTORS DISCHARGE, RELEASE OR DISPOSE OF ANY HAZARDOUS MATERIAL ON OR ABOUT THE JOB SITE IN VIOLATION OF REGULATIONS, CONTRACTOR SHALL IMMEDIATELY SO INFORM OWNER IN WRITING.

IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE



T.B.M. NO. 3
NAIL IN UTILITY POLE
ELEVATION = 17.18' NAVD88

ED
LANGAR
'25'

N:262761.68
E:1798976.74

N:262749.98
E:1798975.43

N:262740.24
E:1798980.74

N:262736.36
E:1798994.34

N:262733.83
E:1798995.75

N:262741.85
E:1799003.99

N:262739.23
E:1799005.45

R21'

R10'

R10'

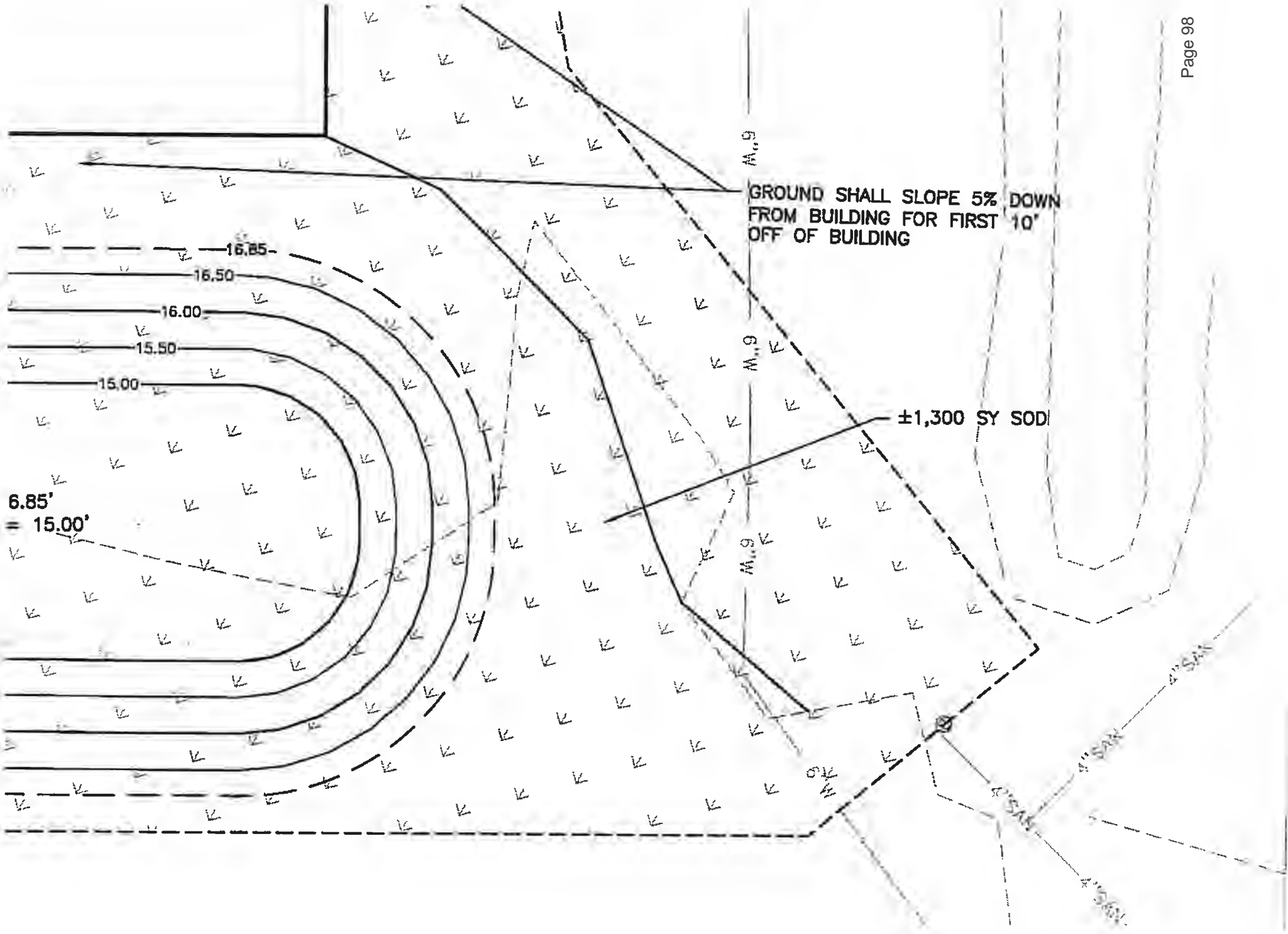
M.9

M.9

M.9

M.9

43594



6.85'
= 15.00'

GROUND SHALL SLOPE 5% DOWN FROM BUILDING FOR FIRST 10' OFF OF BUILDING

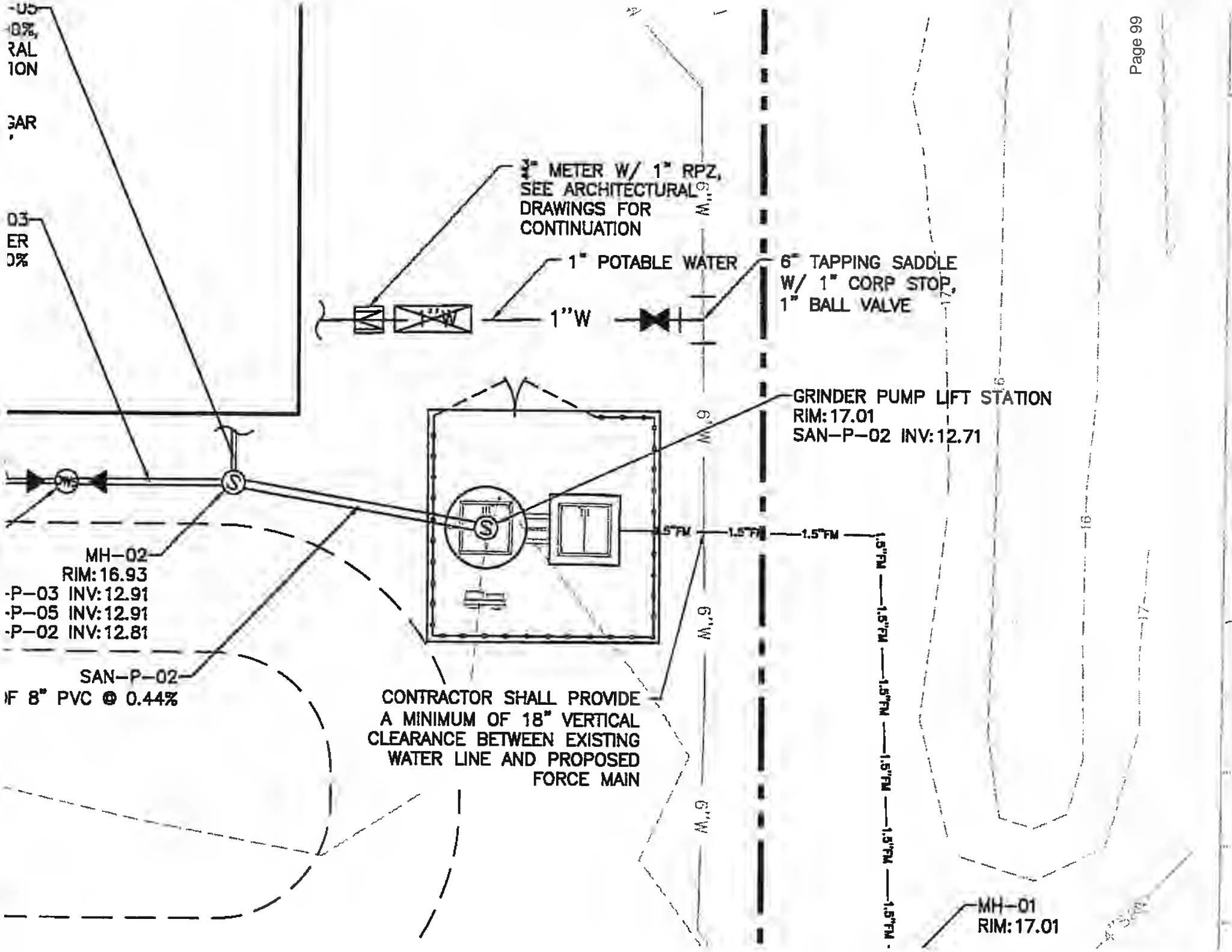
±1,300 SY SODI

M.,9

M.,9

M.,9

4" SAN
4" SAN
4" SAN



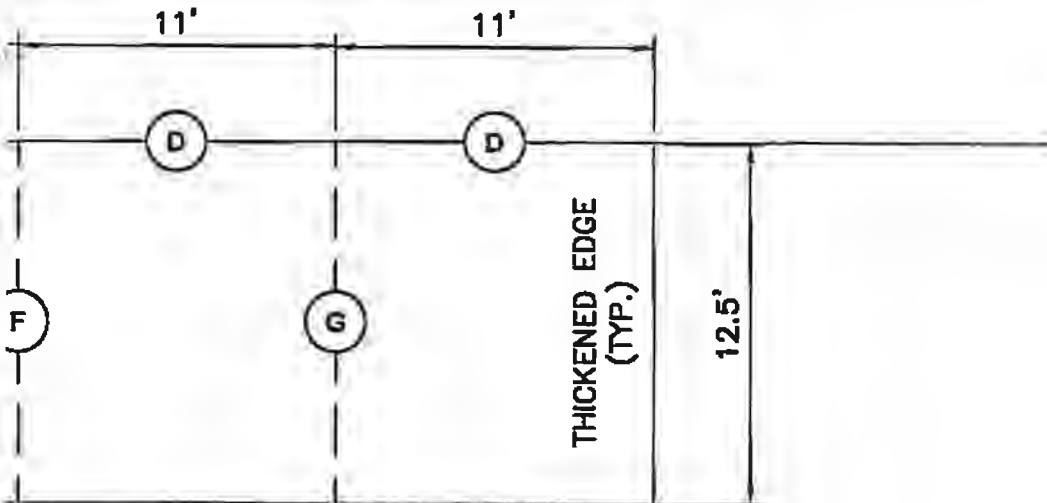
5% MAX. DRY DENSITY (ASTM D-1557)

NATURAL DENSITY

MINIMUM COMPACTION AT LEAST 95% OF MODIFIED PROCTOR MAX. DENSITY (ASTM D-1557) REQUIRED FOR ALL BACKFILLED MATERIALS BENEATH PAVEMENT.

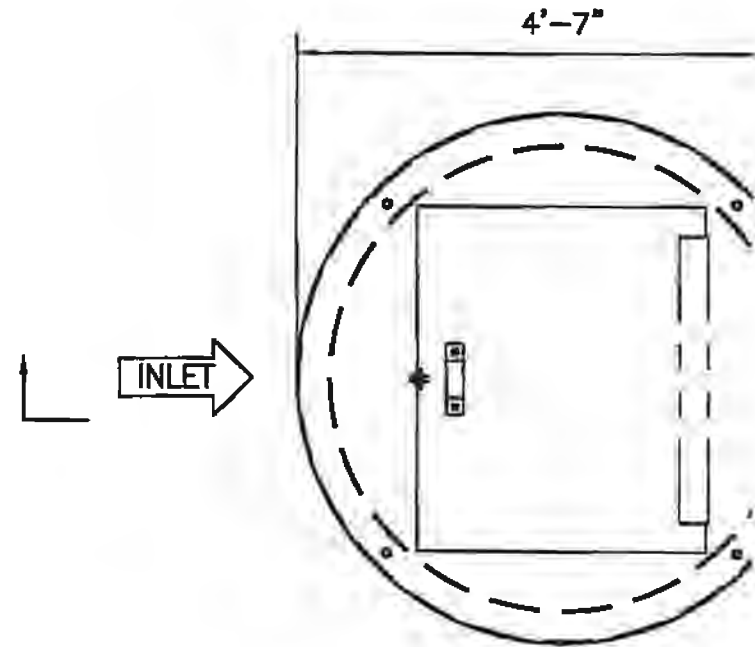
SECTION B - SUBGRADE COMPACTION

N.T.S.



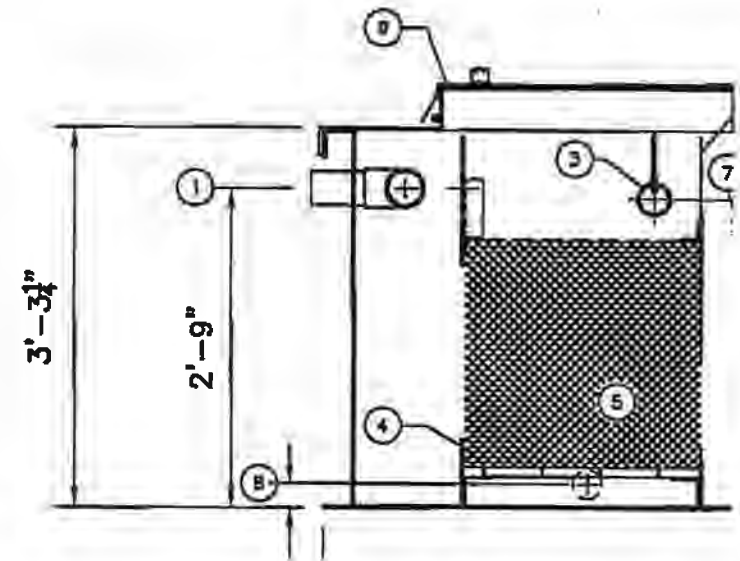
- SILT FENCE BARRIER SHALL BE INSTALLED AS SHOWN ON F AND IN ALL AREAS SUBJECT TO SOIL EROSION SEDIMENTATI

Page 10



S:

ED SEALANTS: A BACKER ROD SHALL BE INSTALLED AS SHOWN ON THE THE PRIMER SHALL BE APPLIED IN THE CORRECT SEQUENCE IN E WITH THE SEALANT MANUFACTURER'S INSTRUCTIONS PRIOR TO PLACEMENT NT SEALER. THE SEALANT SHALL BE APPLIED IN CONTINUOUS OPERATION IMPROVED MECHANICAL DRIVE THAT WILL FORCE THE SEALANT TO THE BOTTOM NT AND COMPLETELY FILL THE JOINT WITHOUT SPILLING THE MATERIAL ON CE OF THE PAVEMENT AND SHALL ADHERE TO THE CONCRETE AND BE FREE THE SEALANT SHALL THEN BE TOOLED WITH AN APPROPRIATE TOOL TO SLIGHTLY CONCAVE SURFACE APPROXIMATE 3/8" BELOW THE SURFACE. IT SHALL HAVE A MINIMUM THICKNESS OF 3/8". TOOLING SHALL BE IED BEFORE A SKIN FORMS ON THE SURFACE, USUALLY WITHIN TEN APPLICATION. THE SEALANT SHALL BE TOOLED IN BOTH DIRECTIONS TO VOID-FREE INSTALLATION. SEALANT WHICH DOES NOT BOND TO THE F THE JOINT WALLS, CONTAINS VOIDS, OR FAILS TO SET TO A TACK-FREE WILL BE REJECTED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL



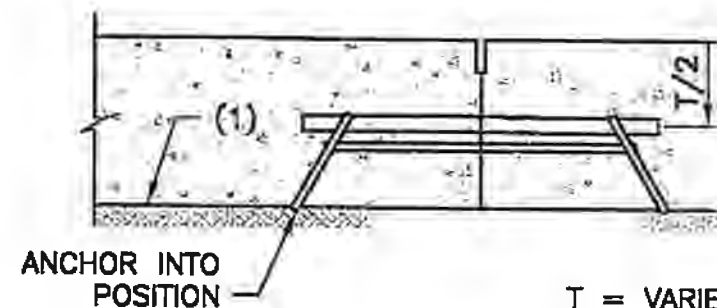
CONCRETE PAVEMENT (FDOT 350)

FORMED TIE-BARS,
 1/2" DIA. X 30" LONG AT
 18" O.C.



- DOWEL OR TIE-BAR CHAIR,
 SEE DETAIL THIS SHEET

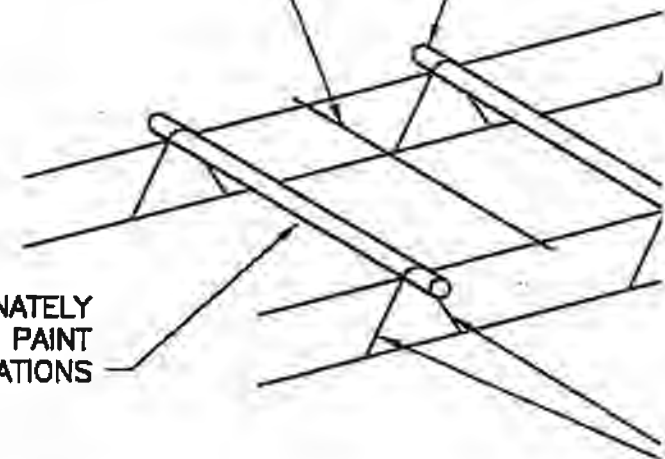
- 6" CRUSHED
 AGGREGATE BASE
 (FDOT 285)



T = VARIE

0.117" DIA. SPREADER WIRES
 WELDED TO TOP SPACER
 BARS 3 PER ASSEMBLY TO
 BE CLIPPED AFTER STAKING

0.362" WELDED
 ASSEMBLY
 1-0' OI



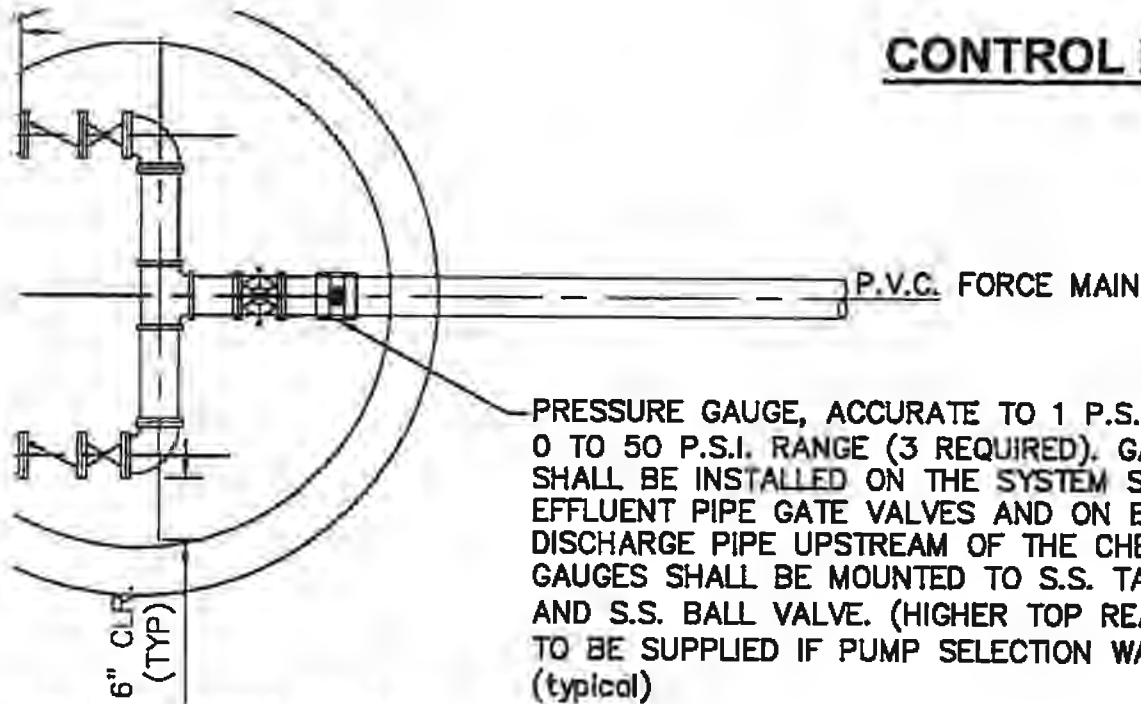
DOWELS WELDED ALTERNATELY
 TO TOP SPACER BARS, PAINT
 AND OIL PER SPECIFICATIONS

NOTES:

1. BASKET MUST BE FIRMLY ATTACHED TO EXI
2. ALL WIRE SIZES SHOWN ARE MINIMUM SIZE
3. DOWELS SHALL BE HELD FIRMLY IN THE AE

CONTROL PANEL SCHEMATIC

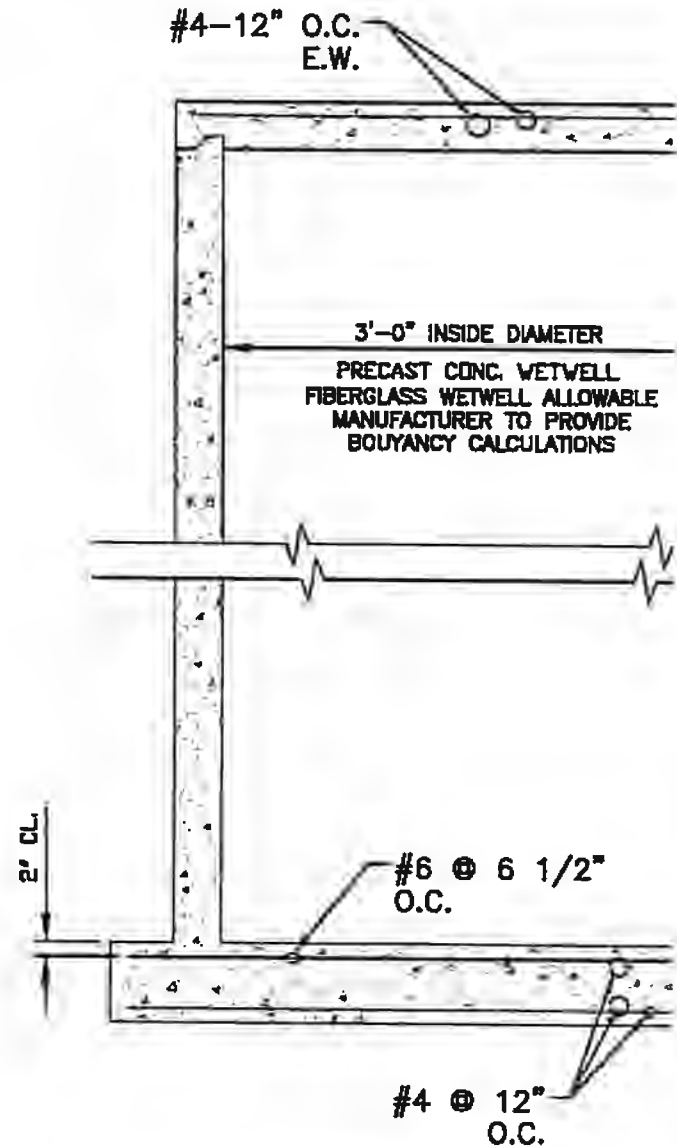
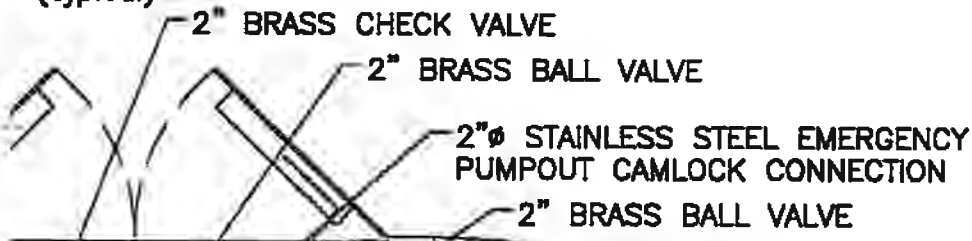
N.T.S.



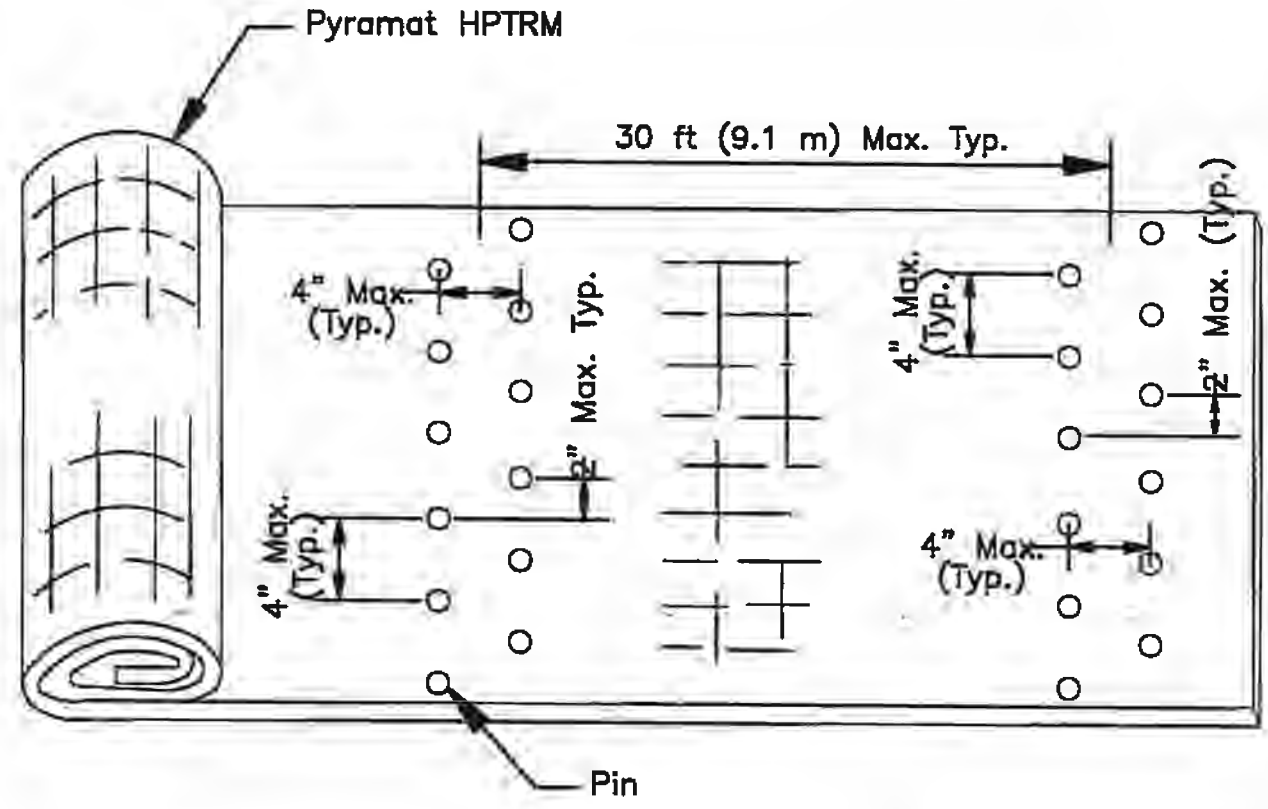
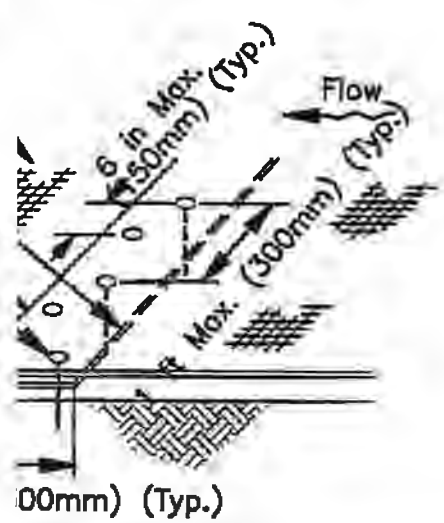
VALVE BOX PLAN

N.T.S.

PRESSURE GAUGE, ACCURATE TO 1 P.S.I. AND 0 TO 50 P.S.I. RANGE (3 REQUIRED). GAUGES SHALL BE INSTALLED ON THE SYSTEM SIDE OF EFFLUENT PIPE GATE VALVES AND ON EACH DISCHARGE PIPE UPSTREAM OF THE CHECK VALVES. GAUGES SHALL BE MOUNTED TO S.S. TAPPING SADDLE AND S.S. BALL VALVE. (HIGHER TOP READING RANGE TO BE SUPPLIED IF PUMP SELECTION WARRANTS) (typical)



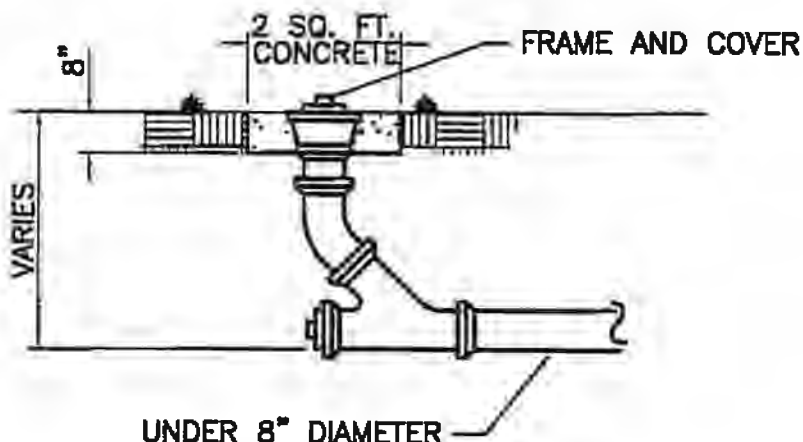
TOP AND BOTTOM SLAB R



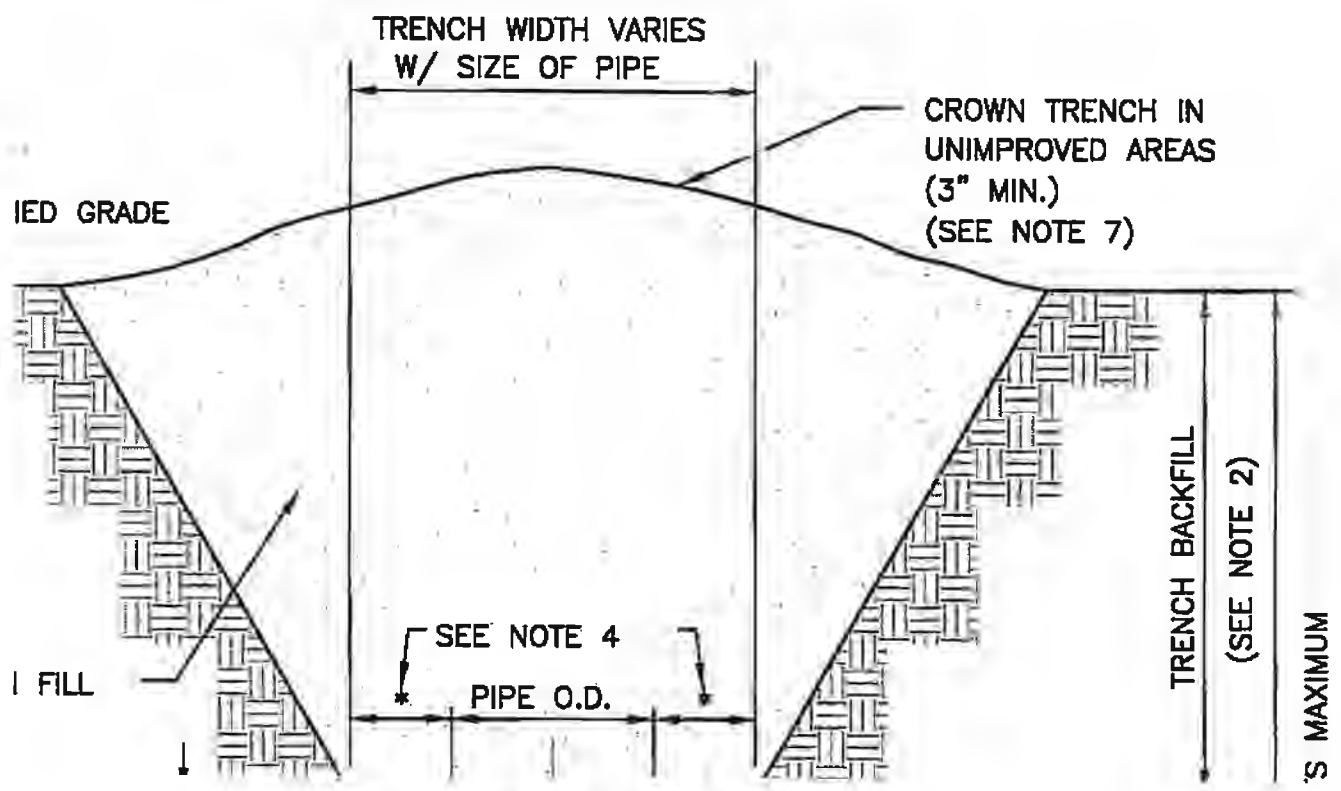
PYRAMAT® HPTRM
TAIL

FIGURE 7: SIMULATED CHECK SLOT DETAIL

hingle/Overlap placement depends
e in the direction of the down slope)



CLEAN OUT DETAIL
N.T.S.



HORIZONTAL SEPARATION
(1) HORIZONTAL SEPARATION BETWEEN STORMWATER FORCE MAINS

- (a) NEW OR RELOCATED STORMWATER FORCE MAIN, THREE FEET FROM EXISTING OR PROPOSED SEWER, STORMWATER FORCE MAIN, F.A.C. 62-610, F.A.C.
- (b) NEW OR RELOCATED STORMWATER FORCE MAIN, THREE FEET FROM EXISTING OR PROPOSED SEWER, STORMWATER FORCE MAIN, F.A.C. 62-610, F.A.C.
- (c) NEW OR RELOCATED STORMWATER FORCE MAIN, SIX FEET FROM EXISTING OR PROPOSED SEWER, STORMWATER FORCE MAIN, F.A.C. 62-610, F.A.C.
- (d) NEW OR RELOCATED STORMWATER FORCE MAIN, TEN FEET FROM EXISTING OR PROPOSED SEWER, STORMWATER FORCE MAIN, F.A.C. 62-610, F.A.C.

VERTICAL SEPARATION
1. VERTICAL SEPARATION BETWEEN STORMWATER FORCE MAINS

- (a) NEW OR RELOCATED VACUUM-TYPE SEWER, WAS THE OUTSIDE OF PIPELINE. HC 62-610, F.A.C.
- (b) NEW OR RELOCATED SEWER, WAS THE OUTSIDE OF PIPELINE. HC 62-610, F.A.C.

TOP FOR SHALLOW MANHOLE

N.T.S.

MANHOLE COVER

N.T.S.

Page 1

CONCRETE BASE -



SET COVERS FLUSH IN _____

THE FOLLOWING STRUCTURAL SUBMITTALS ARE REQUIRED FOR REVIEW BY THE STRUCTURAL ENGINEER OF RECORD.

- A. METAL BUILDING DRAWINGS: DESIGN CALCULATIONS AND FABRICATION AND ERECTION DRAWINGS.
- B. CONCRETE WORK: CONCRETE MIX DESIGNS AND REBAR SHOP DRAWINGS.

ALL STRUCTURAL SUBMITTALS SHALL BE PREPARED BY THE SPECIALTY ENGINEER.

DRAWINGS PREPARED SOLELY AS A GUIDE FOR ERECTION AND INSTALLATION AND CATALOG INFORMATION WILL NOT REQUIRE AN ENGINEERS SEAL; HOWEVER, THEY SHALL BEAR THE ENGINEERS SIGNATURE AND AN INDICATION THAT THE WORK WAS CHECKED.

GENERAL CONCRETE

ALL CAST-IN-PLACE CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318-18 AND ACI 301, EXCEPT AS MODIFIED BY THE PROJECT CONSTRUCTION DOCUMENTS.

ALL CONCRETE SHALL MEET THE PROJECT SPECIFICATIONS AND SHALL DEVELOP COMPRESSIVE STRENGTHS AS FOLLOWS (28 DAY STRENGTH):

- A. NORMAL WEIGHT CONCRETE (145 PCF)
- B. FOUNDATION & SLABS ON GRADE 3500 PSI

PROVIDE CURRENT (MAX. 1 YEAR OLD) STATISTICAL DATA FOR EACH CONCRETE MIX SUBMITTED IN ACCORDANCE WITH ACI 318-18.

ALL REINFORCING BARS FOR CONCRETE SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI AND MEET THE REQUIREMENTS OF ASTM A-615. FOR PLACEMENT OF REINFORCING CONFORM TO ACI-301, ACI-315, ACI-318, AND CRSI "MANUAL OF STANDARD PRACTICE". ALL REINFORCING SHALL BE ACCURATELY PLACED, RIGIDLY SUPPORTED, AND FIRMLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH THE ABOVE REQUIREMENTS. PROVIDE CLASS "B" LAP SPLICE FOR CONTINUOUS BARS. USE THE FOLLOWING COVER:

- A. CONCRETE COVER REQUIREMENTS FOR REINFORCEMENT, U.N.O.:
 - a. CONCRETE CAST AGAINST EARTH 3"
 - b. CONCRETE POURED IN FORMS BUT EXPOSED TO WEATHER OR EARTH:
 - #5 REINFORCEMENT AND SMALLER 1 1/2"
 - REINFORCEMENT LARGER THAN #5 2"
 - CONCRETE POURED IN FORMS BUT NOT EXPOSED TO WEATHER OR EARTH.
 - c. #11 REINFORCEMENT AND SMALLER 3/4"

NO CONDUIT PLACED IN CONCRETE SLAB SHALL HAVE AN OUTSIDE DIAMETER GREATER THAN 1/3 THE THICKNESS OF THE SLAB. NO CONDUIT SHALL BE EMBED IN A SLAB THAT IS LESS THAN 4" THICK. MINIMUM CLEAR DISTANCE SHALL BE IN ACCORDANCE WITH ACI 318.

ALL REINFORCING BARS, ANCHOR BOLTS, DOWELS AND OTHER CONCRETE INSERTS SHALL BE SECURED ADEQUATELY IN POSITION PRIOR TO PLACEMENT OF CONCRETE. CONTRACTOR SHALL USE TEMPLATES TO INSURE ACCURATE PLACEMENT OF ANCHOR BOLTS, DOWELS, ETC.

ALL CONCRETE SHALL BE CONSOLIDATED BY USE OF A MECHANICAL VIBRATOR OR OTHER MEANS APPROVED BY THE ENGINEER.

CONCRETE SHALL COMPLY WITH ALL THE REQUIREMENTS OF ASTM STANDARD C94 FOR MEASURING, MIXING, TRANSPORTING, ETC. CONCRETE TICKETS SHALL BE TIME STAMPED WHEN CONCRETE IS BATCHED. CONCRETE SHALL BE PLACED IN ITS FINAL POSITION WITHIN 90 MINUTES AFTER ADDITION OF BATCH WATER. CONCRETE SHALL BE DISCARDED IF THE FOREGOING ELAPSED TIME IS EXCEEDED.

MANUFACTURER'S SU

6. INSTALLATION OF ALL CERTIFICATION PROGRAMS IN ACCORDANCE WITH A

7. ALL ANCHORS INSTALLED SHALL BE SPECIALLY APPROVED. CONTRACTOR SHALL FURNISH A REPORT THAT COVERS THE REPAIR PROCEDURES USED (PRINTED INSTALLATION

8. TESTING OF EPOXYED ANCHORS SHALL BE PERFORMED EACH DAY'S PRODUCTIVE WORK. CONTRACTOR SHALL APPLY A TENSILE TEST TO ALL APPLICATIONS FOR TYPICAL STRUCTURAL ENGINE

EPOXY ANCHOR INSTALLATION

HOLE PREPARATION

- 1. DRILL - DRILL HOLE TO DEPTH
- 2. BLOW - REMOVE DUST AND DEBRIS. AIR NOZZLE MUST BE USED
- 3. BRUSH - CLEAN WITH BRUSH AND VACUUM INSERTION. IF NO RESIDUE
- 4. BLOW - REMOVE DUST AND DEBRIS. AIR NOZZLE MUST BE USED

CARTRIDGE PREPARATION

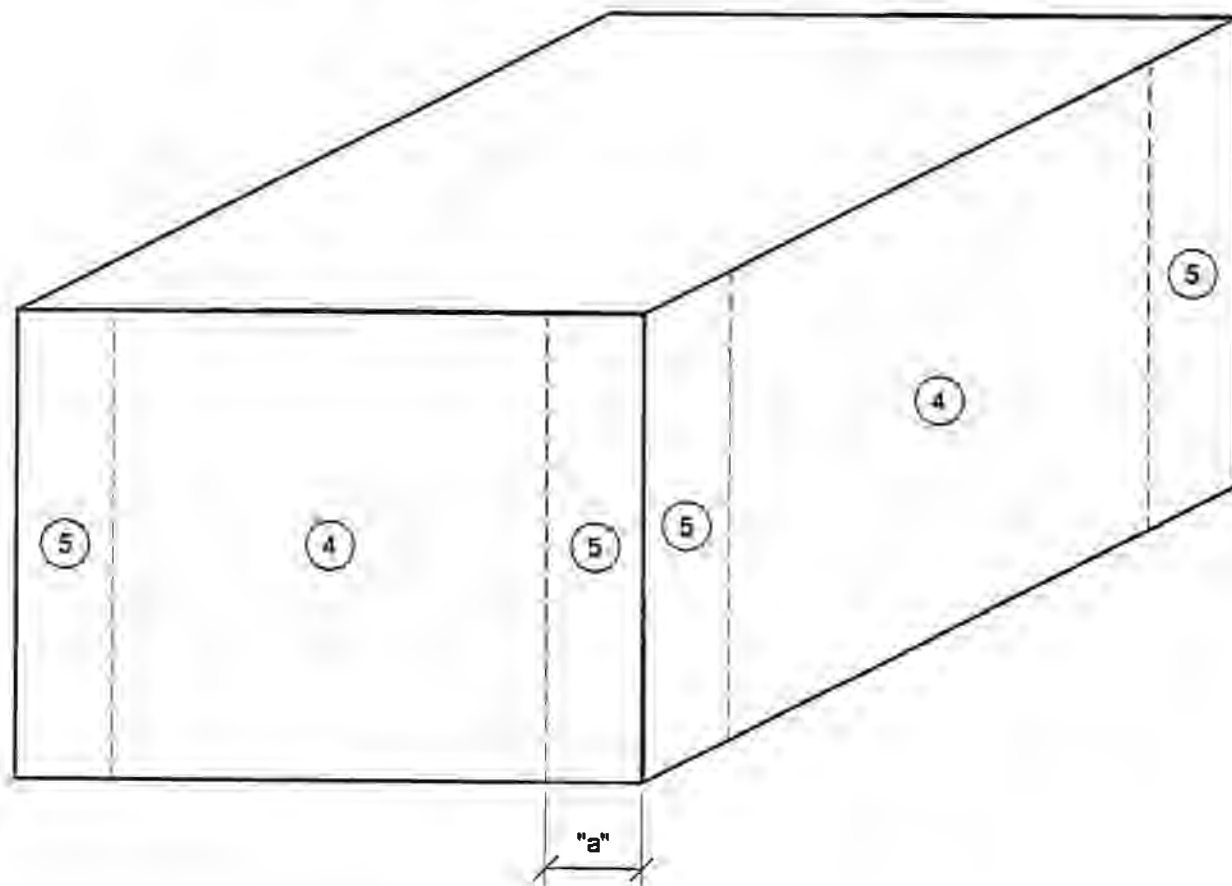
- 1. CARTRIDGE PREPARATION OF SURFACE. PRODUCTIVE
- 2. ATTACH - ATTACH PRODUCTIVE
- 3. INSERT - INSERT CARTRIDGE
- 4. DISPENSE - DISPENSE PRODUCTIVE

FILLING THE HOLE

- 1. INSTALL ADHESIVE REPAIR
- 2. FILL - FILL HOLE 1/2 - HOLE FILLS UP.

WALL WIND PRESSURE DIAGRAM

NOTE: $a=5'-0"$





0
1) HAVE TRAP GUARD.

0.5% SLOPE

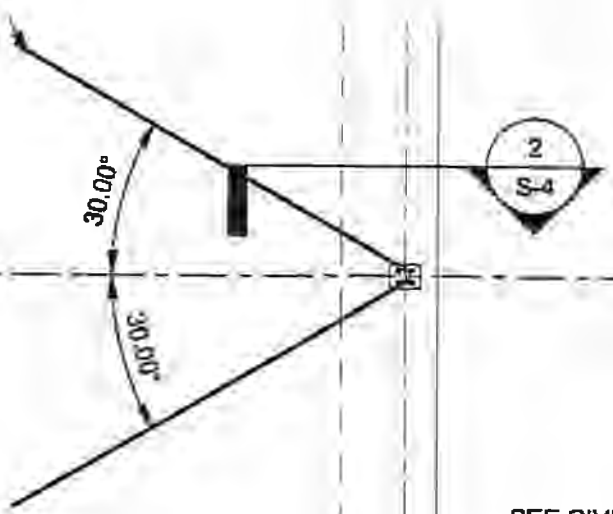
C.J.

6" SLAB ON
GRADE W/ #4 @
12" O.C., E.W.

0.5% SLOPE

SLOPE 4" SCH. 80 1/8" PER FT.

C.J.



SEE CIVIL FOR OIL
WATERSEPERAT
OR CONNECTION

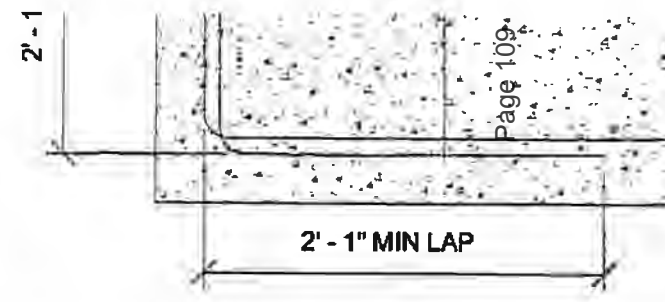
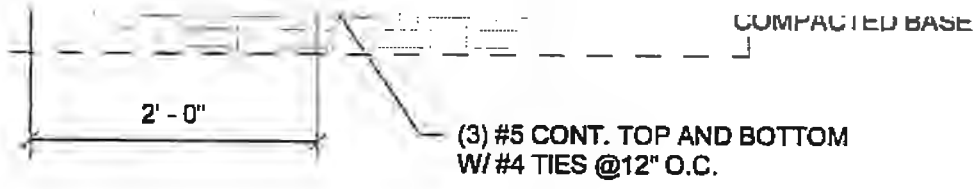
GB2X2.5

20' - 0"

60' - 0"

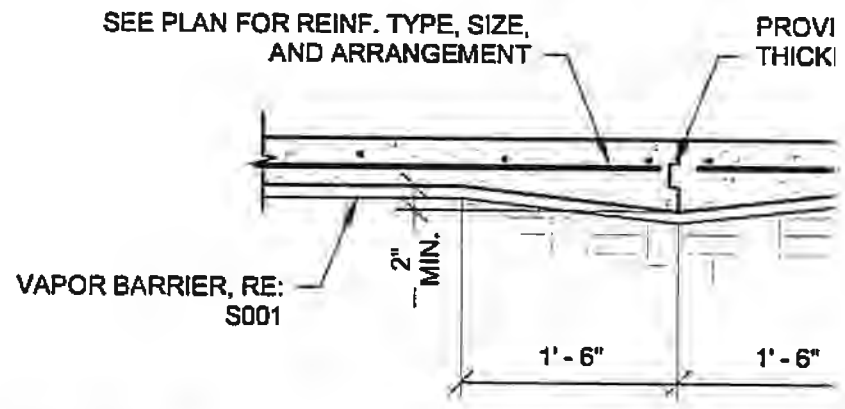
SEE TABLE
EMBEDMENT

2) ANC
1 1/2

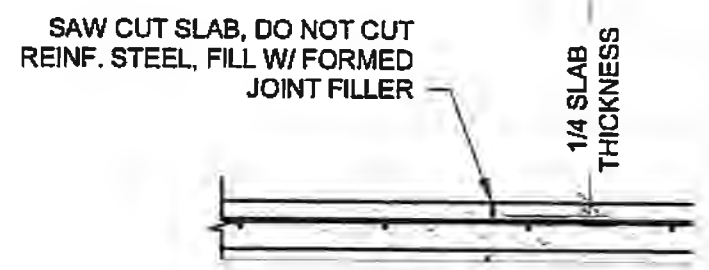
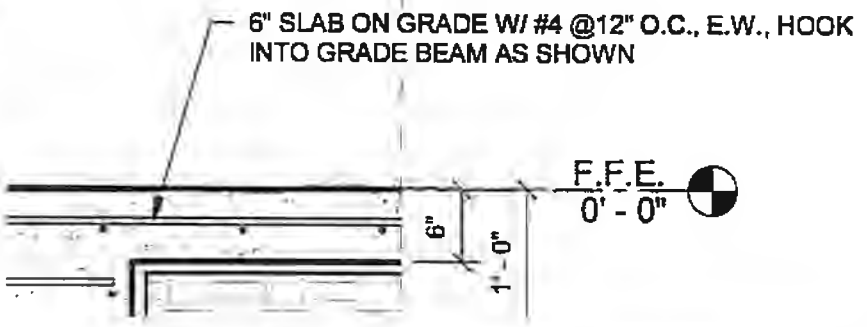


1/1N

③ FOUNDATION REINF. @ CORNER
1" = 1'-0"



⑤ CONSTRUCTION JOINT
3/4" = 1'-0"

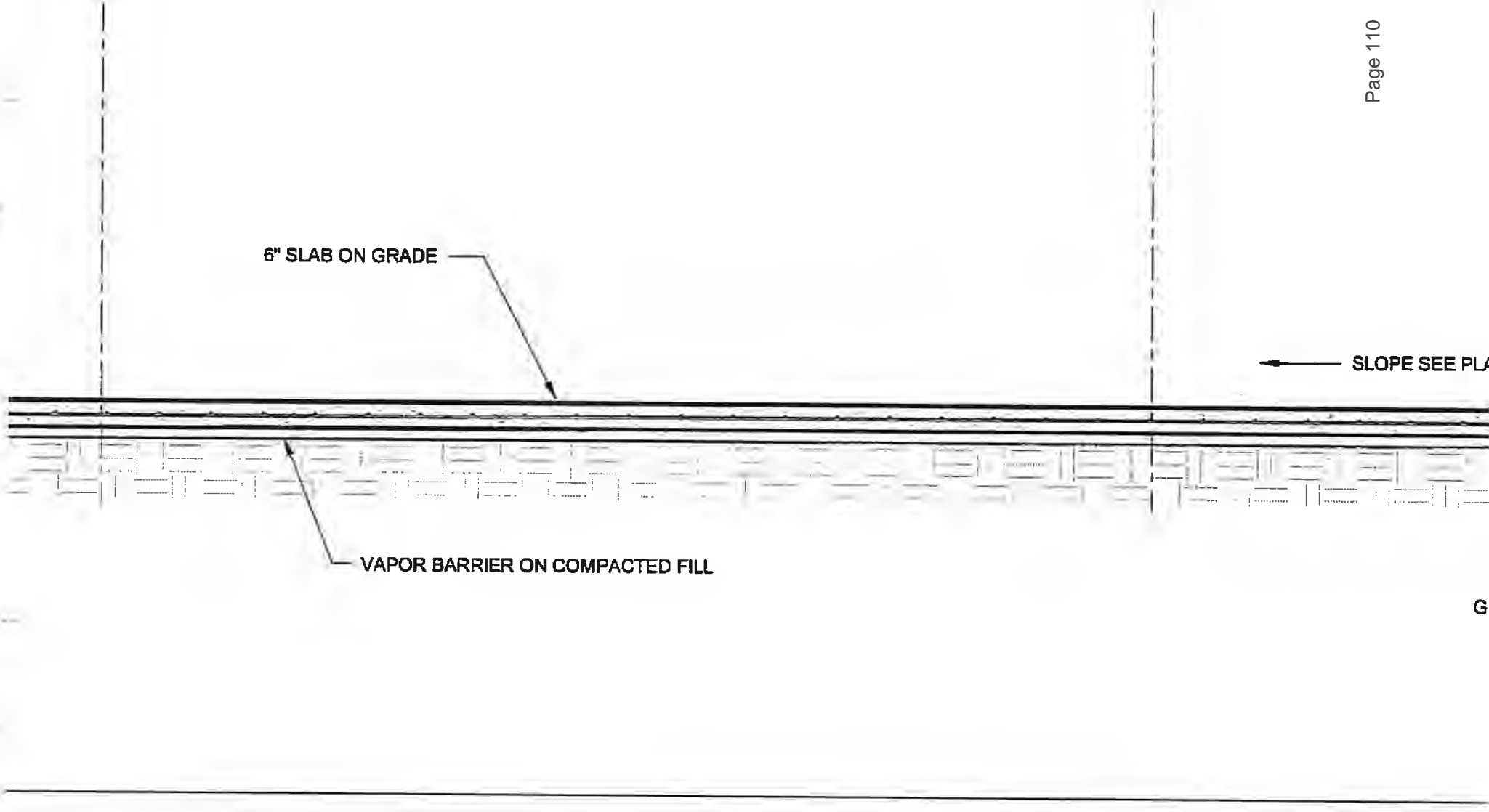


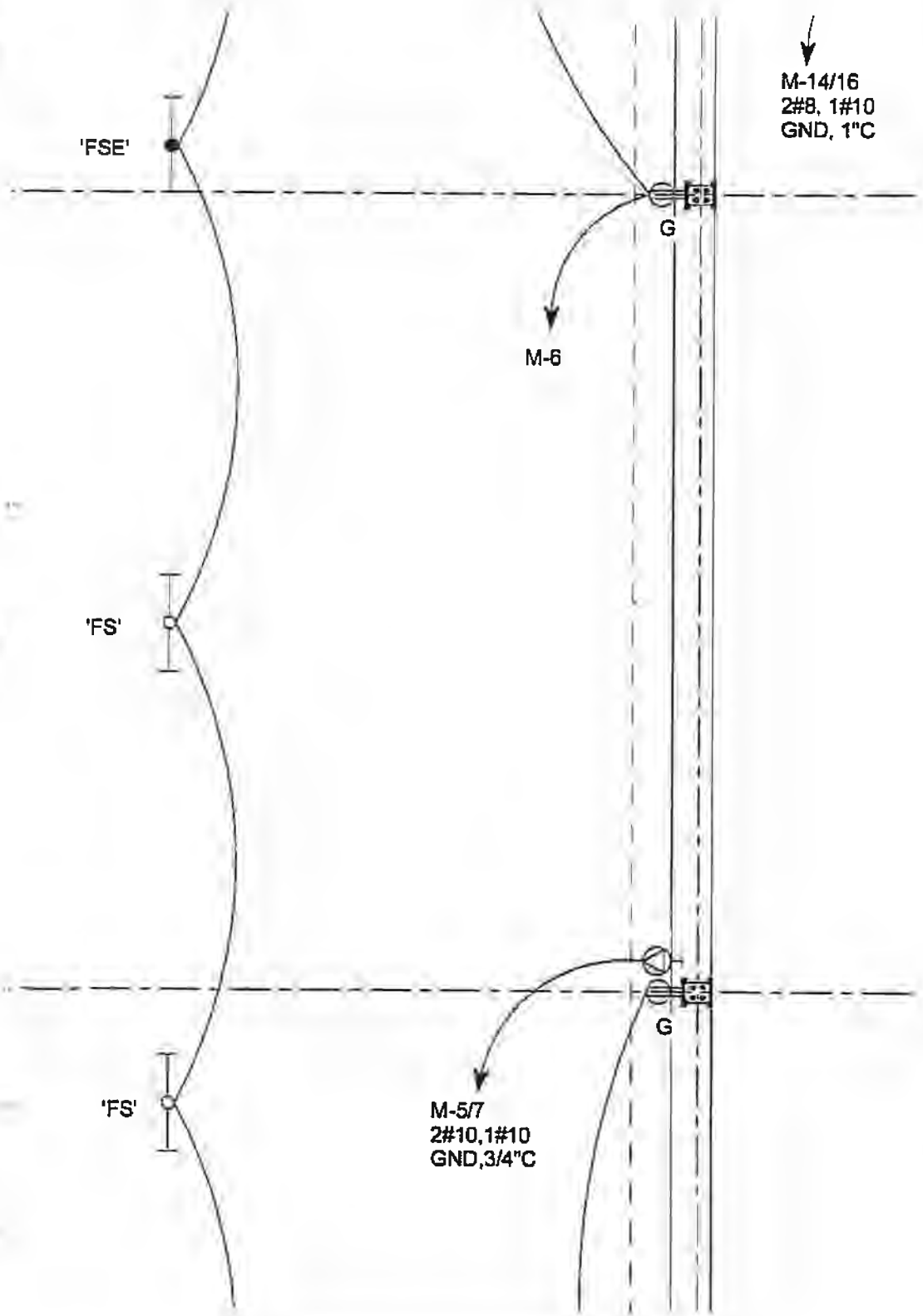
6" SLAB ON GRADE

← SLOPE SEE PL/A

VAPOR BARRIER ON COMPACTED FILL

G

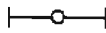








13. THE ELECTRICAL WORK SHALL BE INSTALLED IN THE OWNER.
14. ALL WORK SHALL BE INSTALLED IN CONCEALED SCH.80 PVC. EXTERIOR EXPOSED WORK SHALL BE CONDUIT 1/2" MIN. SIZE.
15. ALL CONDUCTORS SHALL BE COPPER.
16. PROVIDE GROUNDING PER NATIONAL ELECTRIC
17. THE CONTRACTOR SHALL LEAVE THE ENTIRE EL WORK OR MATERIAL WHICH MAY DEVELOP DEFECTIVE PERIOD OF ONE(1) YEAR FROM THE DATE OF FIN
18. EQUIPMENT GROUNDING CONDUCTOR SHALL BE
19. ALL CONDUITS INSTALLED BELOW GRADE SHALL
20. EQUIPMENT UNDER OTHER SECTIONS - THE ELE CONTROLS, EQUIPMENT, ETC. SHALL BE COORDINATED WITH THE SET OF DOCUMENTS WHERE EQUIPMENT IS MENTIONED AND COORDINATING. ANY DISCREPANCIES SHALL

ELECTRICAL LEGEND

CEILING OUTLETS

-  PENDANT/SURFACE MOUNTED LED FIXTURE
-  PENDANT/SURFACE MOUNTED LED FIXTURE

WALL OUTLETS

-  G DUPLEX RECEPTACLE - 20 AMP, 125 VOLTS NEMA 5-20R. MOUNT 48" A.F.F. UNLESS OTHERWISE NOTED
-  240V RECEPTACLE = 30 AMP, 250V, 3 PHASE
-  WALL MOUNTED EXIT LIGHT

WALL SWITCHES (UNLESS OTHERWISE NOTED)

-  S A.C. TYPE, SINGLE POLE, 20 AMP, 120/240V

TOTAL CONNECTED LOAD: 25.49 KVA
MINIMUM INTERRUPTING CAPACITY: 20,000 AMPS

Page 112

FINISHED GRADE



POWER RI:
NOT TO SCALI

KEYNOTES:

① SURGE SUP

② COORDINAT

② PLUMBING FLOOR PLAN - WATER
1/4" = 1'-0"

.28 GPF
PM

INSTANTANEOUS WATER HEATER SCHEDULE					
MARK	ELECTRICAL DATA				REMARKS
	VOLTS	PHASE	Hz	KW	
TWH-1	208	1	60	4.1	PROVIDE WITH FLOW RESTRICTOR

2" ↘

3" VTR
 ↓ |
 /

Roof	Superimposed	2.92 psf
	Collateral	2.00 psf
	(0.00 psf Ceiling 2.00 psf Other)	
Roof	Live Load	20.00 psf reduction allowed
Wind	Ultimate Wind Speed (Vult) ...	131.00 mph
	Nominal Wind Speed (Vasd)	101 mph (IBC section 1609, 3.1)
	Serviceability Wind Speed	76 mph
	Ground Elevation Factor	1.00 (0 Ft. ASL)
	Wind Exposure Category	C
	Exposure Coefficient (MFRS) ..	0.849
	Exposure Coefficient (C/C)	0.849
	Enclosure Classification	Enclosed Building
	Internal Pressure Coef (GCp1) ..	0.18/-0.18
	Wall Loads for components not provided by building manufacturer	
	Zone 5 Areas (within 5.00' of corner)	34.23 psf pressure -45.64 psf suction
	Zone 4 Areas (away from corners)	34.23 psf pressure -37.08 psf suction
	These values are the maximum values required based on a 10 sq ft area.	
	Components with larger areas may have lower wind loads.	

BUILDING DEFLECTION LIMITS..... BLDG-A

Roof Limits	Rafters	Columns	Panel
Live	180	150	60
Snow	N/A	N/A	N/A
Serviceability Wind	180	180	60
Total Gravity	120	120	60
Total Uplift	N/A	N/A	60
Frame Limits	Sideway	Portal Frame	Sideway
Live	60		
Snow	N/A		
Serviceability Wind	60		
Seismic Drift	N/A	N/A	
Service-Level Crane	100		
Portal Serviceability Wind	N/A	60	
Total Gravity	60		
Service Seismic	N/A	N/A	
Wall Limits	Limit		
Total Wind Panels	60		
Total Wind Girts	120		
Total Wind EW Columns	120		

The Service Seismic limit as shown here is at service level loads.

PROJECT NOTES

Plate used for Flanges conforms to ASTM A529 or ASTM A572 with a minimum specified yield strength of 55 ksi for 5'-12' flange widths that are 3/16"-1" thick, and a minimum yield strength of 50 ksi for all other flange sizes. Plate used for webs conforms to ASTM A1011, ASTM A572, or ASTM A529 with a minimum yield strength of 55 ksi for webs that are 10ga-3/8" thick, and a minimum yield strength of 50 ksi for all other web sizes. W, S and C hot rolled structural shapes conform to ASTM A572 or ASTM A992 with a minimum yield point of 50ksi. Large hot rolled W shapes and MC shapes from MC18x42.7 through MC18x58 conform to ASTM A36 with a minimum yield strength of 36 ksi. Hat rolled angles other than flange braces conform to ASTM 36 minimum. Hollow structural shapes conform to ASTM A500 grade B or C with a minimum yield strength of 42 ksi for round HSS and 46 ksi for rectangular HSS. Rod material 3/4 diameter and greater conform to ASTM A572 Grade 50. Cold-formed steel structural members conform to ASTM A1011, ASTM A1039, or ASTM A653 Grade 55 with a minimum yield strength of 55 ksi. For Canada, material properties conform to CAN/CSA G40.20/G40.21 or equivalent.

All bolted joints with A325 Type 1 bolts are specified as snug-tightened joints in accordance with the most recent edition of the RCSC Specification For Structural Joints Using ASTM A325 or A490 Bolts. Pre-tensioning methods, including turn-of-nut, calibrated wrench, twist-off-type tension-control bolts or direct-tension-indicator are NOT required. Installation inspection requirements for Snug Tight Bolts (Specification For Structural Joints Section 9.1) is suggested.

Design criteria as noted is as given within order documents and is applied in general accordance with the applicable provisions of the model code and/or specification indicated. Neither the metal building manufacturer nor the certifying engineer declares or attests that the loads as designated are proper for local provisions that may apply or for site specific parameters. The design criteria is supplied by the builder, project owner, or an Architect and/or Engineer of Record for the overall construction project.

This metal building system is designed as an Enclosed Building. Exterior and/or operable components including, but not limited to, doors, windows, vents, etc. ("Components") must be designed to withstand the required component and cladding wind pressures specified

The framing at building A gridlines 1,2 is NOT designed to receive a future bay addition. Corresponding frame reaction calculated based upon actual tributary area. Roof and wall panels have been designed in accordance with section 2222.4 of the Florida Building Code. Product approval numbers for the State of Florida, Department Community Affairs per Product Rule 9B-72:

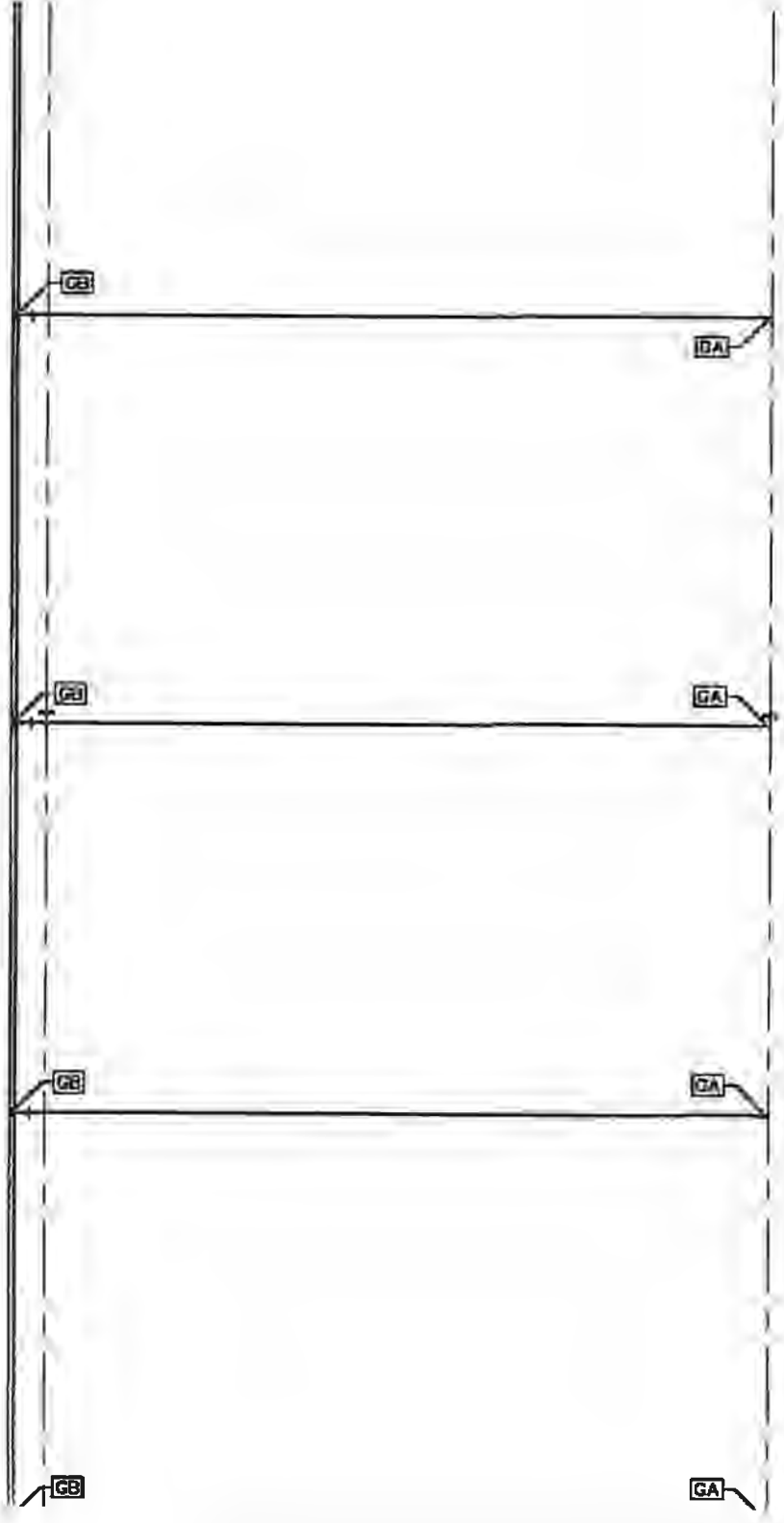
- Panel Walls
 - FL11917 26 gauge AVP panel
 - FL11917 PBR 22, 24, 26 and 29 gauge walls
 - FL11917 24 gauge ShadowRib
 - FL16377 IMP CF Wall Panel
 - FL16377 LS-36 IMP Wall Panel
- Roofing Products
 - FL11819 BattenLok HS 22 and 24 gauge roofs, 12' and 16'
 - FL11819 DoubleLok 22 and 24 gauge roofs, 12', 18' and 24'
 - FL11819 SuperLok 22 and 24 gauge roofs, 12' and 16'
 - FL11819 UltraDek 22 and 24 gauge roofs, 12', 18' and 24'
 - FL11868 PBR 22, 24, and 26 gauge roofs
 - FL11868 PBU 26 gauge roofs
 - FL16376 LS-36 IMP roof panel
 - FL7766 CFR IMP roof panel (42' max width, 24/26 min. G)

This building has been designed for a 520x110 Schweiss Bif Per door manufacturer specification, this building is designed for the door weight of 6616 lbs with a clear opening height of

D.2

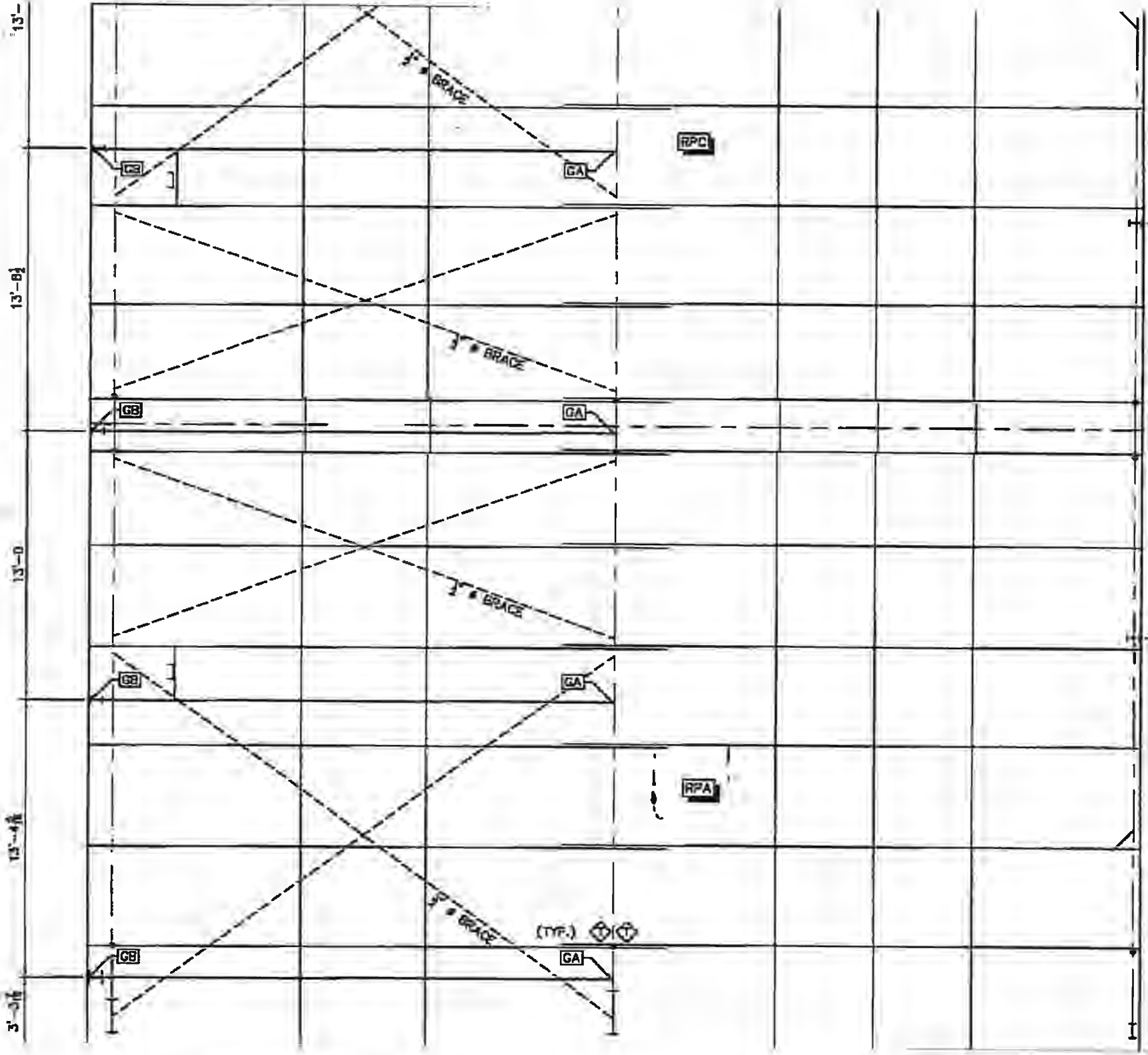
C.5

B.7



C

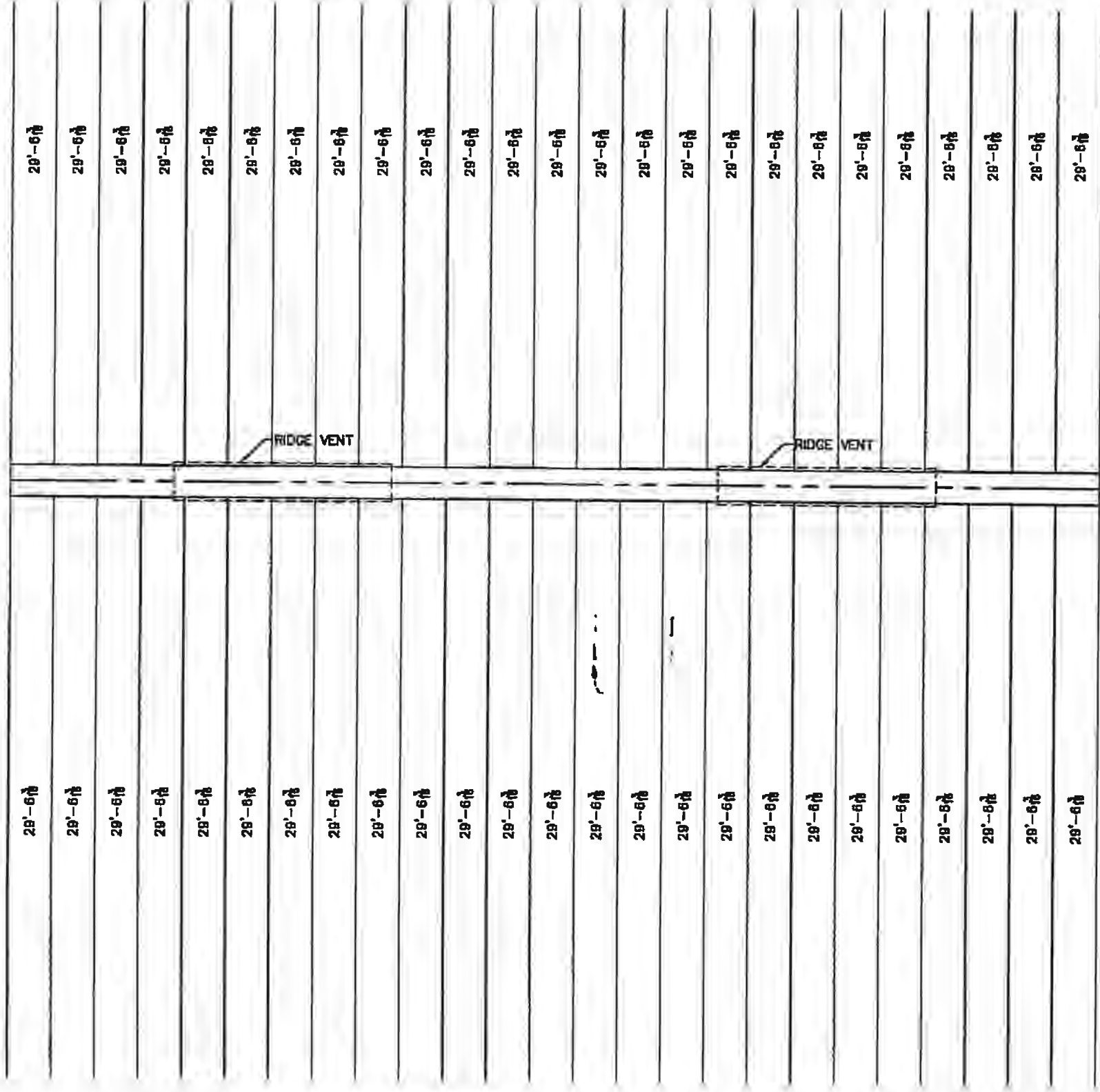
D

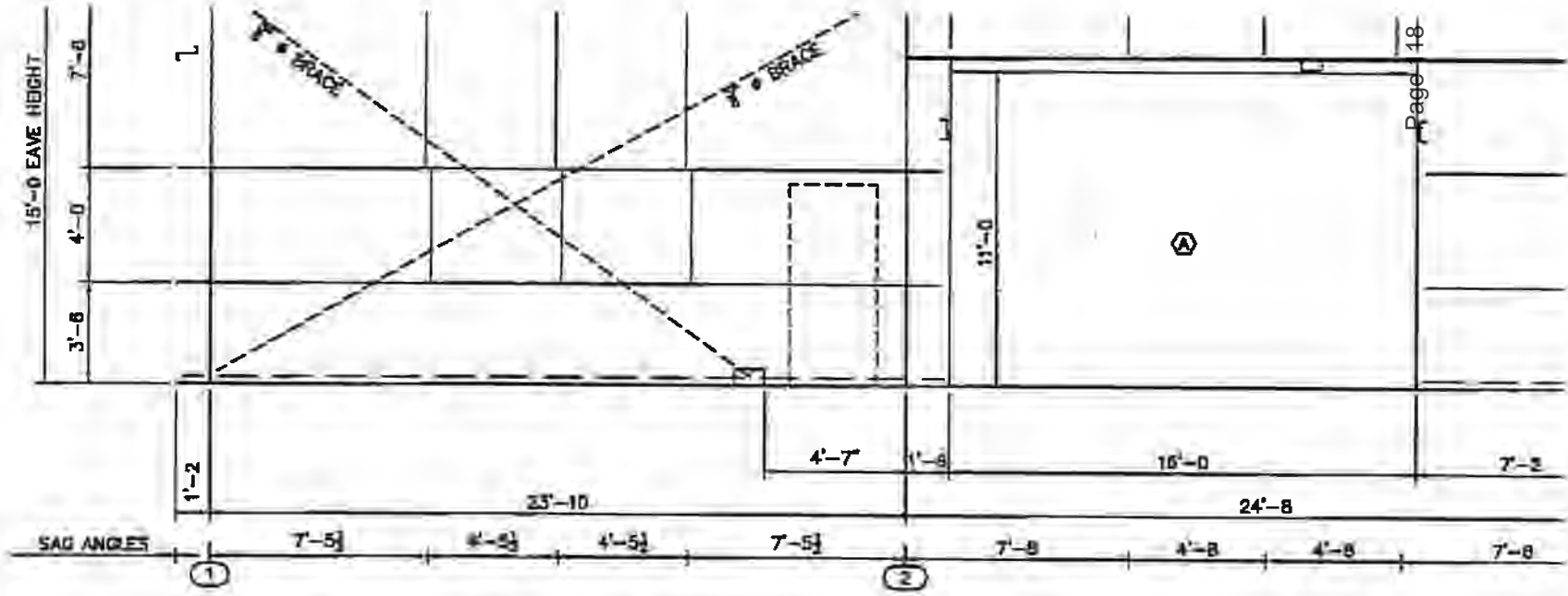


20'-0" 20'-0" 20'-0"

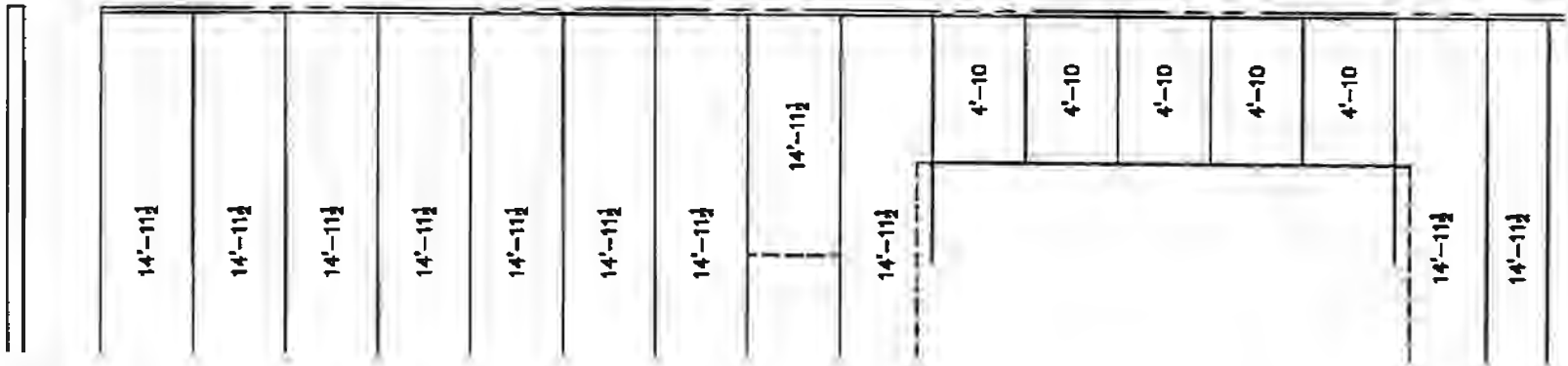
60'-0" OUT/OUT OF STEEL

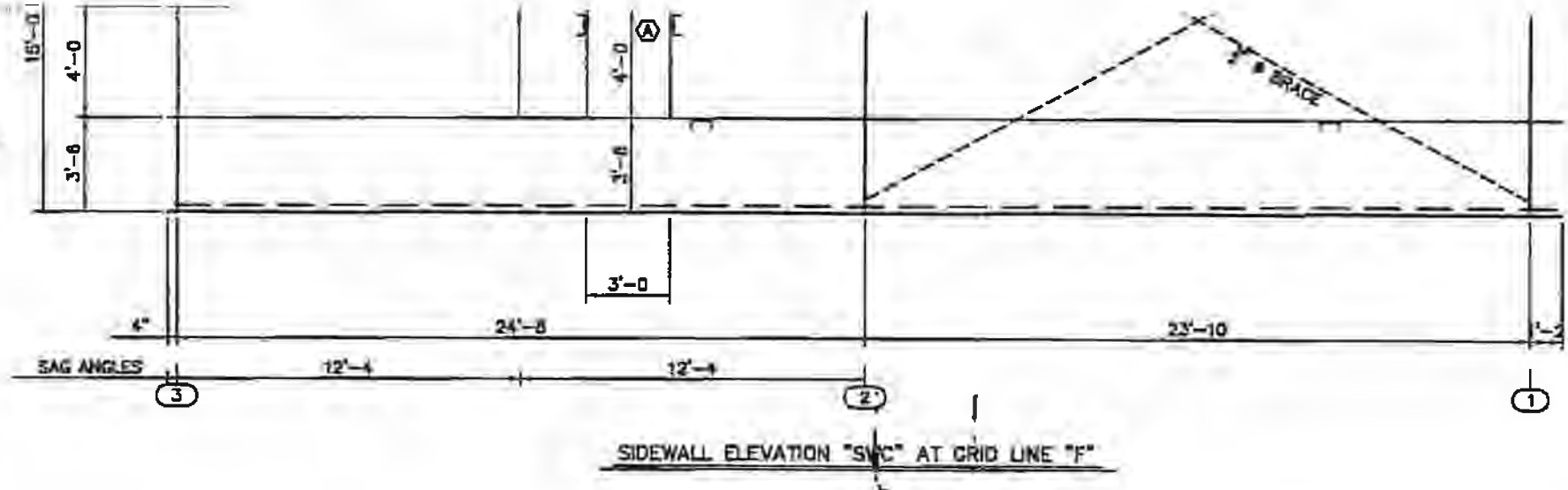




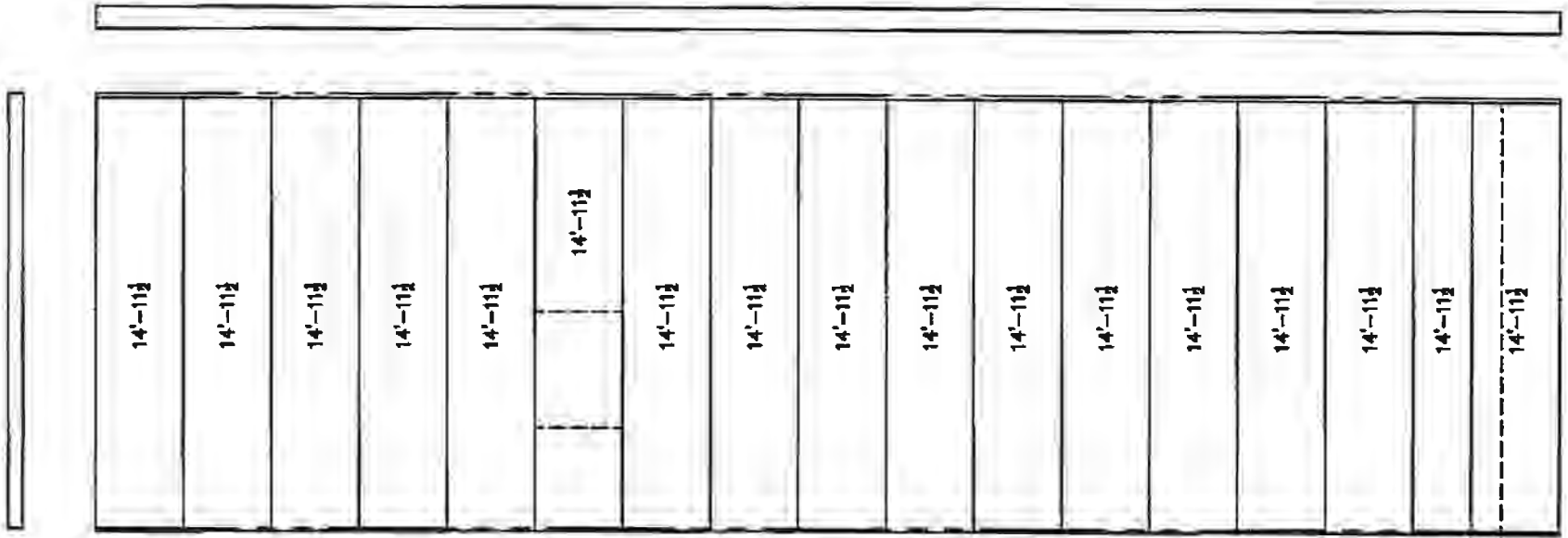


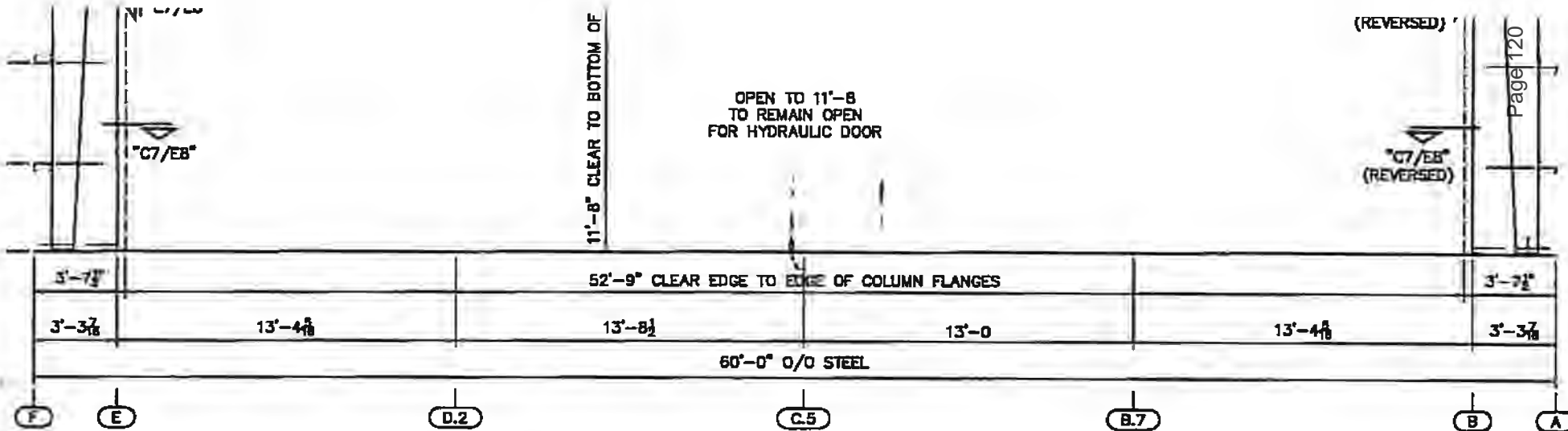
SIDEWALL ELEVATION "SWA" AT GRID LINE "A"



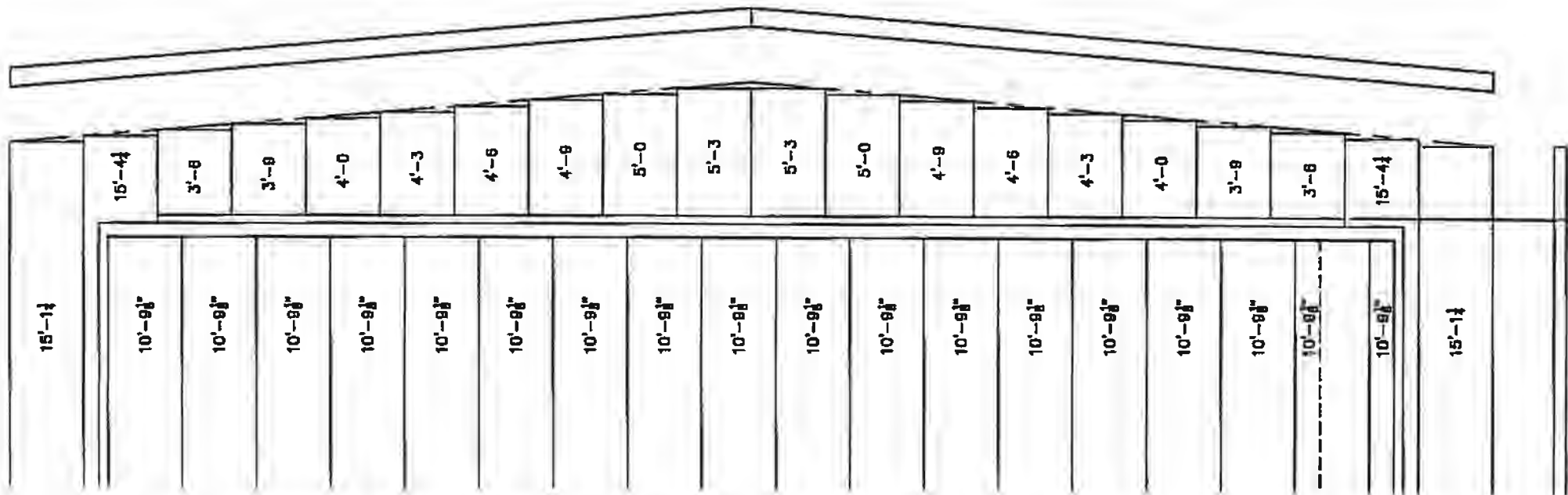


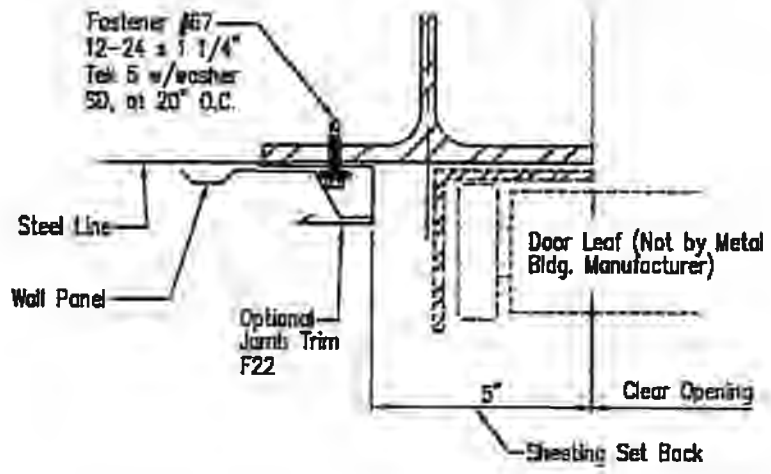
SIDEWALL ELEVATION "SWC" AT GRID LINE "F"



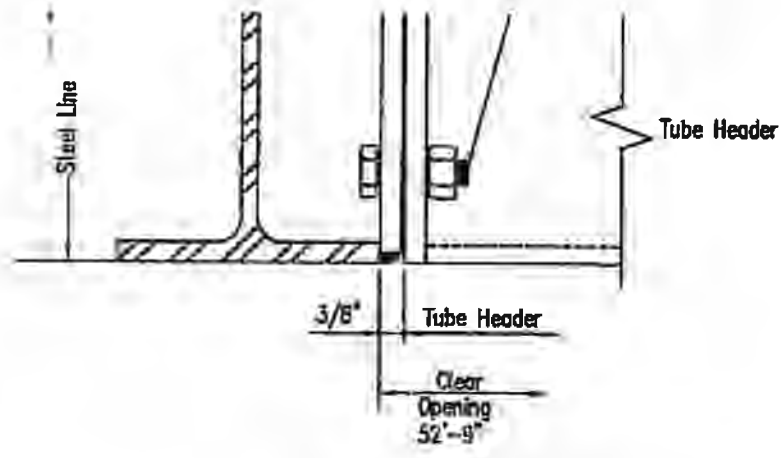


ENDWALL ELEVATION "EWB" AT GRID LINE "1"



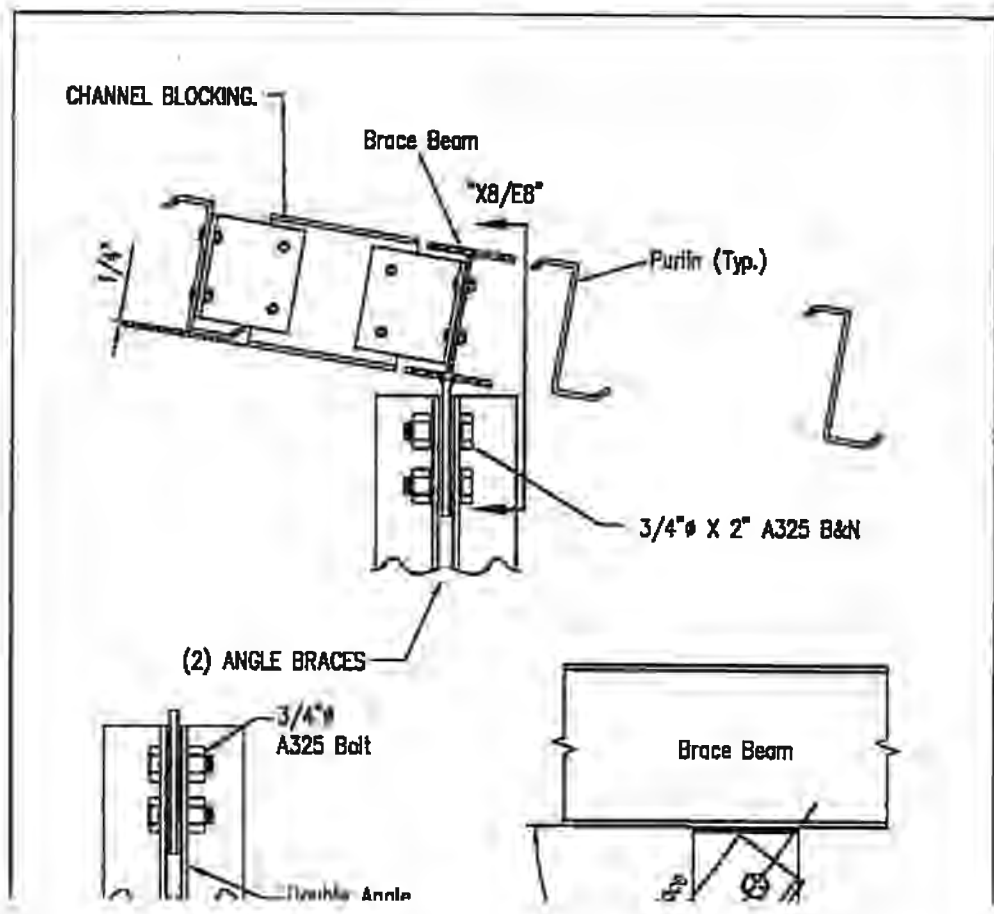


SECTION "C7/E8"



SECTION "D7/E8"

(4) 5/8" x 1 A325 B&N



* Hinge is not supplied by Bldg. Mf

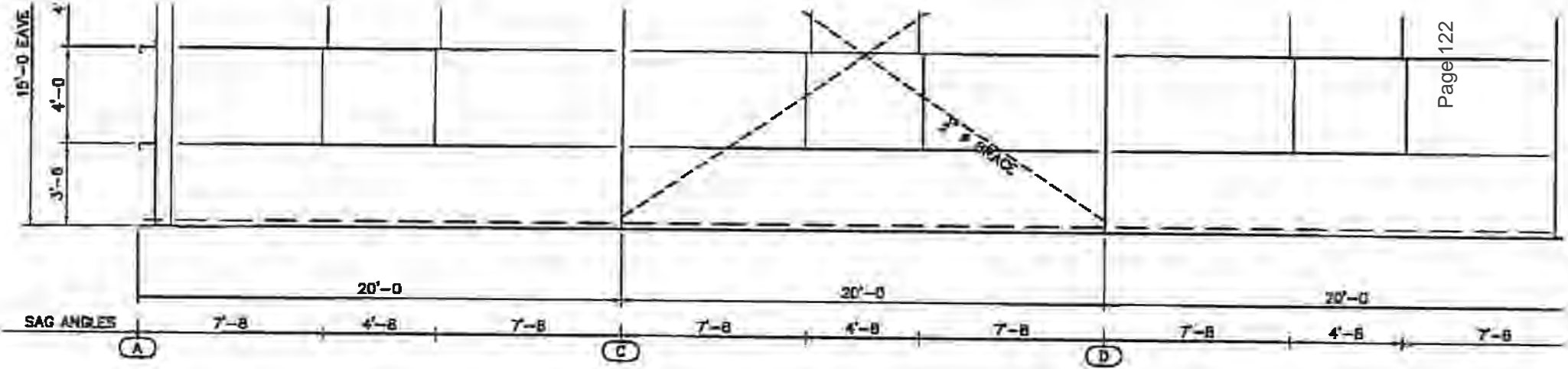
1 Erection Aid Bolts. Use (2) 5/8" x 1 1/2" A325 Bolts

Temporarily to hold header in place.

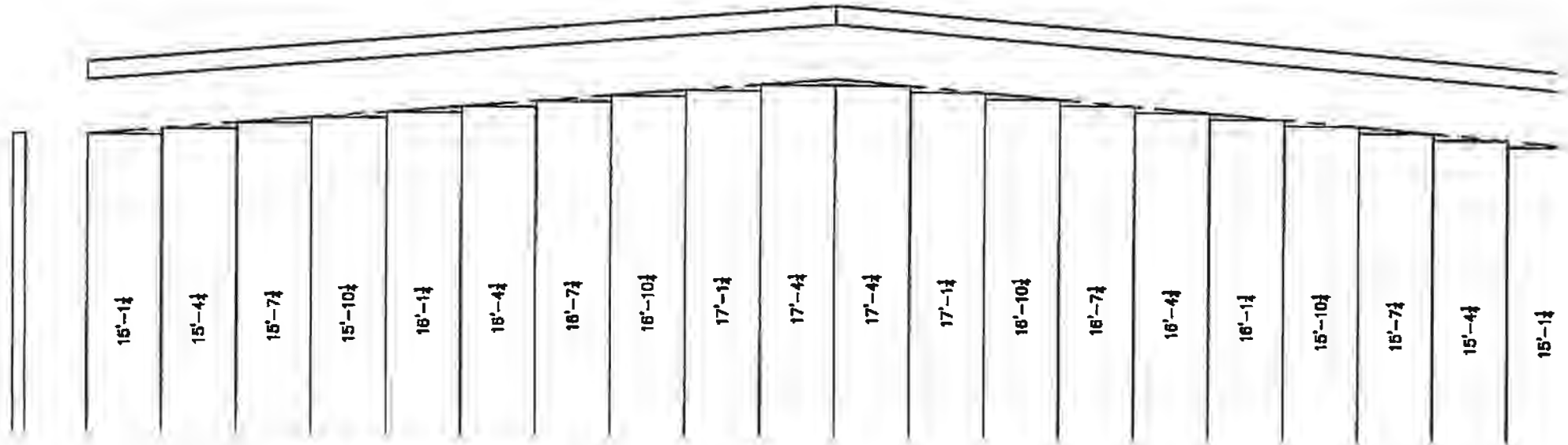
2 Connection Bolts. Use (2) 5/8" x 1 3/4" A325 Bolts

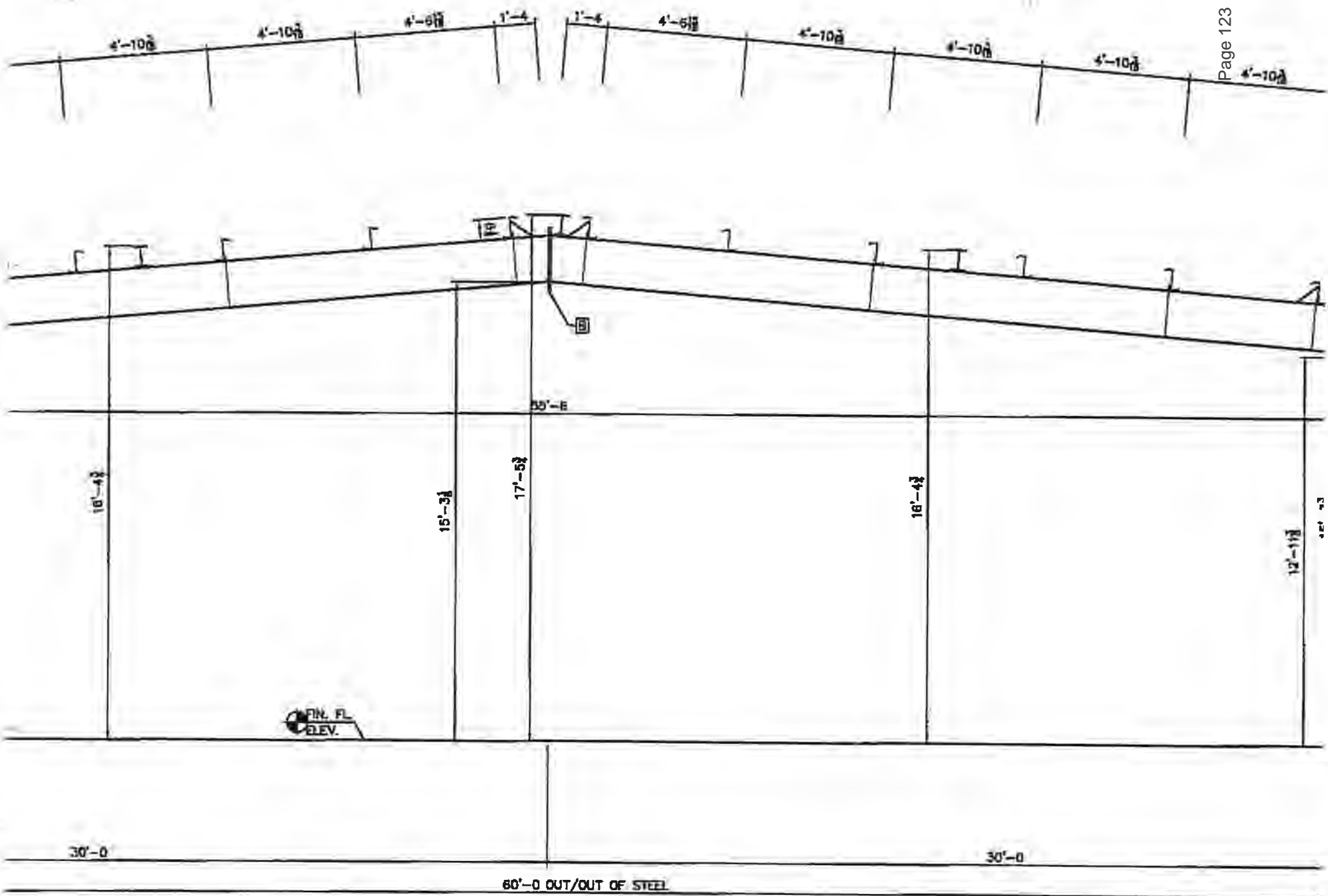
After headers are

Top of Hinge

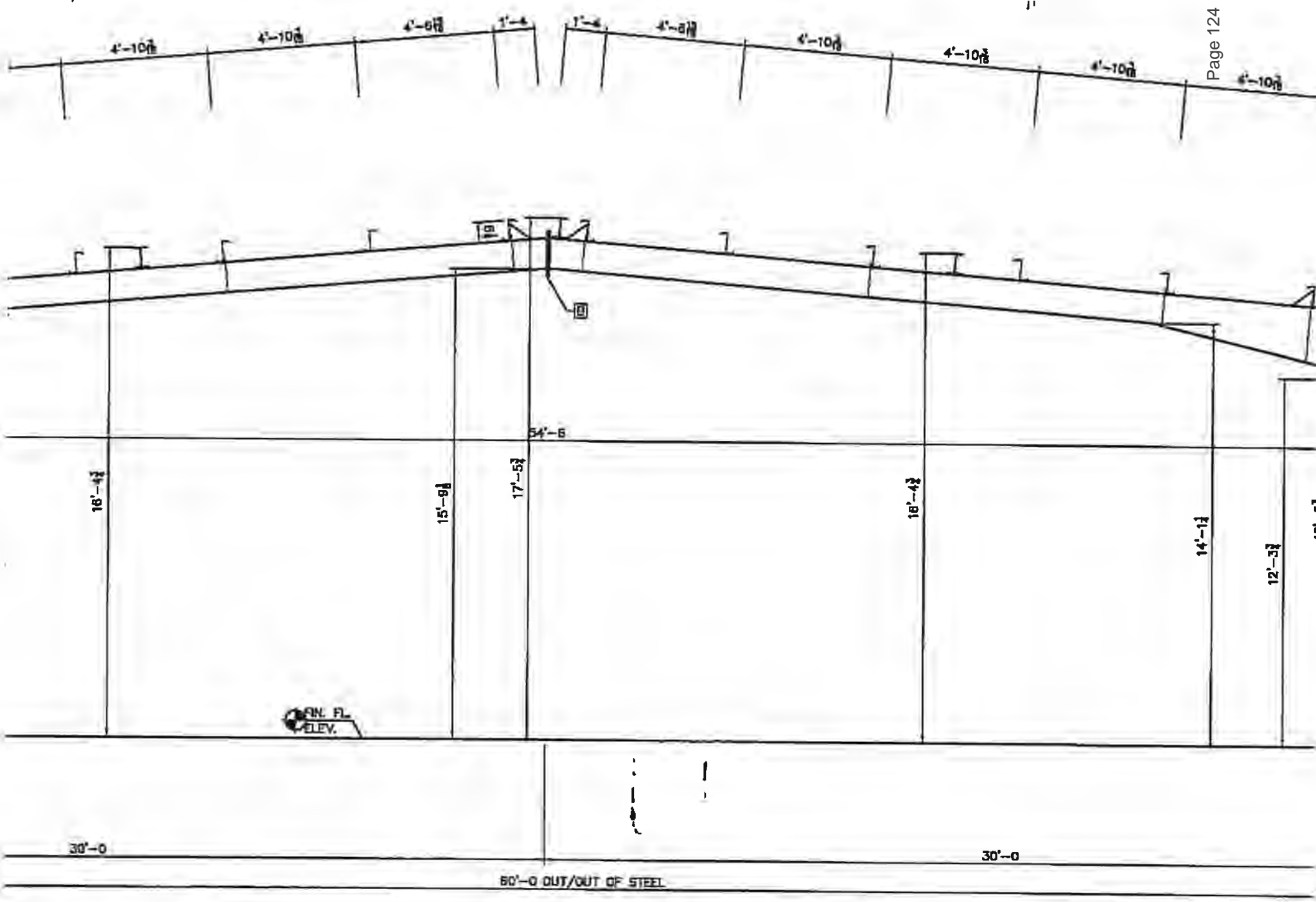


ENDWALL ELEVATION "EWD" AT GRID LINE "3"





CROSS SECTION AT FRAME LINE "1"



CROSS SECTION AT FRAME LINE "2"

Roof Live Load 20.00 psf reduction allowed

Wind
 Ultimate Wind Speed (Vult) ... 127.00 mph
 Nominal Wind Speed (Vasd) 98 mph (IBC section 1609.3.1)
 Serviceability Wind Speed 75 mph
 Wind Exposure Category C
 Internal Pressure Coef (GCp1) ... 0.18/-0.18
 Wall Loads for components not provided by building manufacturer
 Corner Areas (within 5.00' of corner) 32.17 psf pressure -42.90 psf suction
 Other Areas 32.17 psf pressure -34.85 psf suction
 These values are the maximum values required based on a 10 sq ft area.
 Components with larger areas may have lower wind loads.

DEFLECTION CRITERIA

The material supplied by the manufacturer has been designed with the following minimum deflection criteria. The actual deflection may be less depending on actual load and actual member length.

BUILDING DEFLECTION LIMITS..... BLDG-A

Roof Limits		Rafters	Purlins	Panels
Live	L/	180	150	60
Snow	L/	N/A	N/A	N/A
Serviceability Wind	L/	180	180	60
Total Gravity	L/	120	120	60
Total Uplift	L/	N/A	N/A	60
Frame Limits		Sideways	Portal Frame	Sideways
Live	H/	60		
Snow	H/	N/A		
Serviceability Wind	H/	60		
Seismic Drift	H/	N/A	N/A	
Service-Level Crane	H/	100		
Portal Serviceability Wind	H/	N/A	60	
Total Gravity	H/	60		
Service Seismic	H/	N/A	N/A	
Wall Limits		Limit		
Total Wind Panels	L/	60		
Total Wind Girts	L/	120		
Total Wind EW Columns	L/	120		

The Service Seismic limit as shown here is at service level loads.

or ASTM A992 with a minimum yield point of 50ksi. Large hot rolled V and MC shapes from MC18x42.7 through MC18x58 conform to ASTM A36 with minimum yield strength of 36 ksi. Hot rolled angles other than floor braces conform to ASTM 36 minimum. Hollow structural shapes conform to ASTM A500 grade B or C with a minimum yield strength of 42 ksi for C HSS and 46 ksi for rectangular HSS. Rod material A7 diameter and grade conform to ASTM A572 Grade 50. Cold-formed steel structural members conform to ASTM A1011, ASTM A1039, or ASTM A653 Grade 55 with a minimum yield strength of 55 ksi. For Canada, material properties conform to CAN/CSA G40, 20/G40.21 or equivalent.

All bolted joints with A305 Type 1 bolts are specified as snug-tight joints in accordance with the most recent edition of the AISC Specification for Structural Joints Using ASTM A305 or A490 Bolts. Pre-tensioning methods, including turn-of-nut, calibrated wrench, twist-off-type tension-control bolts or direct-tension-indicator are NOT required. Installation inspection requirements for Snug Tight Bolts (Specification for Structural Joints Section 9.1) is suggested.

Design criteria as noted is as given within order documents and is in general accordance with the applicable provisions of the model code and/or specification indicated. Neither the metal building manufacturer nor the certifying engineer declares or attests that the loads as designated are proper for local provisions that may apply or for site specific parameters. The design criteria is supplied by the builder project owner, or an Architect and/or Engineer of Record for the above construction project.

This metal building system is designed as an Enclosed Building. Exterior and/or operable components including, but not limited to, doors, windows, vents, etc. ("Components") must be designed to withstand the required component and cladding wind pressures specified by the building code. In order to maintain the metal building system Enclosed Building condition, all Components shall be closed when wind velocities reach half the designed wind load for the metal building, as shown on the drawings and design criteria documentation. Failure to maintain the metal building system's Enclosed Building condition will violate and void all warranties and certifications applicable to the material supplied by the metal building manufacturer.

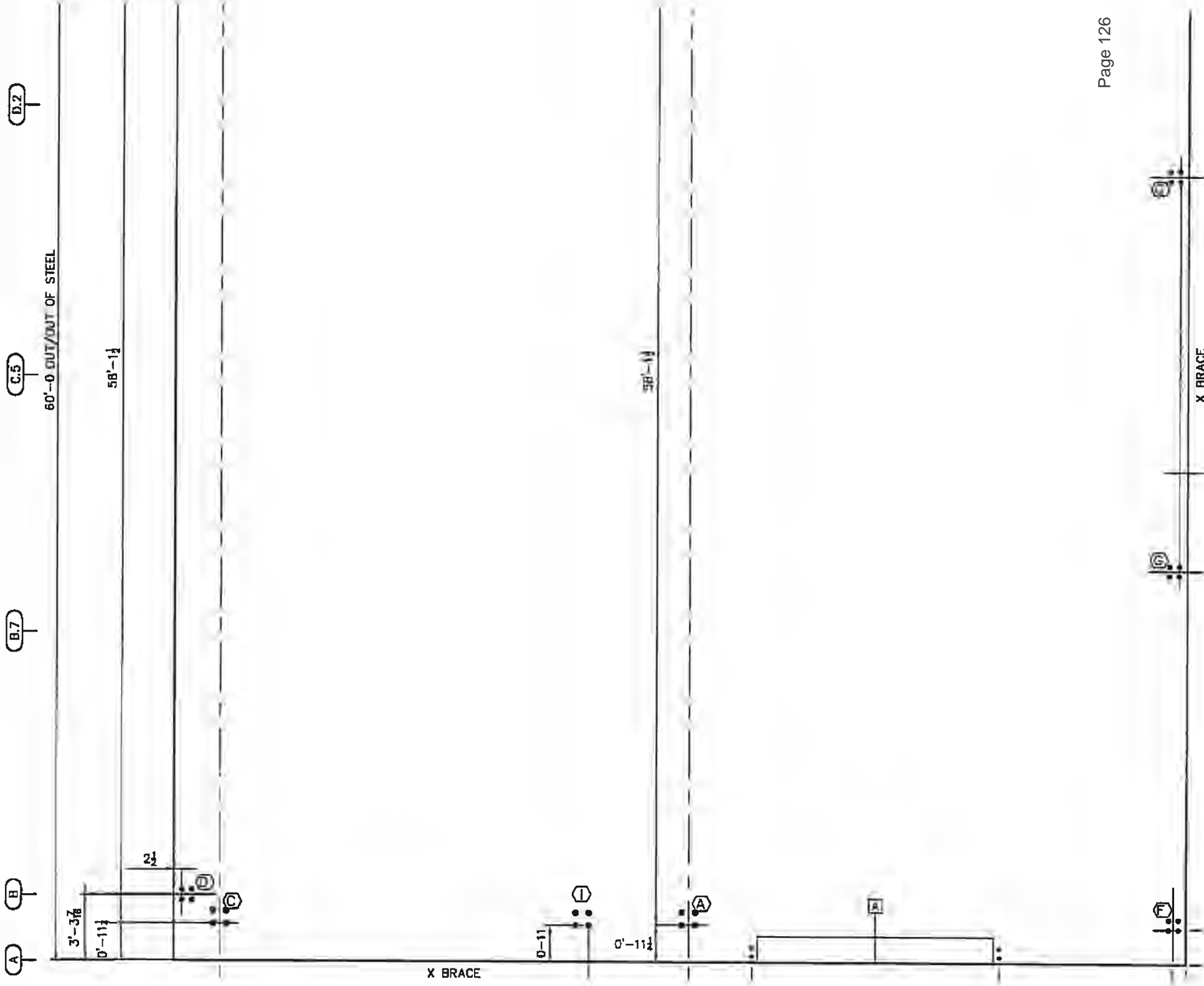
Framed openings, walk doors, and open areas shall be located in the bay and elevation as shown in the erection drawings. The cutting or removal of girts shown on the erection drawings due to the addition of framed openings, walk doors, or open areas not shown may void the design certifications supplied by the metal building manufacturer.

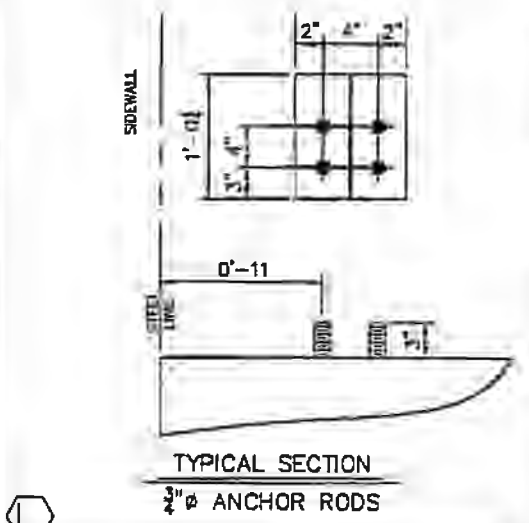
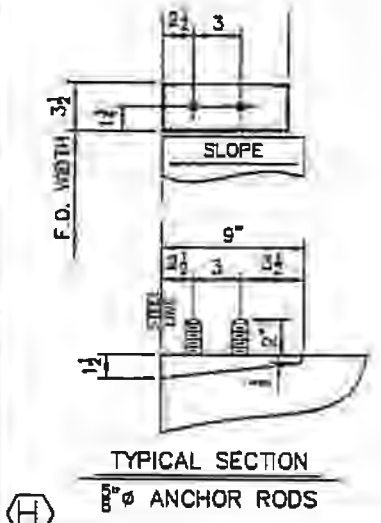
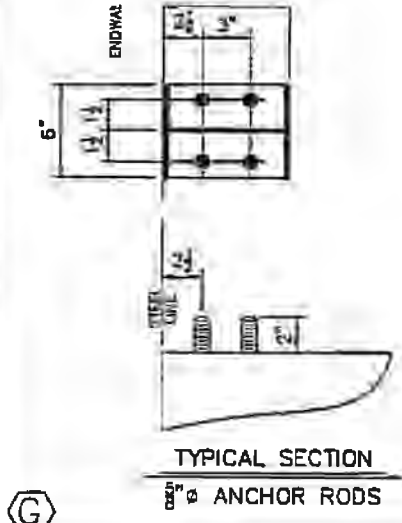
X-Bracing is to be installed to a taut condition with all slack removed. Do not tighten beyond this state.

The framing at building A gridlines 1,3 is NOT designed to receive a future bay addition. Corresponding frame reactions are calculated based upon actual tributary areas. Roof and wall panels have been designed in accordance with section 2222.4 of the Florida Building Code, Product approval numbers for the State of Florida, Department of Community Affairs per Product Rule 9B-72:

1. Panel Walls
 - FL11917 26 gauge AVP panel
 - FL11917 PBR 22, 24, 26 and 29 gauge walls
 - FL11917 24 gauge ShadowRib
 - FL16277 IMP CF Wall Panel
 - FL16377 LS-36 IMP Wall Panel
2. Roofing Products
 - FL11819 BattenLok HS 22 and 24 gauge roofs, 12' and 16' wide
 - FL11819 DoubleLok 22 and 24 gauge roofs, 12', 18' and 24' wide
 - FL11819 SuperLok 22 and 24 gauge roofs, 12' and 16' wide
 - FL11819 UltraDek 22 and 24 gauge roofs, 12', 18' and 24' wide
 - FL11868 PBR 22, 24, and 26 gauge roofs
 - FL11868 PBU 26 gauge roofs
 - FL16376 LS-36 IMP roof panel
 - FL7766 CFR IMP roof panel (42' max width, 24/26 min Ga.)

This building has been designed for a 5270x1170 Schweiss Bifold door. Per door manufacturer specification, this building is designed to support the door weight of 6616 lbs with a clear opening height of 117-07.





WL	-0.1	-0.0	0	-2.4	-18.7	0.0	0	-12.2	0.0	0.1	-0.1	0
E+	0	0	0	0	0	0.0	0	0	0	0	0	0
E-	0	0	0	0	0	0.0	0	0	0	0	0	0
ER	0	0	0	0	0.1	0	0.1	-0.1	0	0	0	0
EL	0	0	0	-0.1	-0.1	0	0	0.1	0	0	0	0

WL	-0.1	-0.0	0	-2.4	-18.7	0.0	0	-12.2	0.0	0.1	-0.1	0
E+	0	0	0	0	0	0.0	0	0	0	0	0	0
E-	0	0	0	0	0	0.0	0	0	0	0	0	0
ER	0	0	0	0	0.1	0	0.1	-0.1	0	0	0	0
EL	0	0	0	-0.1	-0.1	0	0	0.1	0	0	0	0

LOAD GROUP DESCRIPTION

- D DEAD LOAD
- C COLLATERAL LOAD
- L LIVE LOAD
- W+ WIND LOAD AS AN INWARD ACTING PRESSURE
- W- WIND LOAD AS AN OUTWARD ACTING SUCTION
- WR WIND FORCE FROM THE RIGHT
- WL WIND FORCE FROM THE LEFT
- E+ EARTHQUAKE FORCE ACTING INWARD
- E- EARTHQUAKE FORCE ACTING OUTWARD
- ER EARTHQUAKE FORCE FROM RIGHT
- EL EARTHQUAKE FORCE FROM LEFT

LOAD GROUP DESCRIPTION

- DL Roof Dead Load
- LL Roof Live Load
- COLL Roof Collateral Load
- RODREQ Downward Acting Rod Brace Load from Long. Seismic
- ED Lateral Seismic Load (parallel to plane of frame)
- RODREQ Upward Acting Rod Brace Load from Long. Seismic
- WL1 Wind from Left to Right with +GCJ
- WL2 Wind from Left to Right with -GCJ
- WL3 Wind from Right to Left with +GCJ
- WL4 Wind from Right to Left with -GCJ
- LWL1 Windward Corner Left with +GCJ
- RODPLW Upward Acting Rod Brace Load from Long. Wind
- LWL2 Windward Corner Right with +GCJ
- LWL3 Windward Corner Left with -GCJ
- LWL4 Windward Corner Right with -GCJ
- RODPLW Downward Acting Rod Brace Load from Long. Wind

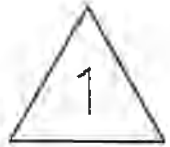
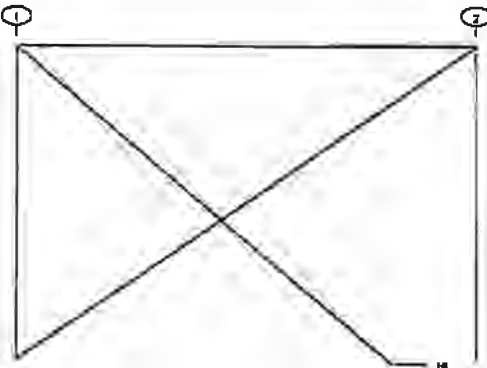
DIT REACTIONS FOR EACH LOAD GROUP

- 1) All reactions are in kips and kip-ft.
- 2) The seismic overstrength factor (Omega) is not included in the "ED" Load Group reactions.

JOB NAME:17-B-86354

ICON NOTATIONS

SWA, the A

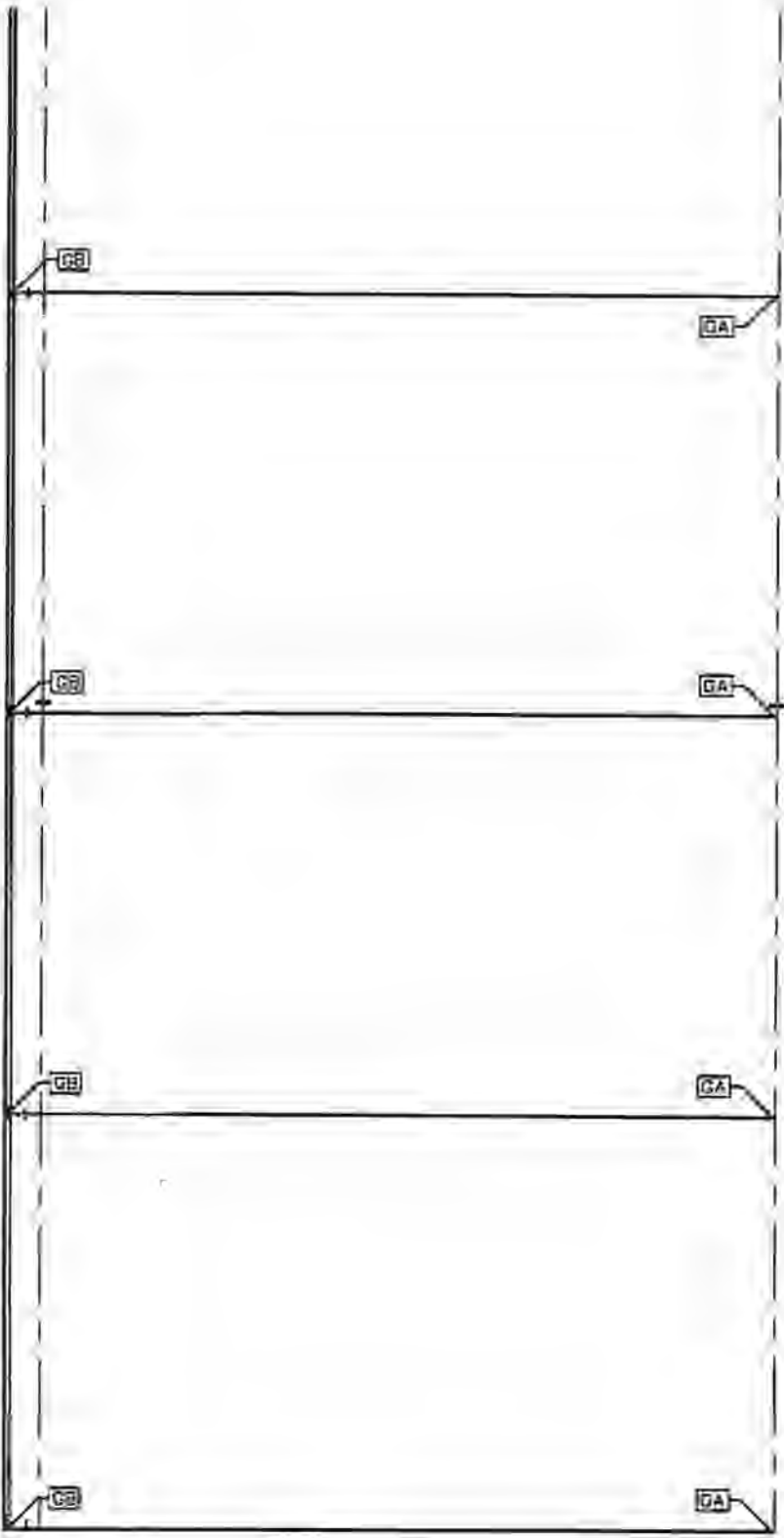


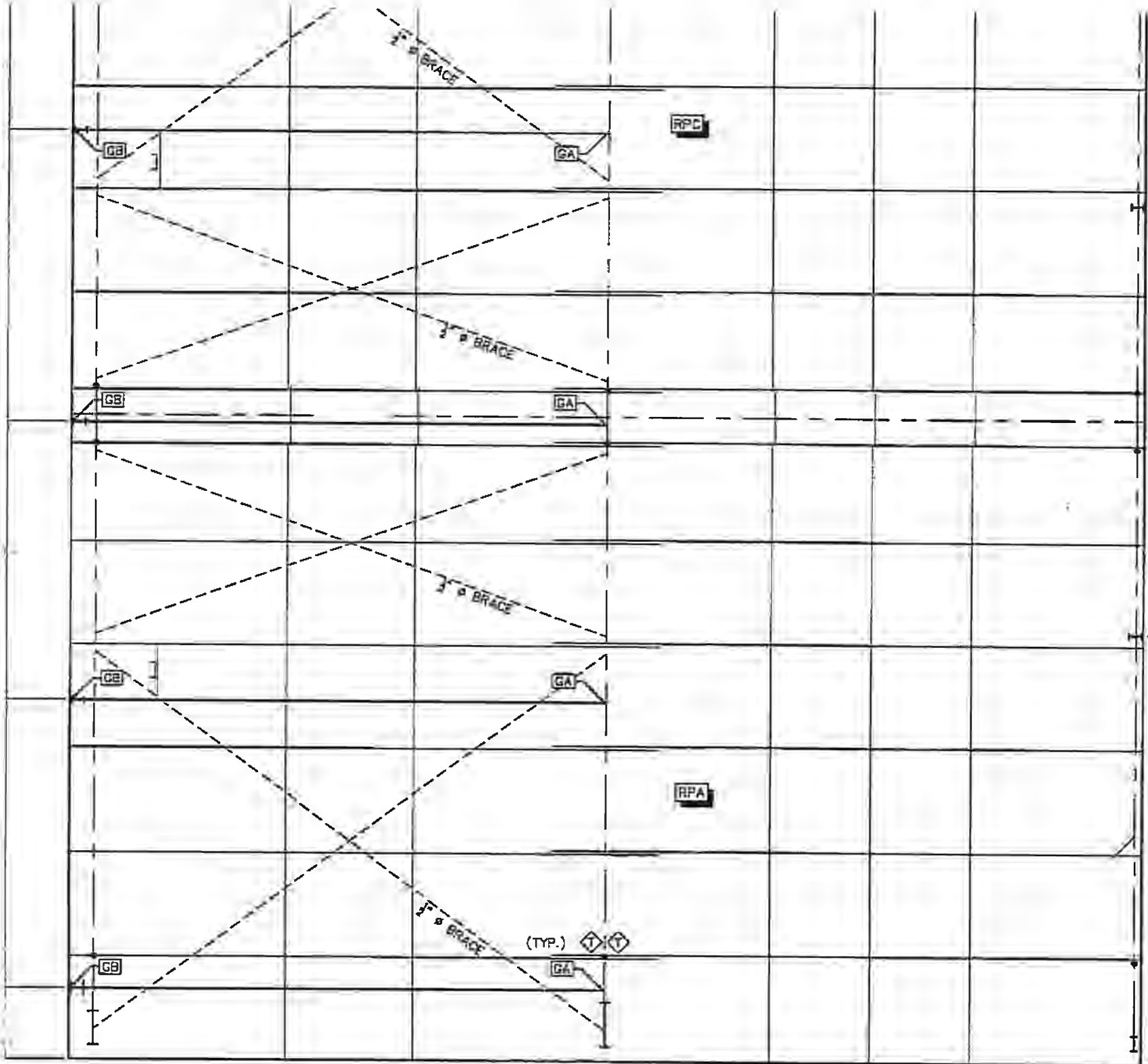
LOAD GROUP REACTION TABLE

LOAD GROUP	DETAIL (1)	
	HL	VL
ED	0.0	0.0
WL	5.6	3.3

NOTES

- 1) THE REACTIONS PROVIDED ARE BASED ON THE ORDER DOCUMENTS AT THE TIME OF MAILING. ANY CHANGES TO BUILDING LOADS OR DIMENSIONS MAY CHANGE THE REACTIONS. THE REACTIONS WILL BE SUPERSEDED AND VOIDED BY ANY FUTURE MAILING.
 - 2) THE REACTIONS PROVIDED HAVE BEEN CREATED WITH THE FOLLOWING LAYOUT (UNLESS NOTED OTHERWISE).
 - a) A REACTION TABLE IS PROVIDED WITH THE REACTIONS FOR EACH LOAD GROUP.
 - b) RIGID FRAMES
 - (1) GABLED BUILDINGS
 - (a) LEFT AND RIGHT COLUMNS ARE DETERMINED AS IF VIEWING THE LEFT SIDE OF THE BUILDING, AS SHOWN ON THE ANCHOR ROD DRAWING, FROM THE OUTSIDE OF THE BUILDING.
 - (b) INTERIOR COLUMNS ARE SPACED FROM LEFT SIDE TO RIGHT SIDE.
 - (2) SINGLE SLOPE BUILDINGS
 - (a) LEFT COLUMN IS THE LOW SIDE COLUMN.
 - (b) RIGHT COLUMN IS THE HIGH SIDE COLUMN.
 - (c) INTERIOR COLUMNS ARE SPACED FROM LOW SIDE TO HIGH SIDE.
 - c) ENDWALLS
 - (1) LEFT AND RIGHT COLUMNS ARE DETERMINED AS IF VIEWING THE WALL FROM THE OUTSIDE.
 - (2) INTERIOR COLUMNS ARE SPACED FROM LEFT TO RIGHT.
 - d) ANCHOR ROD SIZE IS DETERMINED BY SHEAR AND TENSION AT THE BOTTOM OF THE BASE PLATE. THE LENGTH OF THE ANCHOR ROD AND METHOD OF LOAD TRANSFER TO THE FOUNDATION ARE TO BE DETERMINED BY THE FOUNDATION ENGINEER.
 - e) ANCHOR RODS ARE ASTM F1554 Gr. 36 MATERIAL UNLESS NOTED OTHERWISE ON THE ANCHOR ROD LAYOUT DRAWING.
 - f) X-BRACING
 - (1) ROD BRACING REACTIONS HAVE BEEN INCLUDED IN VALUES SHOWN IN THE REACTION TABLES.
 - (2) FOR IBC AND IBC BASED BUILDING CODES, WHEN X-BRACING IS PRESENT IN THE SIDEWALL, INDIVIDUAL LONGITUDINAL SEISMIC LOADS (RODREQ AND RODREQ) DO NOT INCLUDE THE AMPLIFICATION FACTOR, R_d .
 - (3) FOR CANADA BUILDING CODE (NBC), WHEN X-BRACING IS PRESENT IN THE SIDEWALL OR ENDWALL, INDIVIDUAL LONGITUDINAL SEISMIC LOADS (RODREQ & RODREQ) ARE MULTIPLIED BY FORCE REDUCTION FACTOR, R_d , WHEN SPECIFIED SHORT-PERIOD SPECTRAL ACCELERATION RATIO $f_s \leq (0.2)$ IS GREATER THAN 0.45.
 - 3) REACTIONS ARE PROVIDED AS UN-FACTORED FOR EACH LOAD GROUP APPLIED TO THE COLUMN. THE FOUNDATION ENGINEER WILL APPLY THE APPROPRIATE LOAD FACTORS AND COMBINE THE REACTIONS IN ACCORDANCE WITH THE BUILDING CODE AND DESIGN SPECIFICATIONS TO DETERMINE BEARING PRESSURES AND CONCRETE DESIGN. THE FACTORS APPLIED TO LOAD GROUPS FOR THE STEEL COLUMN DESIGN MAY BE DIFFERENT THAN THE FACTORS USED IN THE FOUNDATION DESIGN.
 - a) FOR PROJECTS USING ULTIMATE DESIGN WIND SPEEDS SUCH AS 2012 IBC, 2015 IBC, OR FLORIDA BUILDING CODE, THE WIND LOAD REACTIONS ARE AT A STRENGTH VALUE WITH A LOAD FACTOR OF 1.0.
 - b) FOR IBC CODES, THE SEISMIC REACTIONS PROVIDED ARE AT A STRENGTH LEVEL AND DO NOT CONTAIN THE RHO FACTOR.
 - c) FOR NBCC CODES, THE SEISMIC REACTIONS PROVIDED DO NOT CONTAIN THE R_d/R_s FACTOR.
- THE MANUFACTURER DOES NOT PROVIDE "MAXIMUM" LOAD COMBINATION REACTIONS. HOWEVER, THE INDIVIDUAL LOAD REACTIONS PROVIDED MAY BE USED BY THE FOUNDATION ENGINEER TO DETERMINE THE APPLICABLE LOAD COMBINATIONS FOR HIS/HER DESIGN PROCEDURES AND ALLOW FOR AN ECONOMICAL FOUNDATION DESIGN.





20'-0"

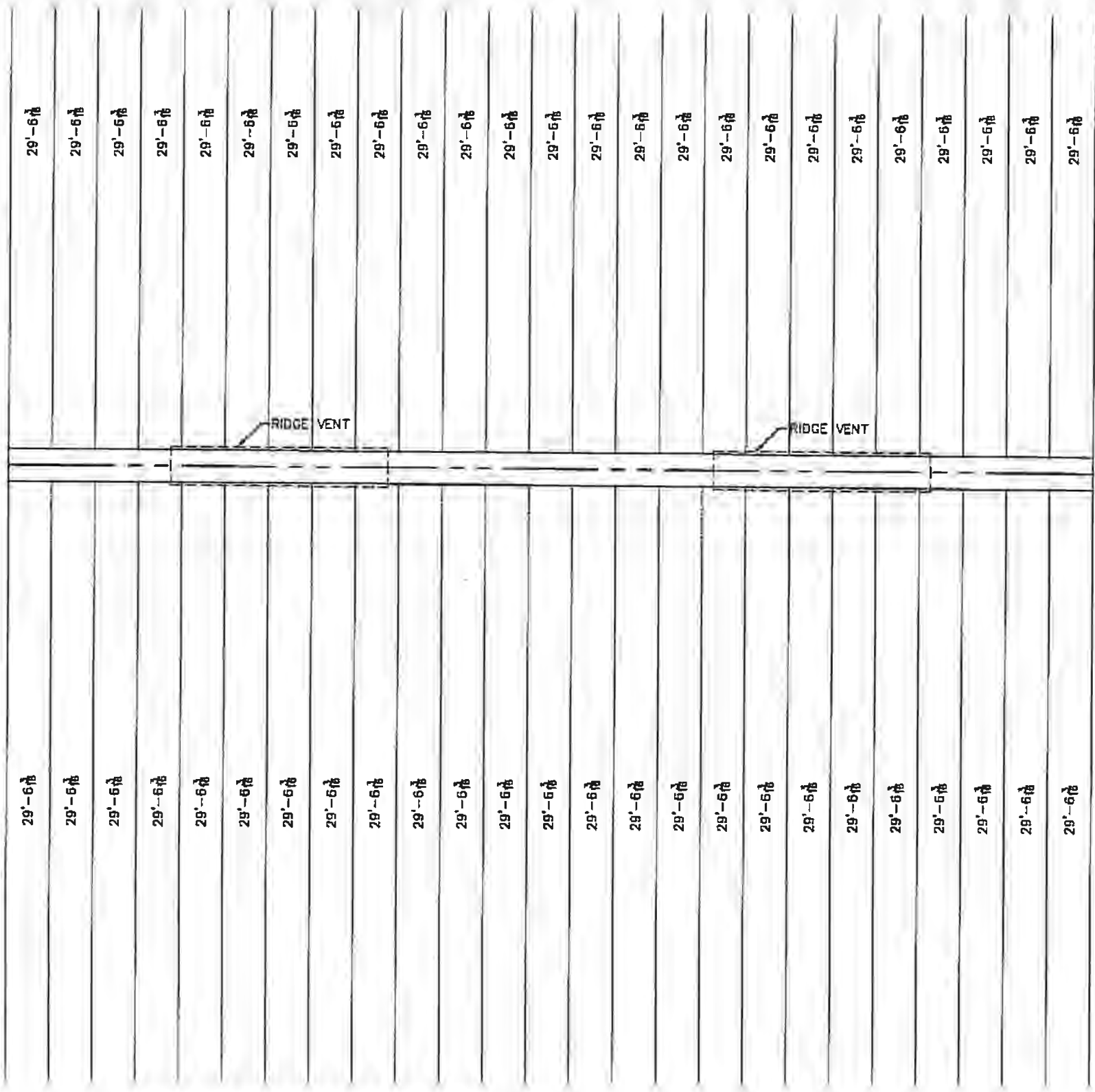
20'-0"

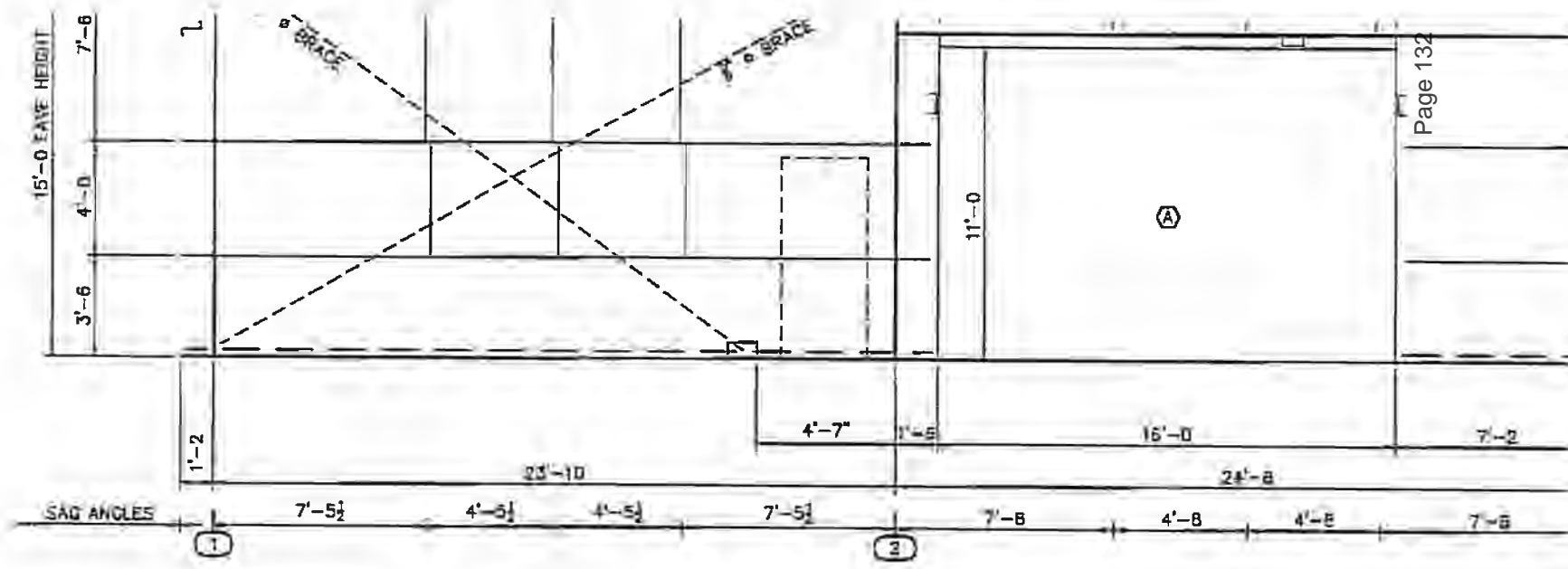
60'-0" OUT/OUT OF STEEL

b

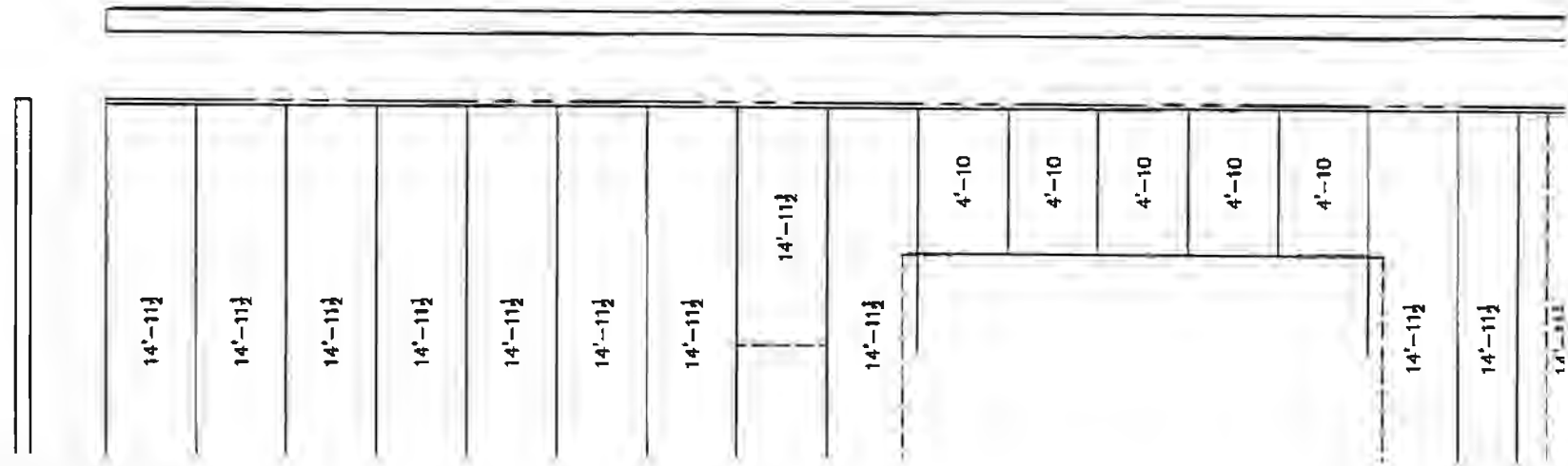
c

d

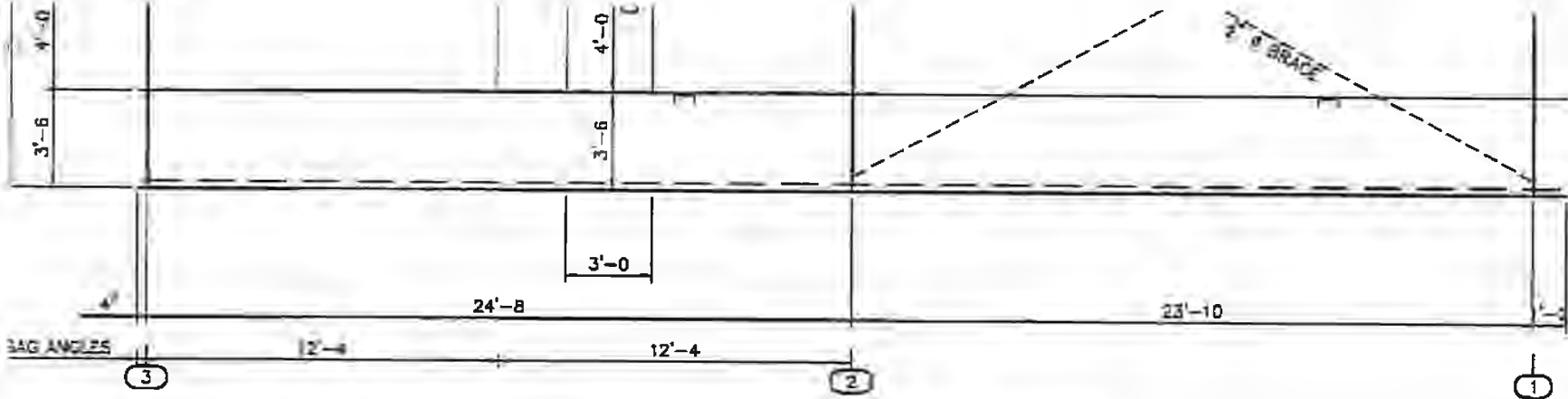




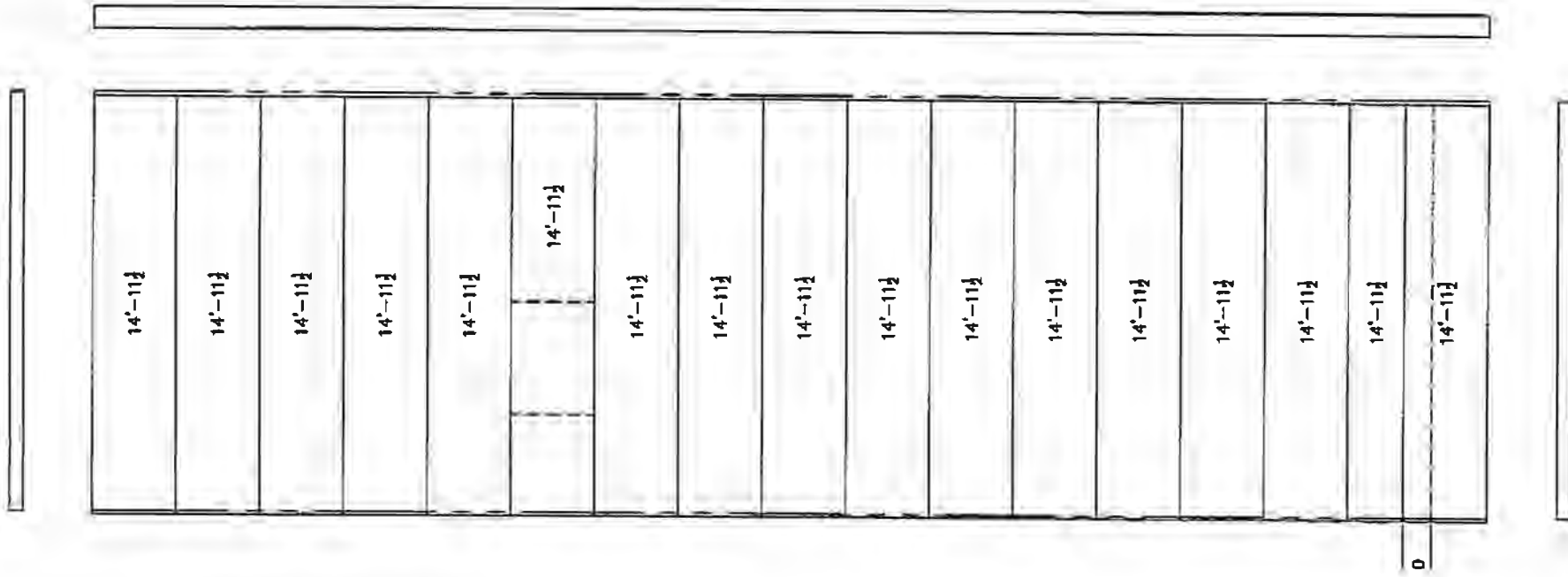
SIDEWALL ELEVATION "SWA" AT GRID LINE "A"

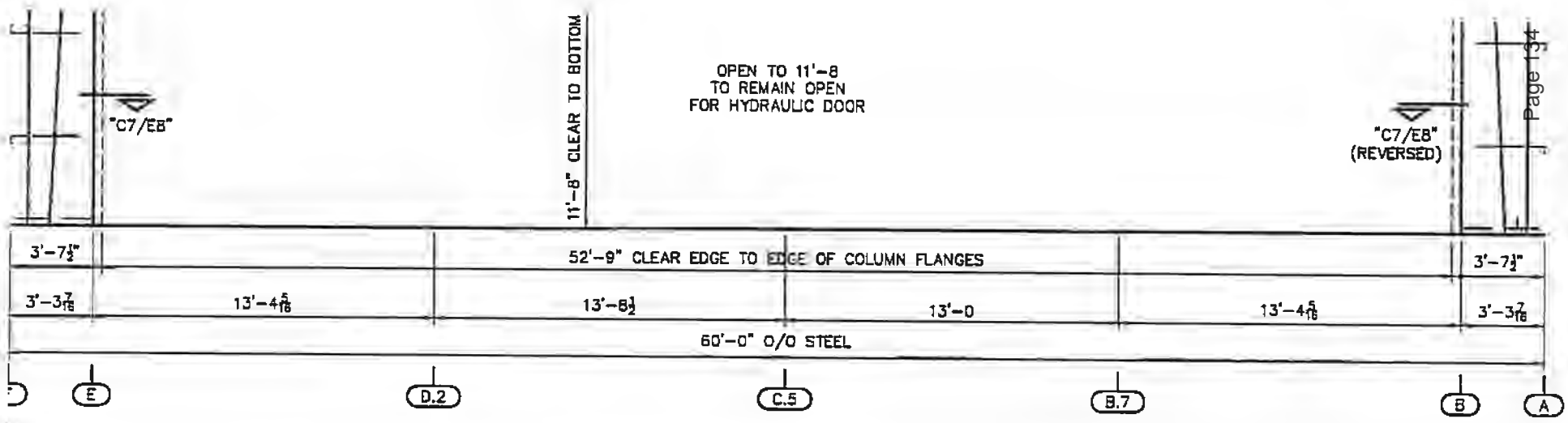


PBR WALL PANELS

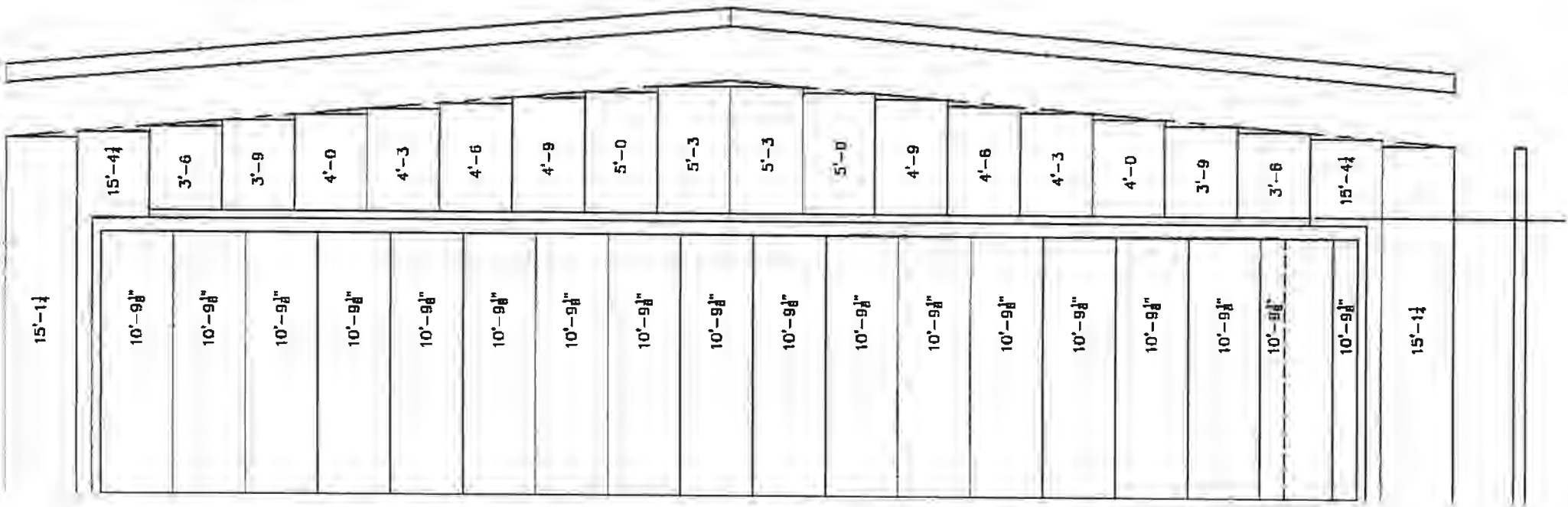


SIDEWALL ELEVATION "SWC" AT GRID LINE "F"

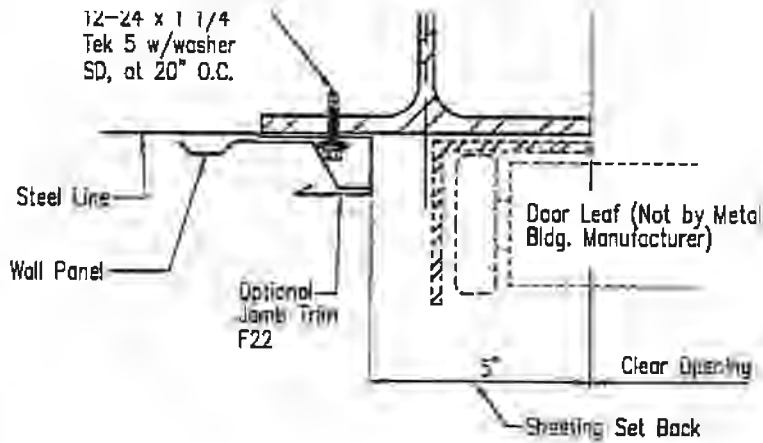




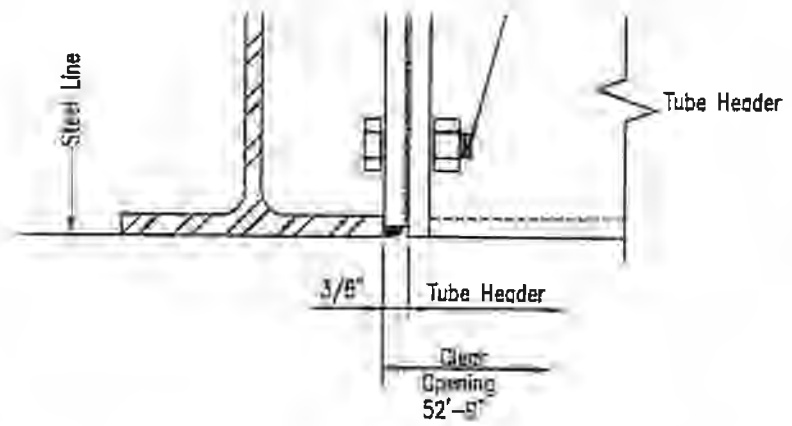
ENDWALL ELEVATION "EWB" AT GRID LINE "1"



12-24 x 1 1/4
Tek 5 w/washer
SD, at 20" O.C.



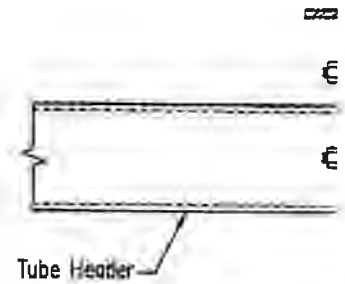
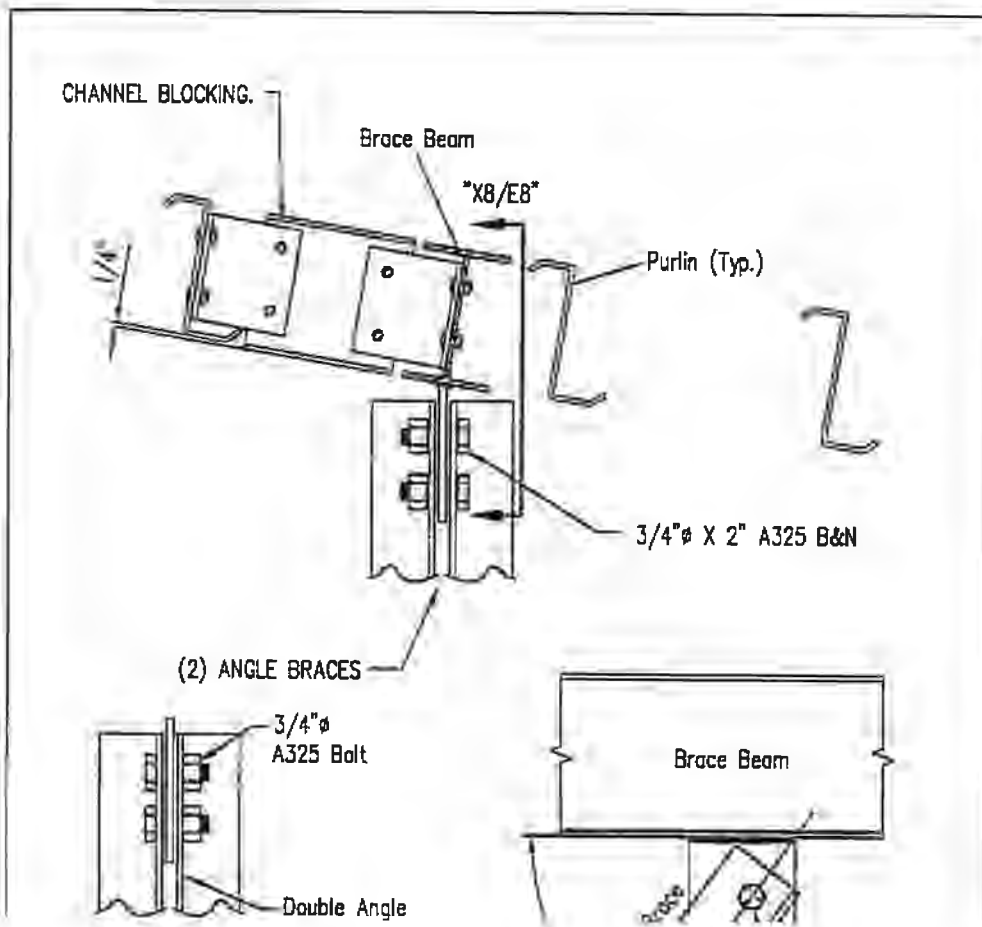
SECTION "C7/E8"



SECTION "D7/E8"



(4) 5/8" x 1 3/4"
A325 B&N



* Hinge is not supplied by Bldg. Mfr.

Tube

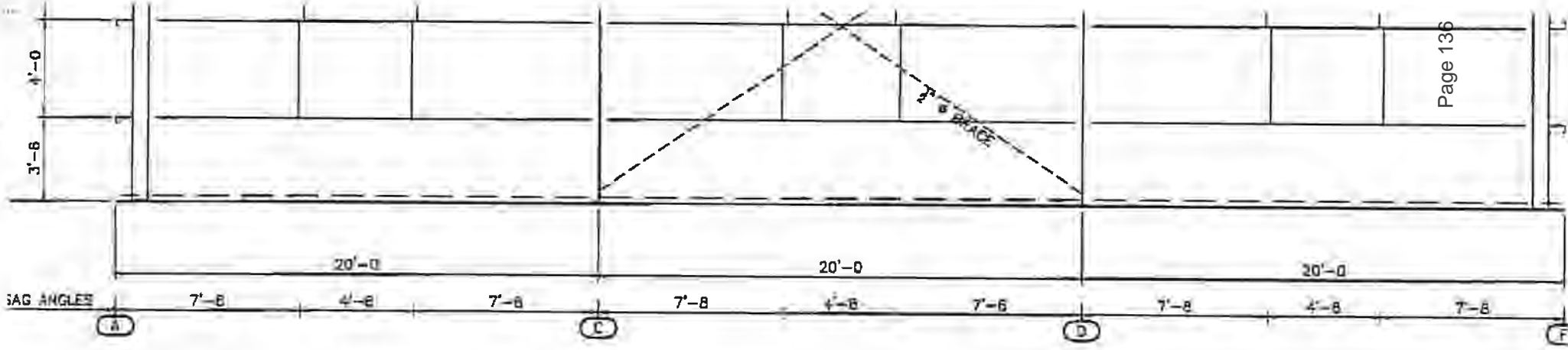
- 1 Erection Aid Bolts.
Use (2) 5/8" x 1 1/2"
A325 Bolts

Temporarily to hold
header in place.

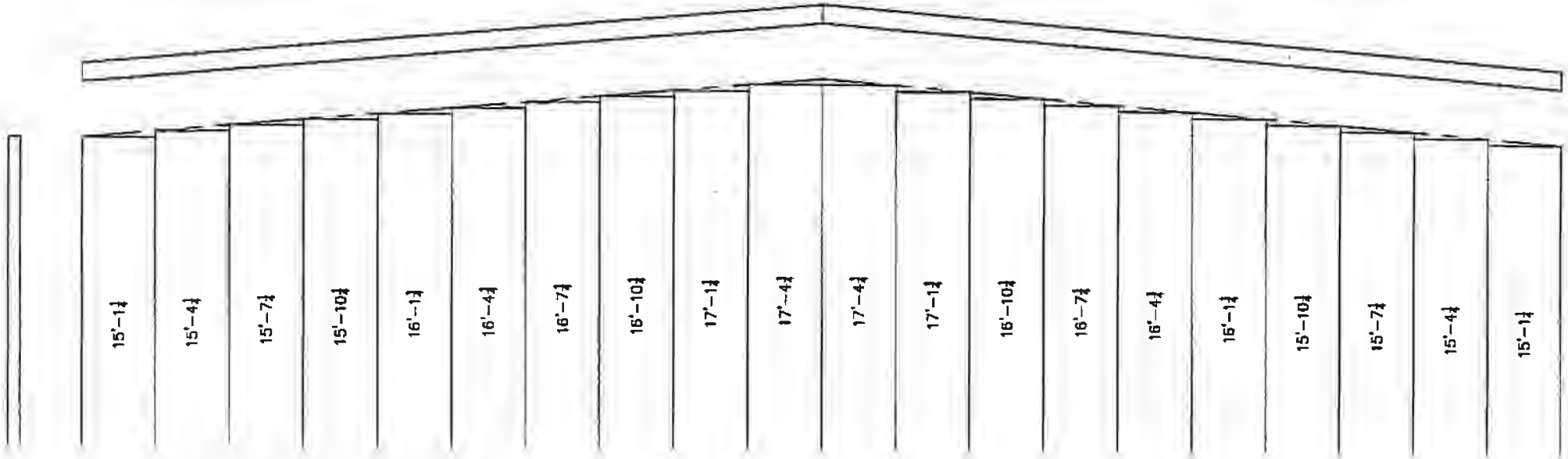
- 2 Connection Bolts.
Use (2) 5/8" x 1 3/4"
A325 Bolts

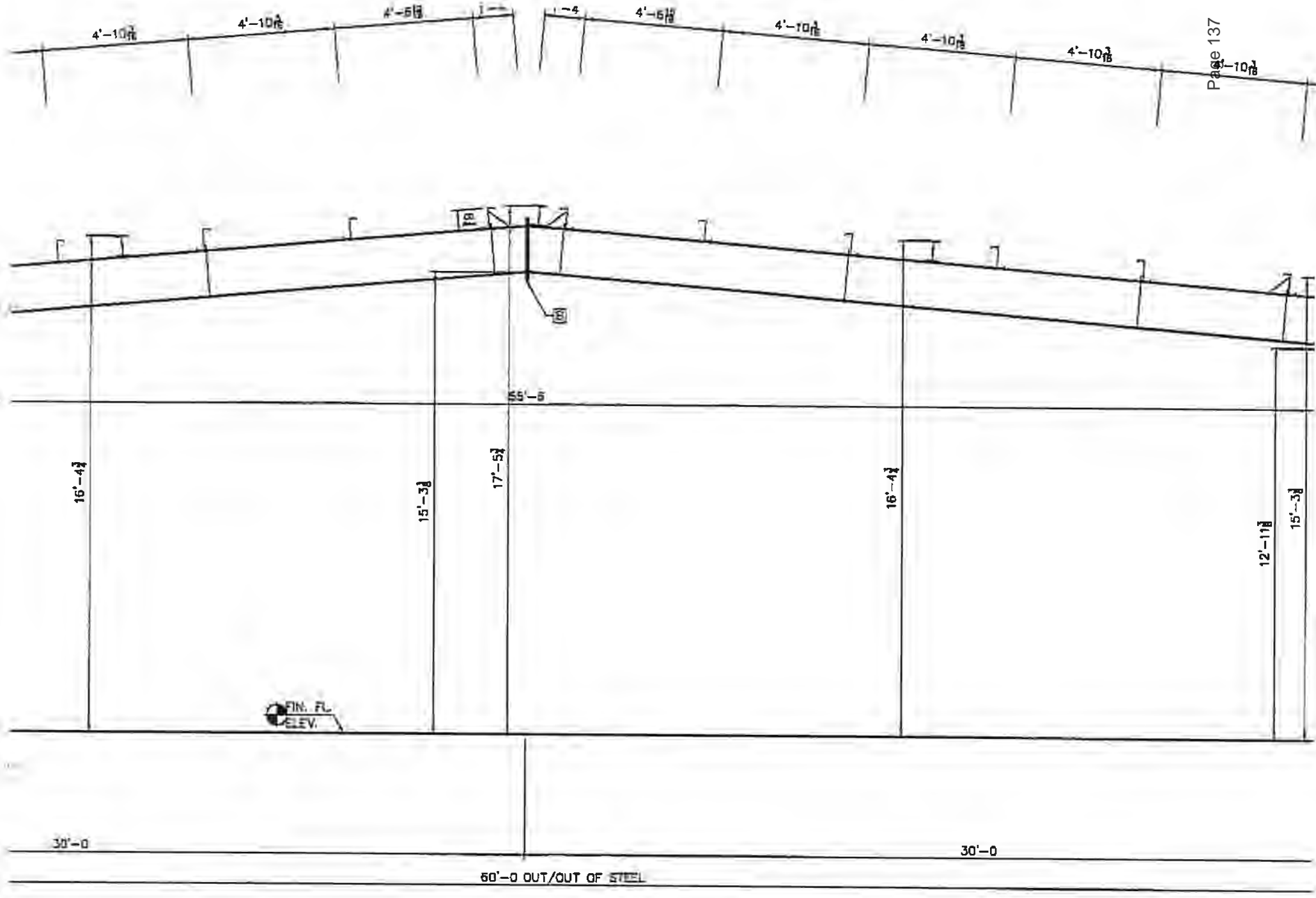
After headers are



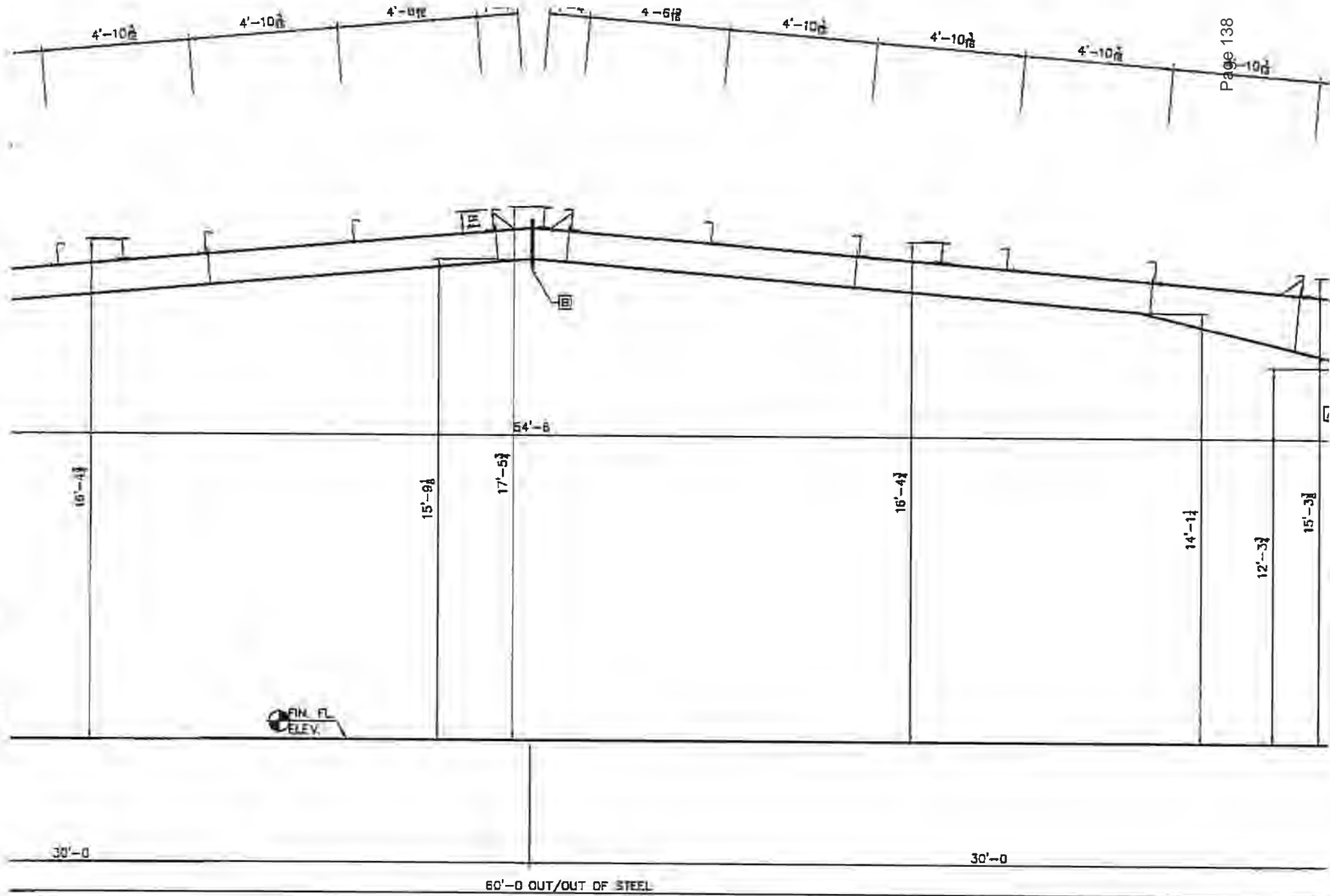


ENDWALL ELEVATION "EWD" AT GRID LINE "3"





CROSS SECTION AT FRAME LINE "1"



CROSS SECTION AT FRAME LINE "2"

than the Manufacturer, including Copies of Plans

Corrective Work (Sum Of 1, 2, 3, And 4). The To The Customer By The Manufacturer In The : Lesser Of The Maximum Total Cost Set Forth "Corrective Work" Or The Total Direct Cost Of

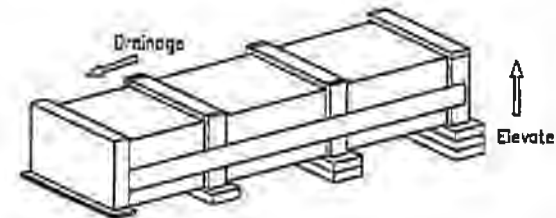
eciation), Small Tools, Supervision, Overhead aims.

hat The Carrier Arrives At The Jobsite On The is No Warranty And Accepts No Responsibility ent Not Arriving At The Requested Time Unless lade In Writing For A Guaranteed Arrival Time.

Primer Does Not Provide The Uniformity Of Appearance, Or The Durability And Corrosion Resistance Of A Field Applied Finish Coat Of Paint Over Shop Primer.

that has puddle from condensation on a base. Use, First, of water vapor or moisture greatly increase the slipperiness of the panels. Always assume the surface is slippery and act accordingly. Never walk or step on skylights or translucent panels.

Use Wood Blocking To Elevate And Space The Panels In A Manner That Allows Moisture To Drain. Wood Blocking Placed Between Bundles Will Provide Additional Air Circulation. When Handling Or Unloading The Panels, Lift Rather Than Slide Them Apart. Burred Edges May Scratch The Coated Surfaces When Sheets Are Slid Over One Another. Never Allow Panels To Be Walked On While On The Ground.



Condensation Or Trapped Water

Condensation : Panels Be Monitored For Evidence Or Trapped Water While Awaiting Erection. High Humidity Conditions May Cause Condensation Between Panels Within The Bundles, Especially Frequently Near The Sea Coast Or Other Large Bodies Of Water.

Should Be Tied Away From The Bundle At The Jobsite. This Will Help Prevent Water From Accumulating Around Or Building Floor From Condensing On The Bundles. The Bundles Covers Are Not Recommended. Immediate Action Is Required If Bundles Are Found To Be Wet From Any Cause. The Bundles Should Be Thoroughly Dried On A Level Surface At A Slight Angle To Each Other To Prevent Water From Accumulating. Assist In Keeping The Panel Dry. In Severe Cases, It May Be Necessary To Circulate Air Between The Un-Stacked Bundles. Condensation On The panel Coating Occurs When Panels Remain Wet. Damage Can Occur To Nested Panels. Signs Of Damage Include Shows Corrosion And Discoloration Of The Panel Coating. Stain, Zinc Oxidation, Or



Condensation Can Occur With Pre-Primed Steel Under Wet Conditions. The Durability Of The Panel Finish Substantially Decreases. Panels React More Quickly To Surface Oxidation Under These Conditions. Zinc Coated Or Galvalume Panels May Show Signs Of Corrosion.

Safety Commitment

The Builder/Contractor Is Responsible For Applying And Observing All Pertinent Safety Rules And OSHA Standards As Applicable.

The Building Manufacturer Has A Commitment To Manufacture Quality Building Components That Can Be Safely Erected. However The Safety Commitment And Job Site Protocols Of The Erector Are Beyond The Control Of The Building Manufacturer.

It Is Strongly Recommended That Safe Working Conditions And Accident Prevention Practices Be The Top Priority Of Any Job Site.

Local, State And Federal Safety And Health Standards, Whether Standard Statutory Or Customary, Should Always Be Followed To Help Ensure Worker Safety.

Make Sure All Employees Know The Safest And Most Productive Way Of Erecting A Building. Emergency Procedures Should Be Known To All Employees. Daily Meetings Highlighting Safety Procedures Are Also Recommended. The Use Of Hard Hats, Rubber Sole Shoes For Roof Work, Proper Equipment For Handling Material And Safety Nets Where Applicable Are Recommended.

For The Purposes Of Determining Lift Requirements, No Bundle Supplied By The Manufacturer Will Exceed 4,000 Pounds. For Further Information Also Reference The Bill Of Materials For Individual Member Weights Of Structural Members. If Additional Information Is Required Contact The Field Service Department.

ICE AND SNOW REMOVAL:

Excessive Ice And Snow Accumulation Should Be Removed From The Roof Immediately To Prevent Damage To Roof And Possible Collapse. Do Not Use Metal Tools To Remove The Ice Or Snow As This Can Damage The Paint And/Or Galvalume Coatings. Also Be Careful Around Pipes And Flashings.

Be Extremely Careful If Your Roof Has Light Transmitting Panels. These Panels Will Not Support A Person's Weight And Will Be Difficult Or Impossible To See If They Are Covered With Ice Or Snow. See NEMA Low-rise Building Systems Manual, Appendix A5 For Details On Snow Removal Procedures. These Procedures Should Commence When Half Of The Design Roof Snow Load Is Realized.

DEBRIS REMOVAL:

Any Foreign Debris Such As Soddust, Dirt, Leaves, Animal Droppings, Etc. Will Cause Corrosion Of The Roof Coating, Trim, Etc. If Left On The Building Surface

Roof Maintenance Guidelines

1. Inspect Roof For Damage After Heavy Storms.
2. Inspect And Reseal As Necessary All Roof Curbs And Other Penetrations With Urethane Sealant.
3. Always Get Manufacturer Approval Before Making Any Modifications To The Roof.
4. Repaint Any Areas That Are Susceptible To Rust As Required.
5. When Performing Roof Maintenance, Always Take The Following Precautions:
 - a. Use Fall Protection And Other Safety Protection As Required.
 - b. Do Not Walk On Roof Flashing Such As Gutter, Rake, Hip Or Ridge Flash.
 - c. Do Not Walk On Light Transmitting Panels (LTP's). They Will Not Support A Person's Weight.
 - d. Guard All LTP's And Roof Openings.
 - e. Step Only In The Panel Flat Directly On Or In Close Proximity To A Supporting Roof Structure.
6. After Other Trades Have Been On The Roof For Any Reason, Inspect The Roof For Damage Caused By Workers Including Chemical Or Solvent Spills, Scratches In The Paint Or Galvalume Coating, Excessive Foot Traffic And Punctures. Make Sure That All Debris Or Scrap Left Behind By Workers Is Removed From The Roof Immediately. Avoid Using Chain Saws And Welding Equipment Over The Roof. The Roof Must Adequately Be Protected.

FOOT TRAFFIC:

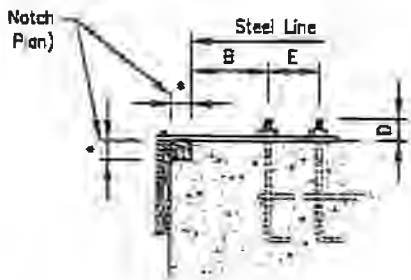
Keep Foot Traffic To A Minimum. Heavy Foot Traffic Can Cause Ponding On Low Pitched Roofs. This Is Particularly True Just Upslope From The Eave And At Endlaps. Always Walk In The Flat Of The Panel Near A Supporting Roof Structural. Do Not Walk On Trim Or In Gutters. On Bare Galvalume Roofs, Excessive Foot Traffic May Cause Black Burnish Marks. If Regular Foot Traffic Is Planned For A Roof, Provisions Should Be Made For A Properly Designed And Installed Walkway System. In Order To Limit Access To The Roof, Roof Hatches Or Access Ladders Should Be Locked At All Times. A Sign Posted At The Access Site Stating That Only Authorized Personnel Are Allowed On The Roof. In Addition A Log Book Should Be Kept Of All Visits To The Roof And

the Cons Erect Units Persi Walk Ends Seve And/ Acro Pane Atter Dam Leav Pane May Occu Stab Will I The Requ The Are Dam

Neve (LT)

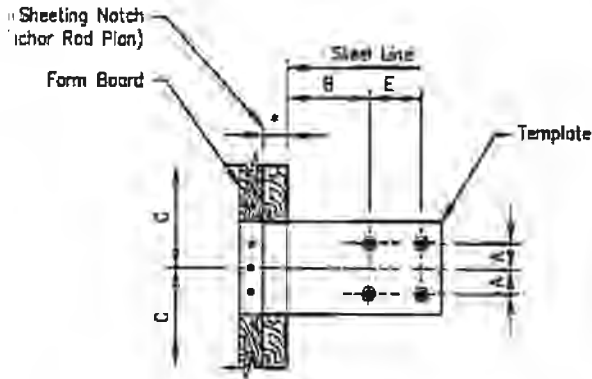
Roof Side Tran

A Si Run Regi



Sheeting Notch Shown But May Not Be Required (See Anchor Rod Plan)

Projection Of Anchor Rods (D) Given On Anchor Rod Plan

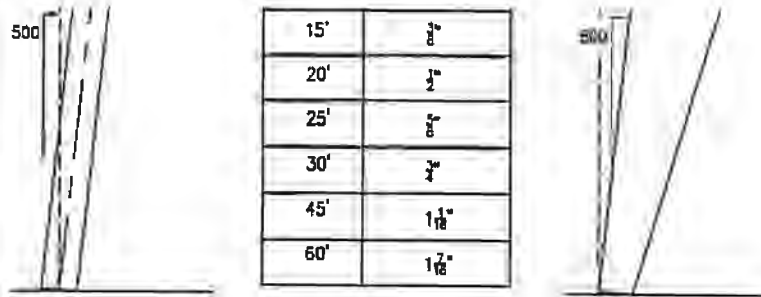
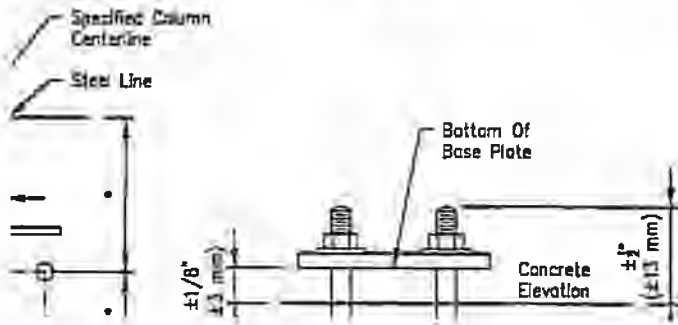


Dimensions A, B, And C Given On Anchor Rod Plan

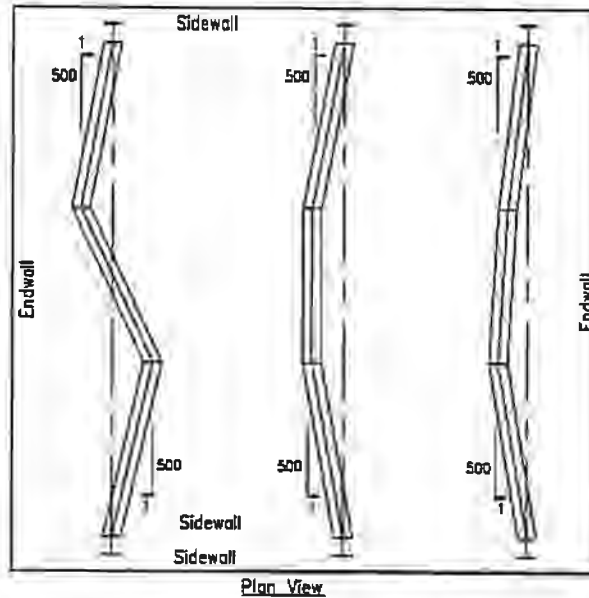
Of Standard Practice For Steel Building And Bridges For Setting Anchor Rods

Rod Diameter, inches (mm) Horizontal Spacing, inches (mm)

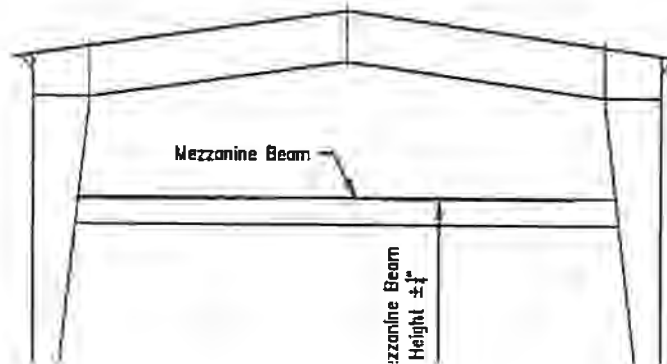
- and 1/4" (19 And 22 mm) 1/2" (6 mm)
- 1/2", 3/4", 1" (25, 31, 38 mm) 3/8" (10 mm)
- 1 1/2", 2", 2 1/2" (44, 50, 63 mm) 1" (13 mm)



ALIGNMENT TOLERANCE FOR MEMBERS WITH FIELD SPLICES

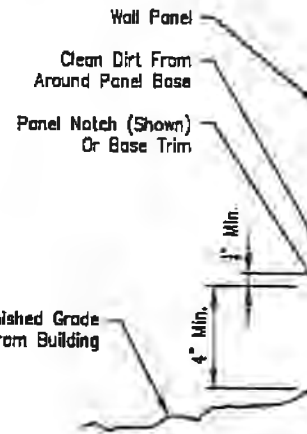


MEZZANINE BEAM HEIGHT TOLERANCE



4.) Upon Completion Of Finish Grading, All Dirt Base Of Wall Panels Where It May Have Collected

Page 1



Fastener Installation

Correct Fastener Installation Is One Of The Most Critical Details In The Construction Of A Steel Building. Drive The Fastener In Until It Is Tight And Tighten It. A Slight Extrusion Of Neoprene Around The Washer Is Acceptable. Use The Proper Tool To Install Fasteners. A Fastener 1700-2100 Should Be Used For Self-Drilling Screws. Should Be Used For Self-Tapping Screws. Discard Any Fastener To Which Drilling Installation.

Note: Always Remove Metal Filings From Surface Work Period. Rusting Filings Can Destroy The Fastener.



Correct Compression Of DI Sealing Washer



Too Tight Compression Of Sealing Washer

Tape And Tube Sealant

Proper Tape And Tube Sealant Application Is Critical To The Tightness Of A Building. Tape Sealant Should Be Installed. Apply Only To Clean, Dry Surfaces. Do Not Apply Sealant In A Day, Dull Sealant In A Cool Dry Place. During Cold Weather Must Be Kept Warm (60°-90°) Until Application. Applied, Keep Protective Paper In Place Until F.

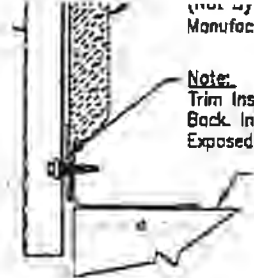
Important Note

All Details, Recommendations And Suggestions In This Drawing Set Are For General Use.

Trim by Metal Building Manufacturer)

Note:
Trim Insulation And Turn Vinyl Back Insulation Must Not Be Exposed To Weather

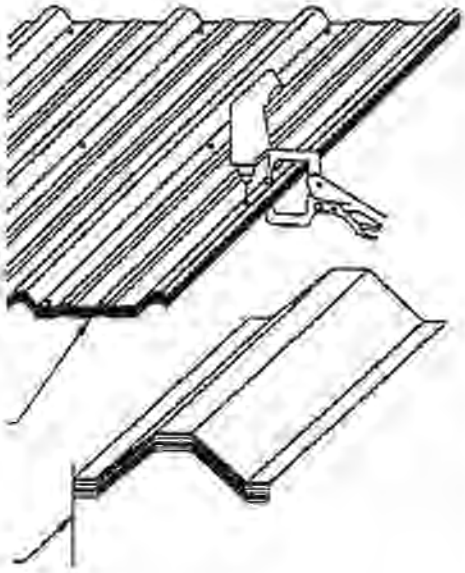
Finish Floor



Base Detail
See Erection Drawings)

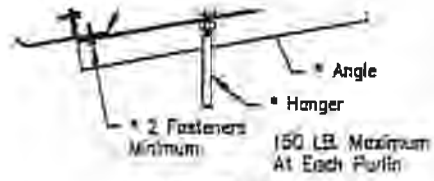
Installed So That The Panel Sidelap Is In A Direction Wind. Refer To Appropriate Lap Detail Included With

That All Panels Are Aligned And Plumb.

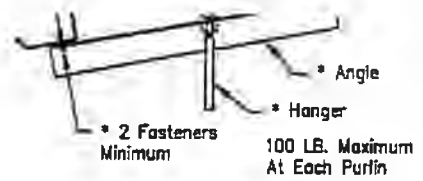


Screw Alignment Panel
(rough Fastened Panel Only)

Important To Clean Metal Filings Off All Panel Surfaces, That Are Not Installed That Day, To Avoid Rust Stains.



Clip Connection To Purlin Web



Angle Connection To Purlin Flange

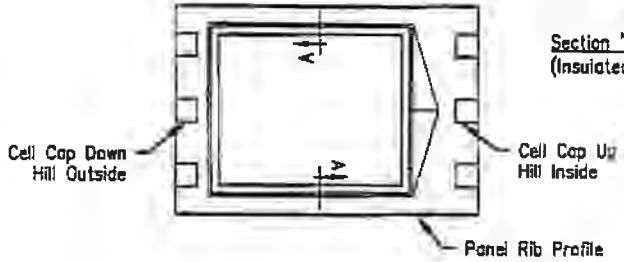
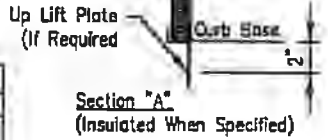
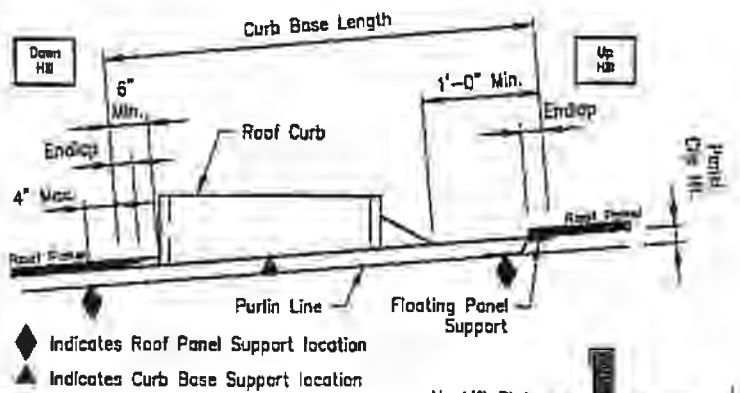
Do Not Install Purlin Clips of any kind on the Flange of the Purlin



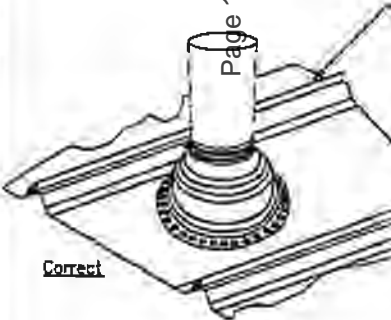
* Denotes Material Not Provided By Metal Building Manufacturer.

The Total Hanger Load Shall Not Exceed The Design Collateral Load For The Building. Example:
5'-0" (Purlin Spacing) X 5'-0" (Hanger Spacing) X 6 PSF (collateral Load) = 150 lbs.
See Cover Sheet For Design Collateral Load For This Building.
Note: If The Building Is Designed For 0 PSF Collateral Load, Then Adding Any Suspended System (Le. Duct Work, Piping, Lights, Ceilings, Etc.) Will Correspondingly Reduce The Design Live Load.

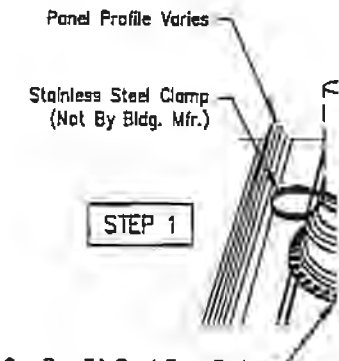
Roof Curbs When Not Supplied By Building Manufacturer



The Curb Details Shown Illustrate The Building Manufacturers Recommended Curb Style And Installation Method. It Is The Erector/Installer's Responsibility To Provide



Install Pipe In Center To Allow Base Cannot Encompass More Than 75% O



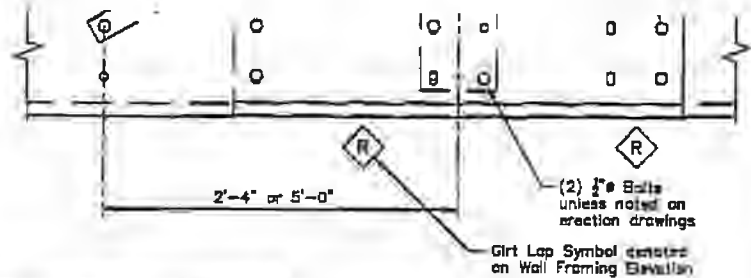
STEP 1



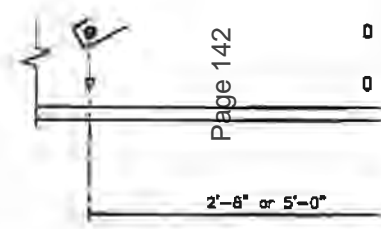
STEP 2



STEP 3



Erection Note
 Flange Braces may be required one or both sides of Columns.
 For requirements, and locations at Main Frame and Rigid Frame in Endwall refer to "Cross Section".
 For requirements, and locations at Bearing Frame Endwall refer to "Elevation One".



Erection Note
 Flange Braces may be required one or both sides of Columns.
 For requirements, and locations at Main Frame and Rigid Frame in Endwall refer to "Cross Section".
 For requirements, and locations at Bearing Frame Endwall refer to "Elevation One".

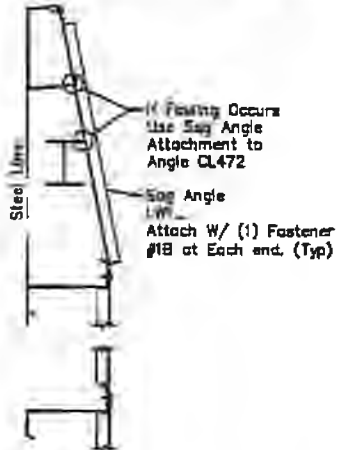
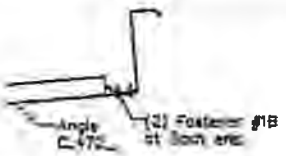
Sag Angle Attachment at Sidewall

Page CF03042
 Rev May '19 03

Sag Angles at Sidewall Framed Opening
 (3 or 4 Sided Framed Opening with Jambs to Floor)

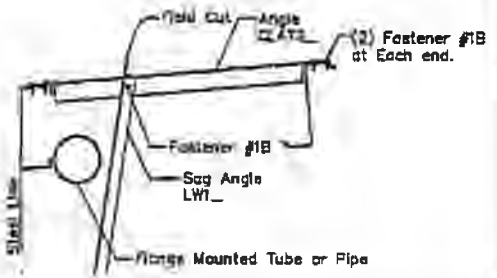
Page CF03045
 Rev May '18 02

Sag Angle Attachment at Enc

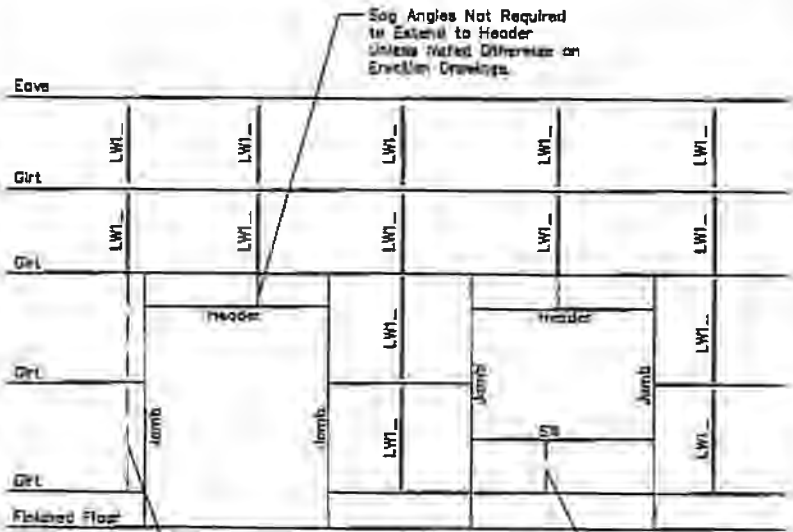


Sag Angle Attachment to Eave Strut

Note: Use Sag Angle Attachment to Angle CL472 W/ Wall Liner



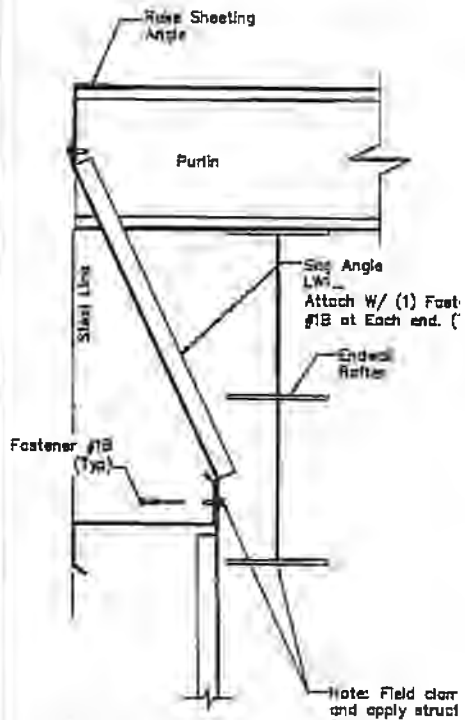
Note: See Erection Drawings for Mark Number Locations and Spacing.



Sag Angles Not Required to Extend to Header Unless Noted Otherwise on Erection Drawings.

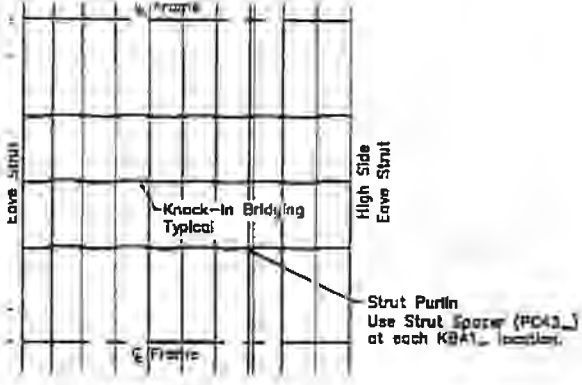
Sag Angles Not Required if Location is 1'-0" or Less From Jamb, Unless Noted Otherwise on Erection Drawings.

Sag Angle Not Required From F.O. STR to Girt, Unless Noted Otherwise on Erection Drawings.

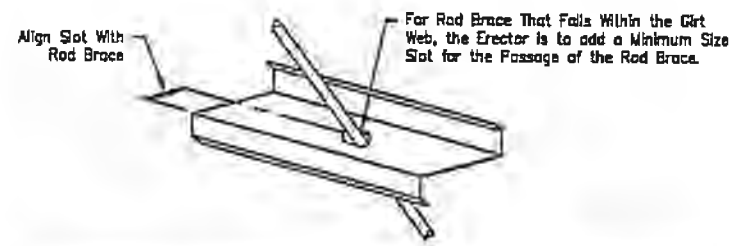


Rafter Outside of Girt Space

Note: Field clng and apply struct from opposite side if lower than gl

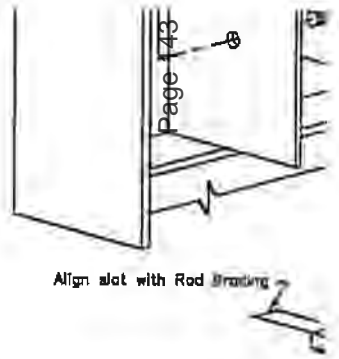


Single Slope Building



Part Marks for Rod Brace Assembly

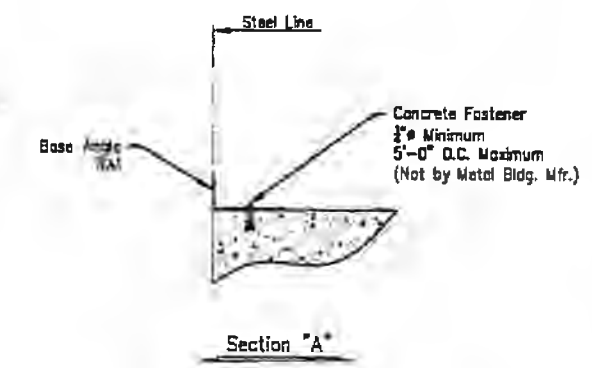
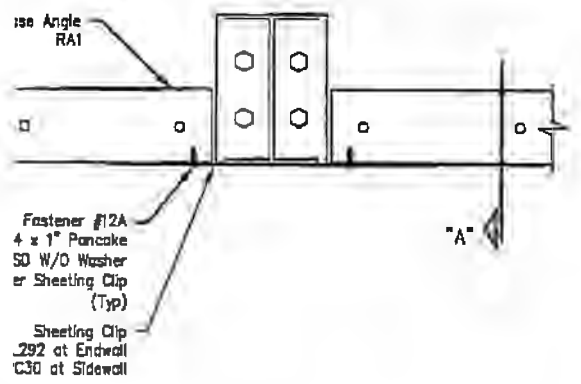
Rod Brace Diameter	Rod Brace	Slope Washer	* Flat Washer	Flat Washer	Hex Nut
3/4"	WR08	WS110	* WF500	WFH500	HSN500
1"	WR10	WS110	None	WFH525	HSN625
1 1/4"	WR12	WS120	None	WFH750	HSN750
1 1/2"	WR14	WS120	None	WFH875	HSN875
1 3/4"	WR16	WS130	None	WFH1000	HSN1000



ERECTION NOTE: DETAIL SHOWN AT RAFTER OR PIPE/TUBE STRUT.

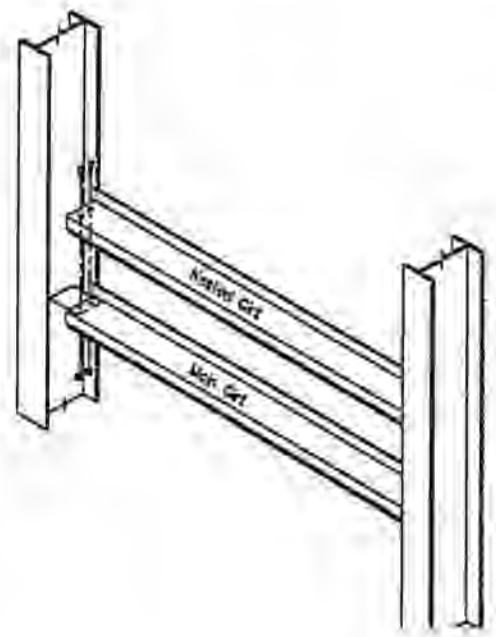
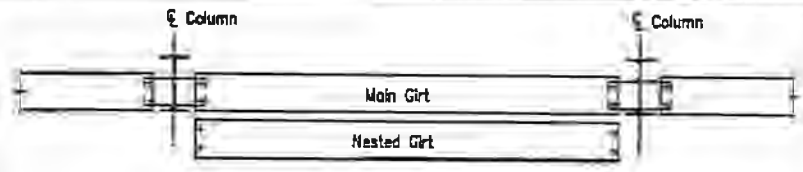
mn Base Angle Detail With Flush Column

BF01005
Title Apr '16 Rev 00

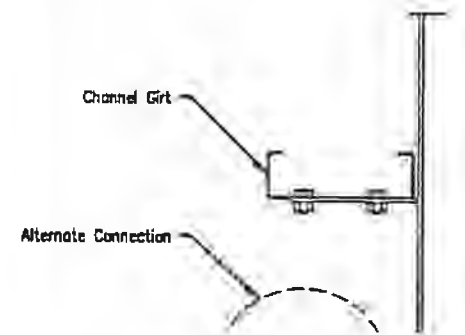
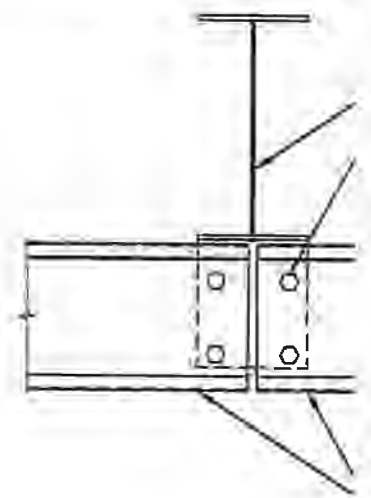


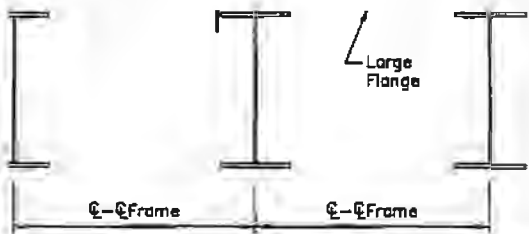
Welded Clip Interior Bay With Nested Zee Girt

CF01113
Title Apr '19 Rev 01

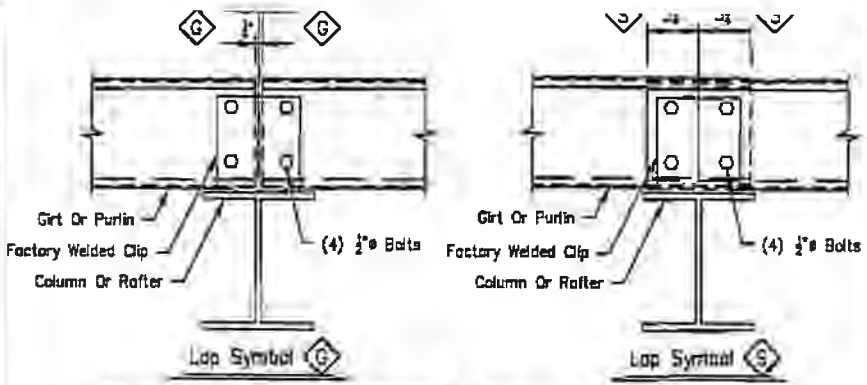


Cee Girt to Column Standard Connection



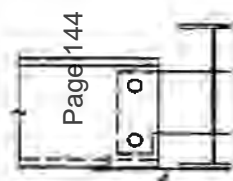


Large leg of the Zee must be alternated from top to bottom in order to nest the member correctly. A notch has been added to the end of the Zee near connection holes, that will point to the large leg member.



SYMBOL	LAP LENGTH	SYMBOL	LAP LENGTH
⊕	0'-0 1/2"	⊕	2'-5 1/2"
⊕	0'-3 1/2"	⊕	3'-1 1/2"
⊕	1'-5 1/2"		

Refer to Erection Drawings for Lap Symbol at Girt and Purlin Connection.
All Bolts to be 1/2" Unless Noted. For Required Length Refer to Grip Table on Erection Drawings.

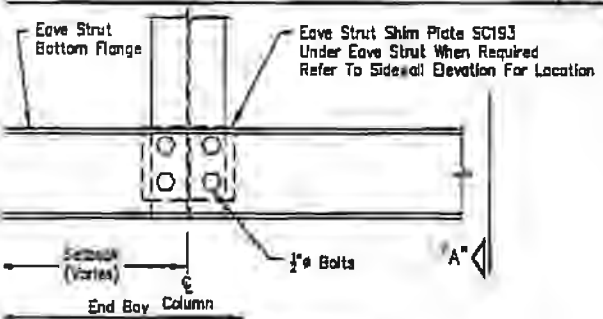


Sheeting Clip
CL292 or PC31
(1) Fastener #12A
12-14 x 1" Pancake SD W/O Washer
At Each End

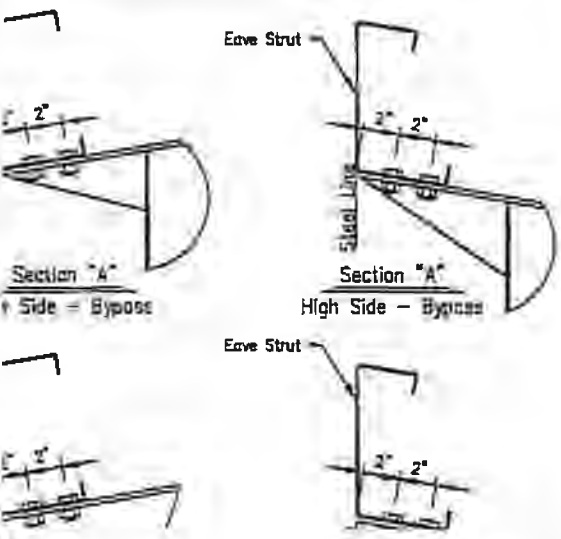
Notes:
Zee Girt Shown
See Girt Similar
All Bolts to be 1/2" Unless Noted
For Required Length Refer to Grip Table on Erection Drawings.

Eave Strut Connection
Column - End Bay Column - Roof Slope 4 1/2:12 Or Less

Page: CF02033
Date: Sep '17 Rev: 04

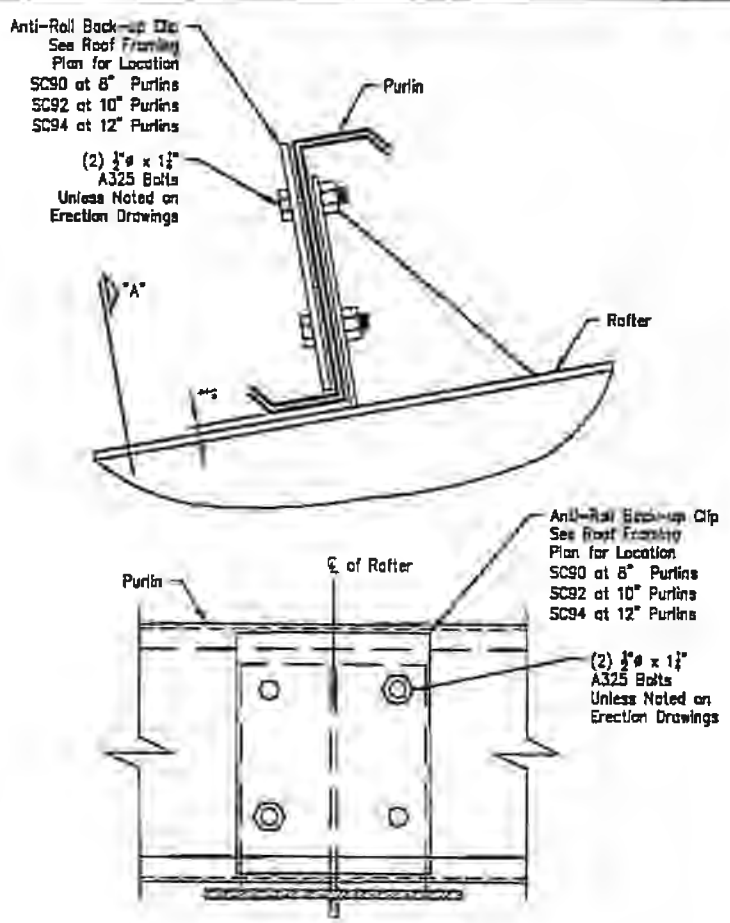


Eave Strut Connection Detail
Flush / Bypass Column - End Bay Column

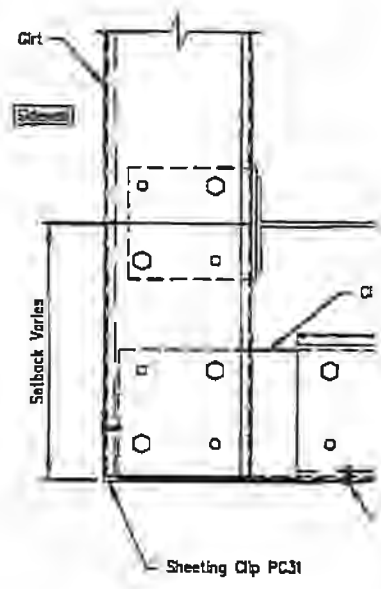


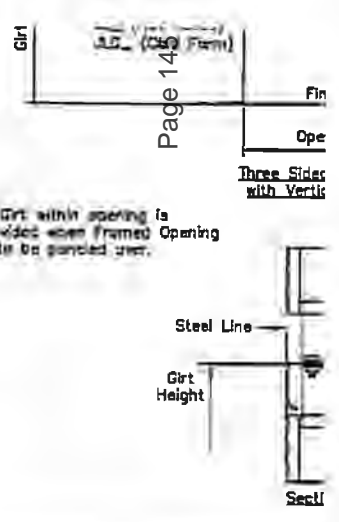
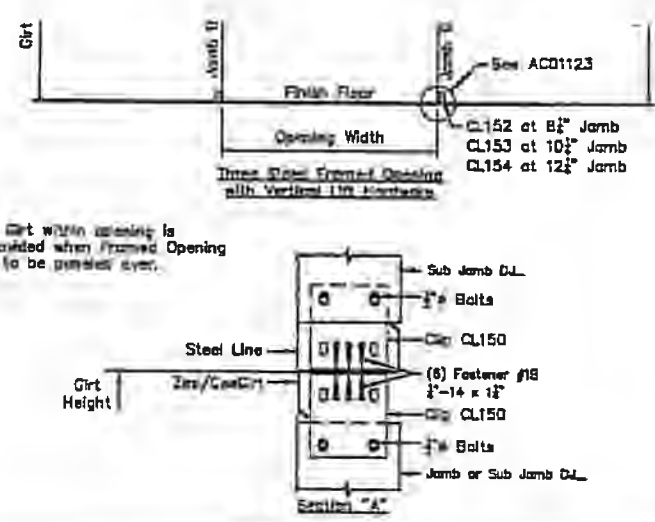
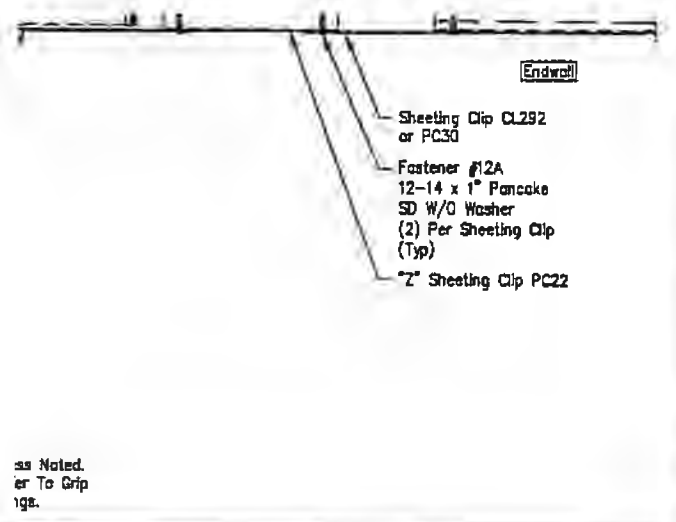
Purlin with Anti-Roll Back-up Clip at Rafter

Page: CF02035
Date: Dec '14 Rev: 04



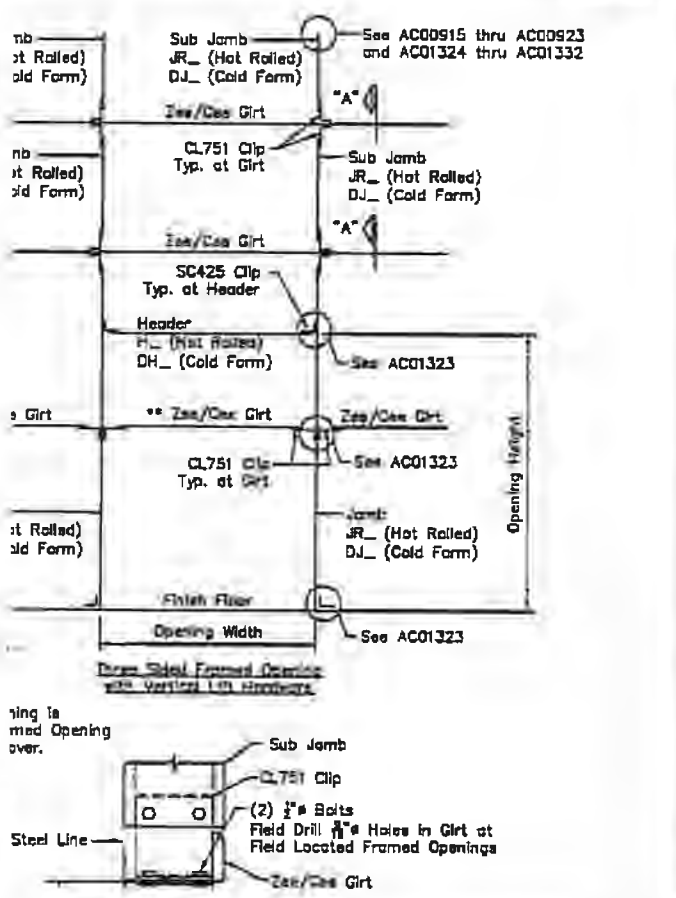
8" Sidelall Zee Girts and 8" End at Bypass Corner Column with Variat





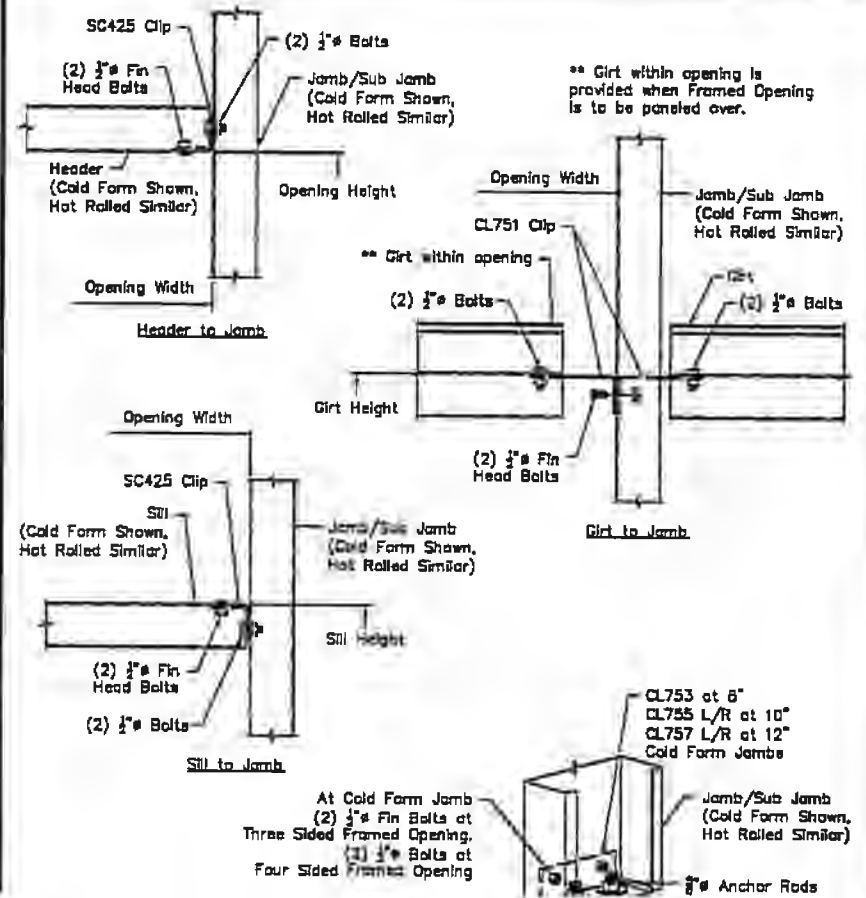
Med Opening Connections - Cold Form and Hot Rolled Vertical Lift Hardware

AC01321
Date: May '19
Rev: 03

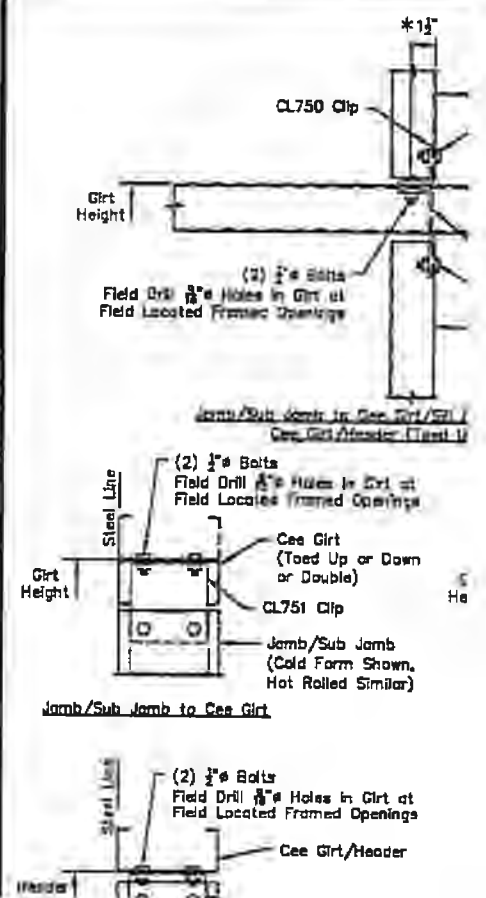


Bolted Clips - Framed Opening Connections - Cold Form and Hot Rolled Base, Girt, Header, and Sill to Jamb

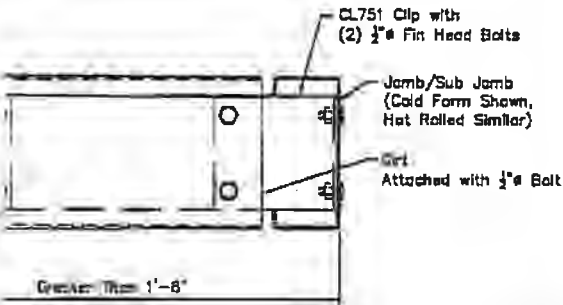
AC01323
Date: May '19
Rev: 03



Bolted Clips - Framed Opening Connections - Jamb/Sub Jamb to Cee Girt/

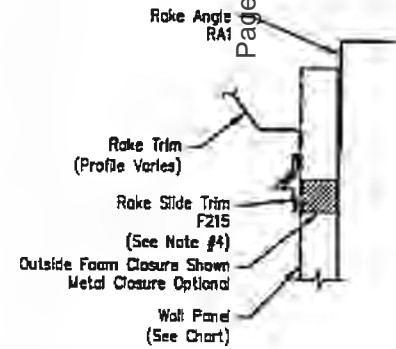


1'-1 1/4" Thru 1'-8"



Wall Panel	Foam Closure
PBR	HW456
AVP	HW465
PBU	HW460
VistaShadow	HW465
NuWall	HW424
PBC	HW462
PBD	HW463
Shadowline	HW412
Designer Series (Fluted Only)	HW4037
RBR (Reverse Rolled PBR)	HW455
RBU (Reverse Rolled PBU)	HW459
7.2	HW461

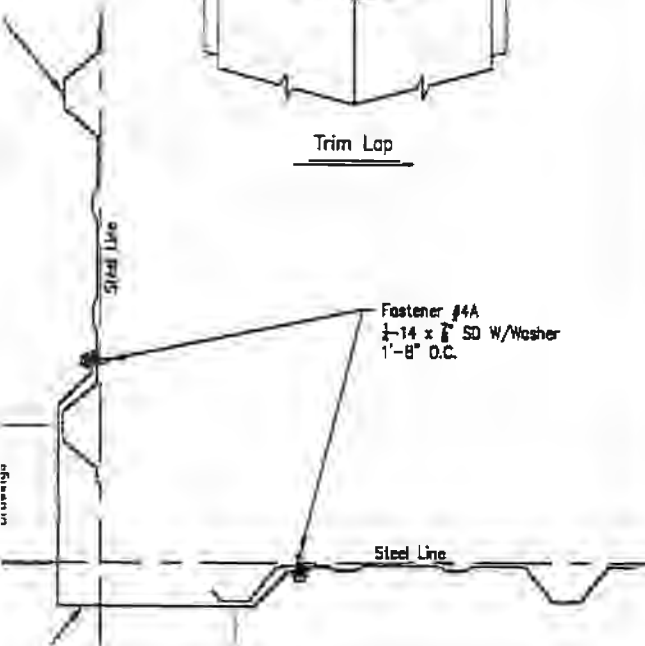
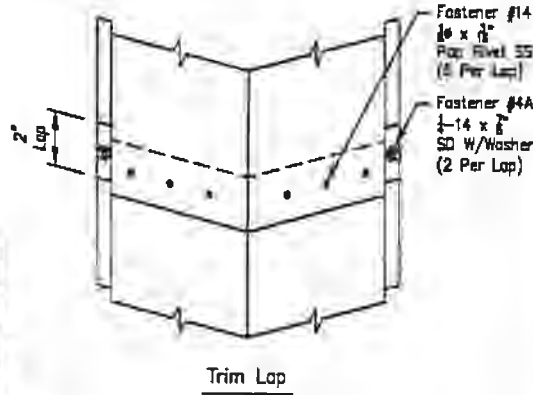
5. Foam Closures are Required when Job Requires Air In



Detail of Rake Side Trim

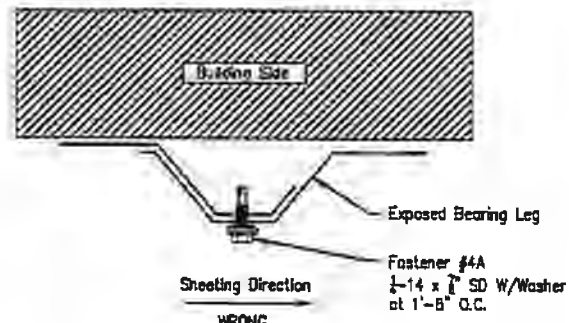
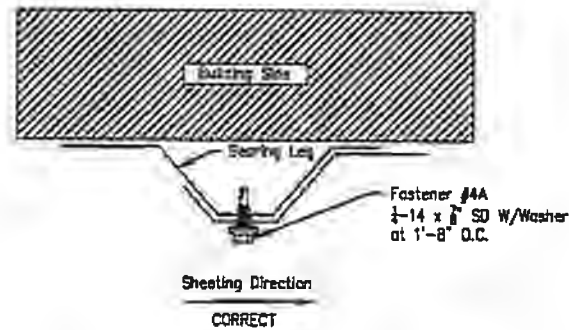
PBR Wall Panel
Outside Corner - Off Module

Page PW03005
Date Apr '19 Rev 01

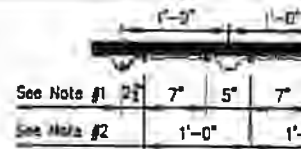


PBR Wall Panel
Panel Side Lap

Page PW05002
Date Mar '19 Rev 03



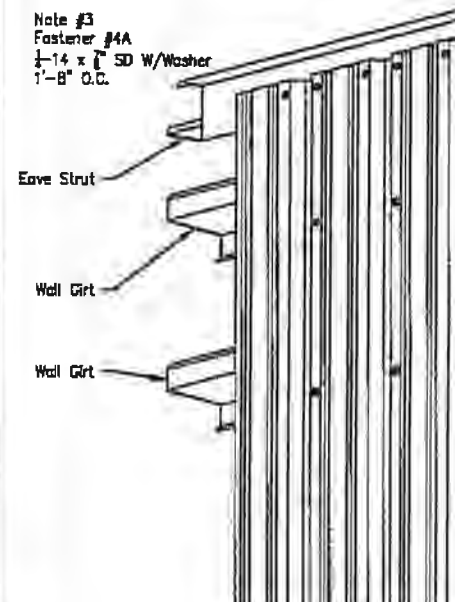
PBR Wall Panel
Fastener Location



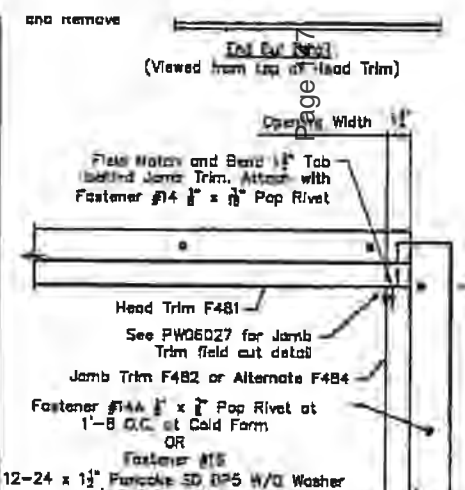
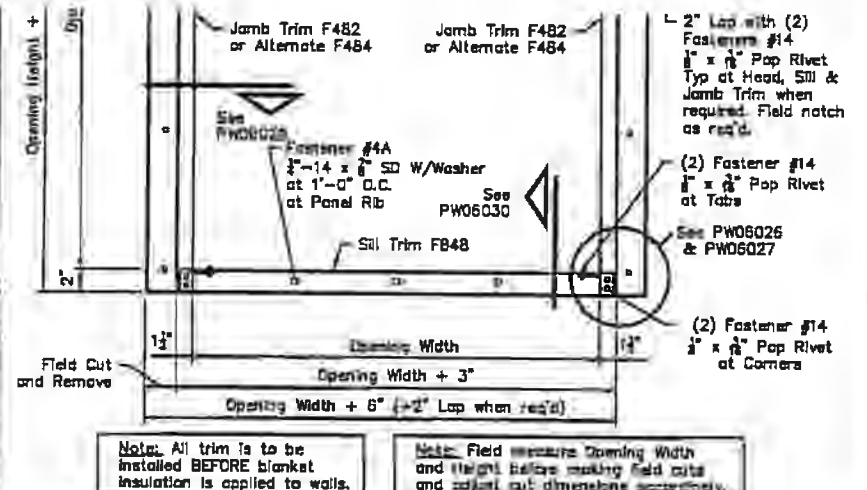
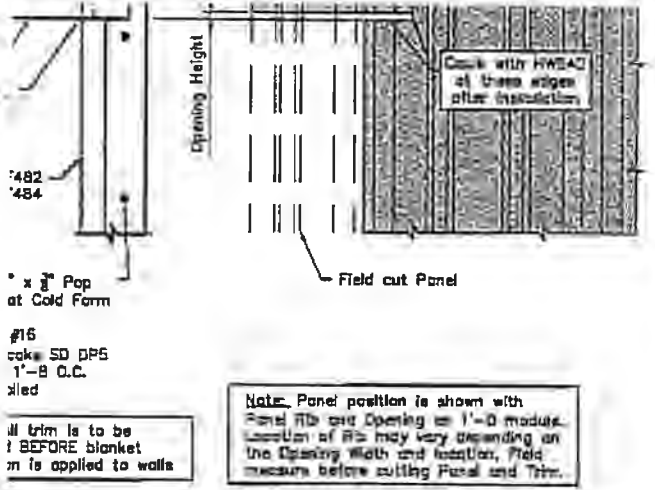
Note #1
Fastener #17A
12-14 x 1 1/2\"/>

Note #2
Fastener #17A
12-14 x 1 1/2\"/>

Note #3
Fastener #4A
1/4-14 x 7/8\"/>



See PW05011 for Panels



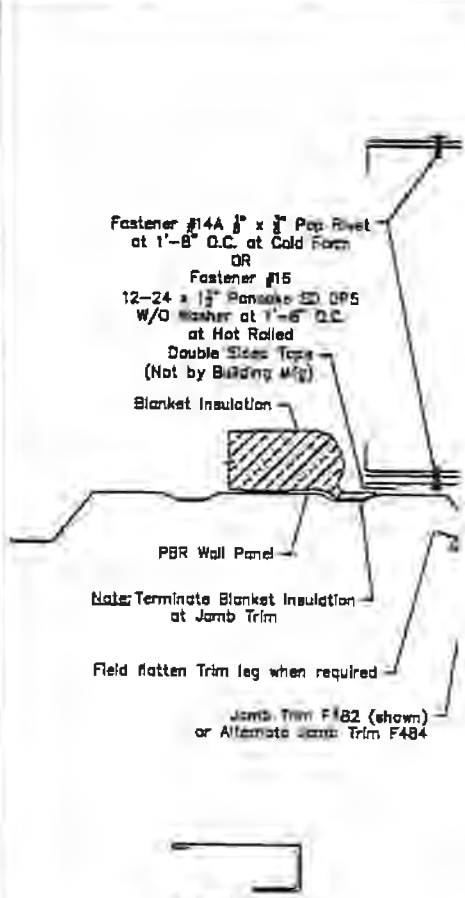
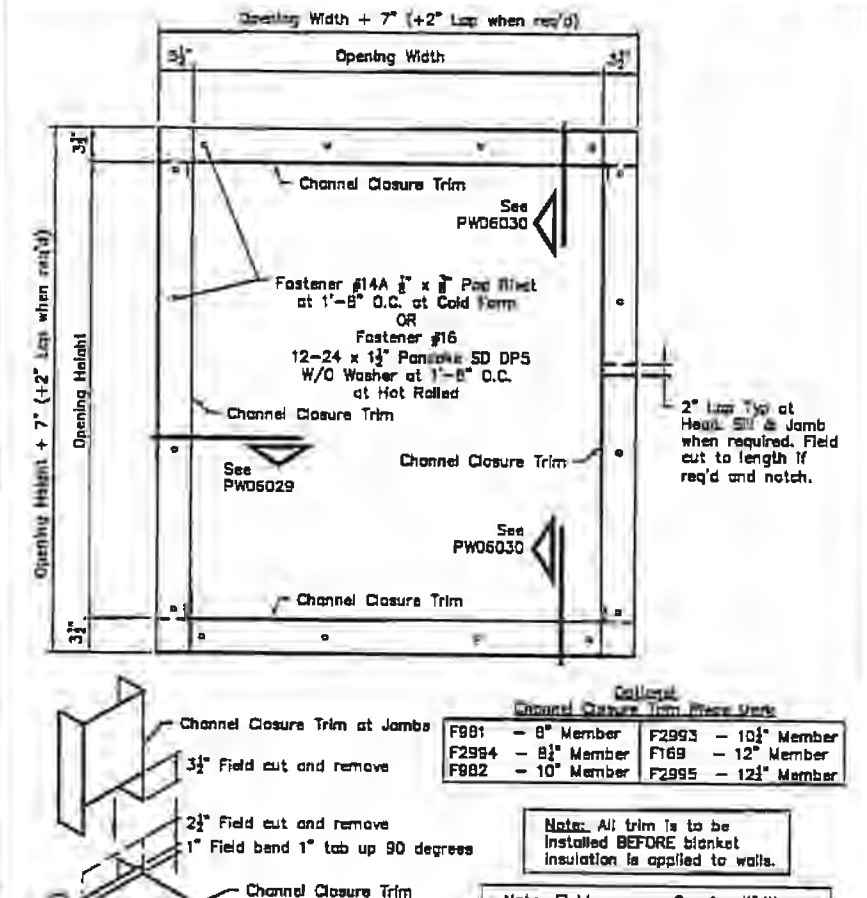
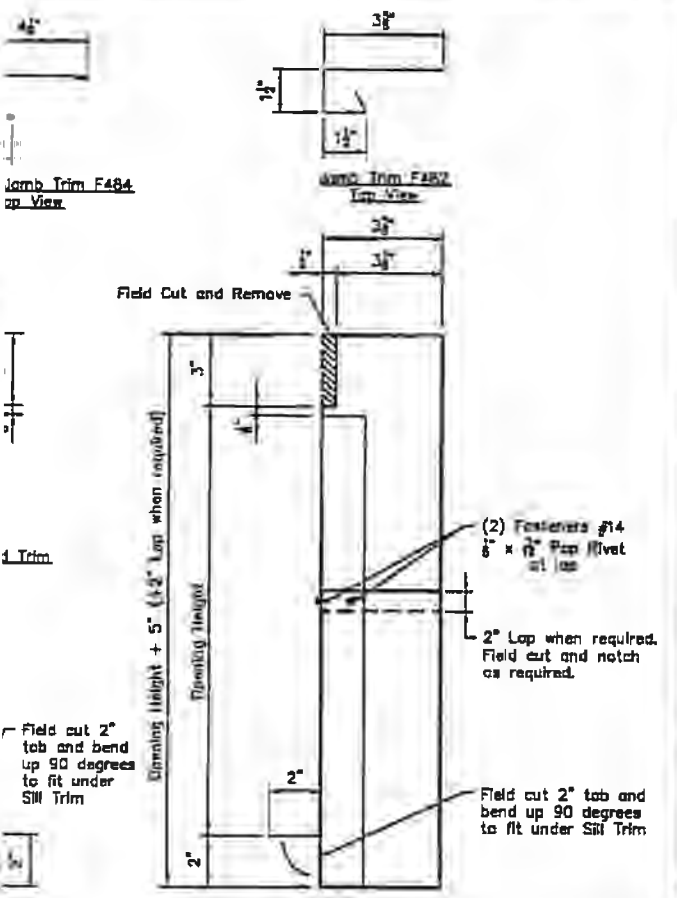
Wall Panel - Four Sided Framed Opening
Jamb Trim Field Cut Details

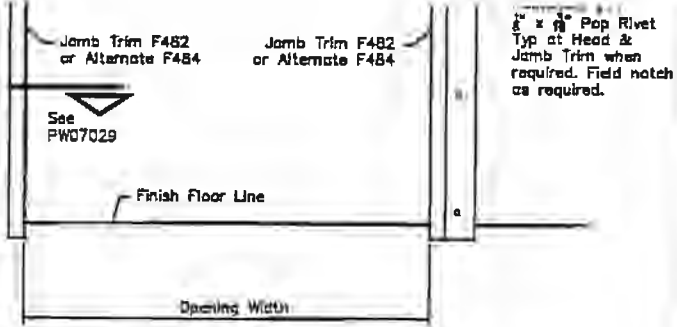
Rev
PW06027
Date Mar '20 Rev 04

PBR Wall Panel - Four Sided Framed Opening
Optional Channel Closure Trim

Rev
PW06028
Date Sep '16 Rev 04

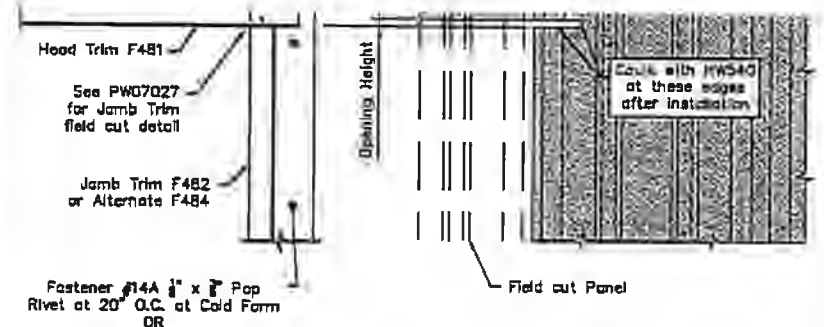
PBR Wall Panel - Four Sided Framed Opening





All trim is to be installed BEFORE blanket insulation is applied to walls.

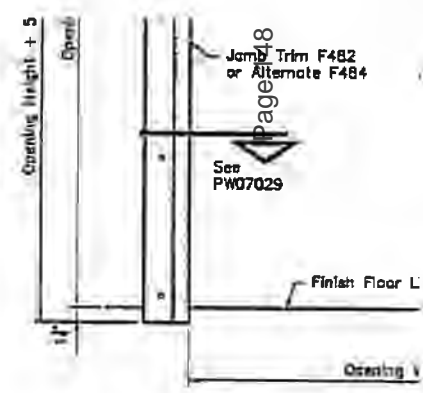
Note: Field measure Opening Width and Height before making field cuts and adjust cut dimensions accordingly.



Fastener #14A 1/2" x 3/8" Pop Rivet at 20" O.C. at Cold Form
OR
Fastener #16
12-24 x 1 1/2" Pancake DPS
W/O Washer at 1'-8" O.C.
at Hot Rolled

Note: All trim is to be installed BEFORE blanket insulation is applied to walls.

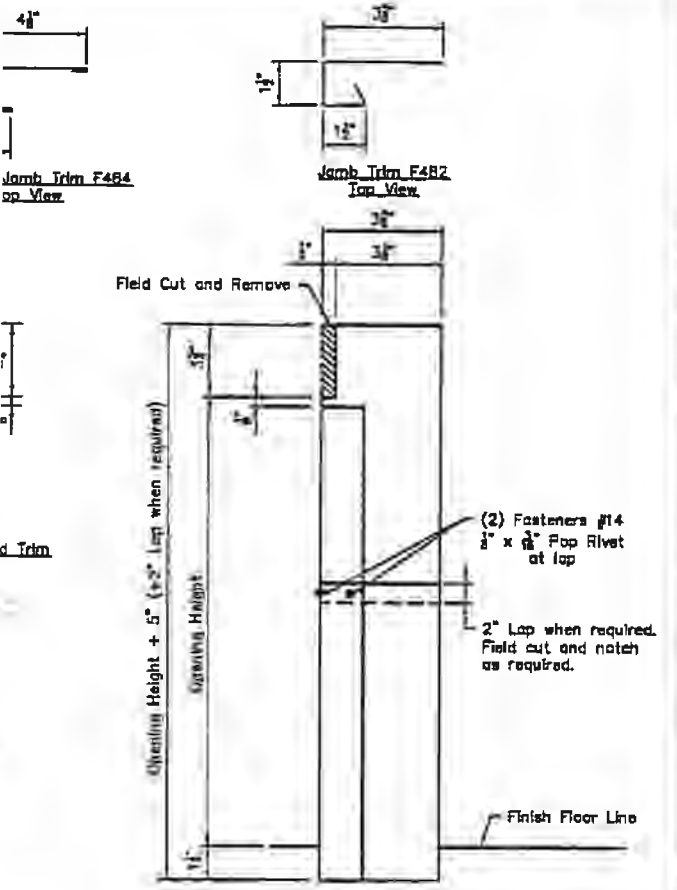
Note: Panel position is shown with Panel Rib and Opening on 1'-0" module. Location of ribs may vary depending on the Opening Width and location. Field measure before cutting Panel and Trim.



Note: All trim is to be installed BEFORE blanket insulation is applied to walls.

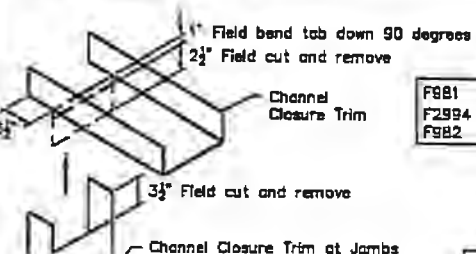
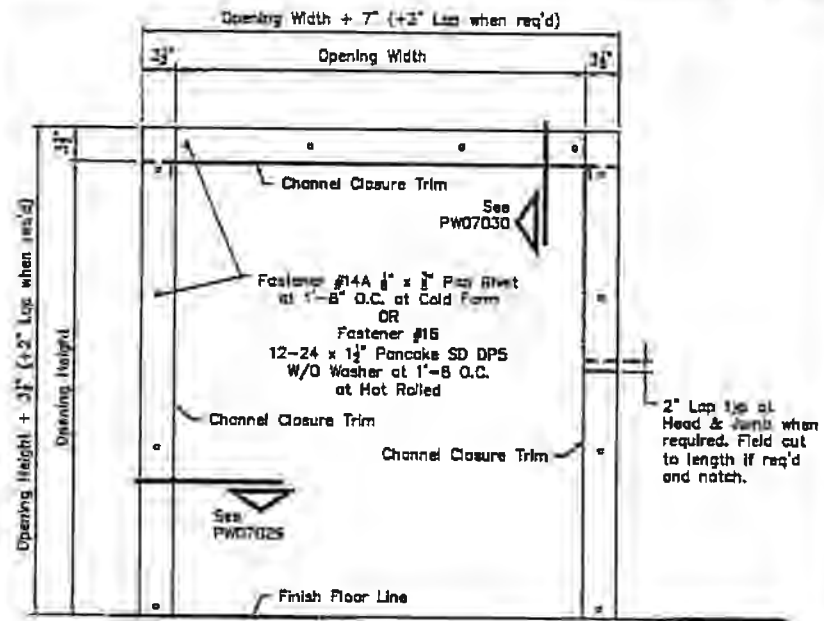
Wall Panel - Three Sided Framed Opening
Jamb Trim Field Cut Details

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Date Mar '20 Rev 04



PBR Wall Panel - Three Sided Framed Opening
"Optional" Channel Closure Trim

Page PW07028
Date May '19 Rev 04

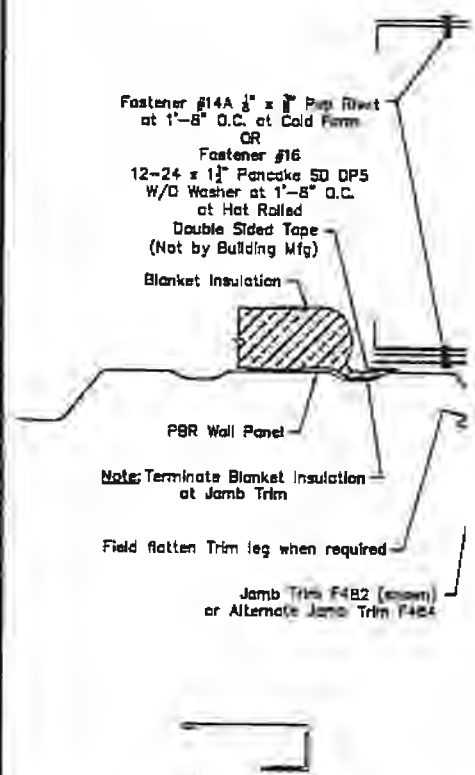


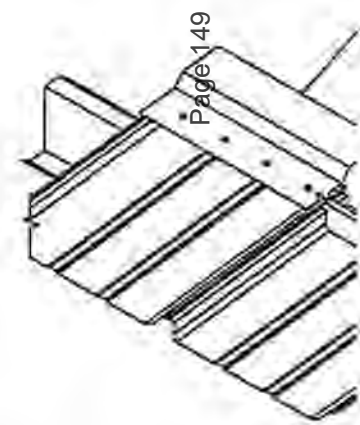
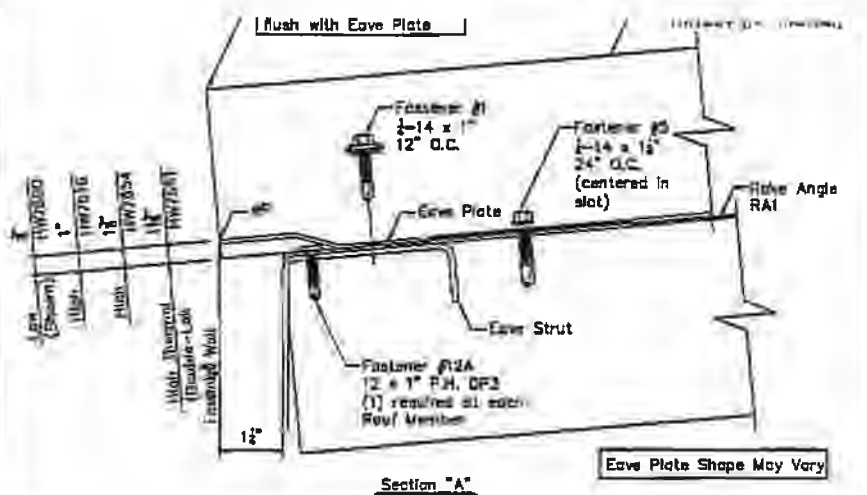
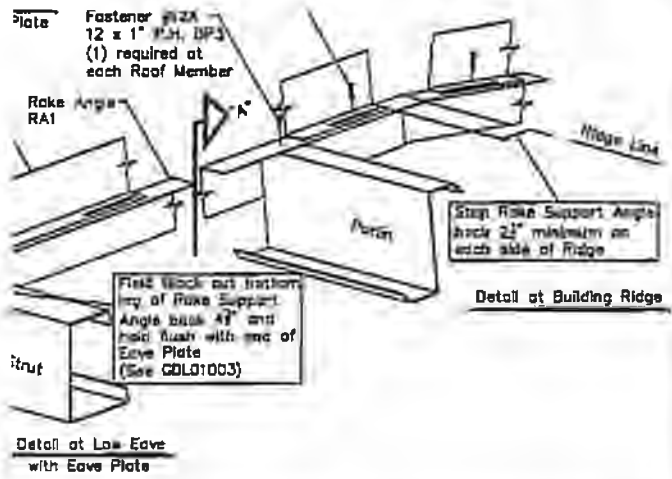
Channel Closure Trim Piece List

F881 - 8" Member	F2993 - 10 1/2" Member
F2994 - 8 1/2" Member	F169 - 12" Member
F982 - 10" Member	F2995 - 12 1/2" Member

Note: All trim is to be installed BEFORE blanket insulation is applied to walls.

PBR Wall Panel - Three Sided Framed Opening





Page 149

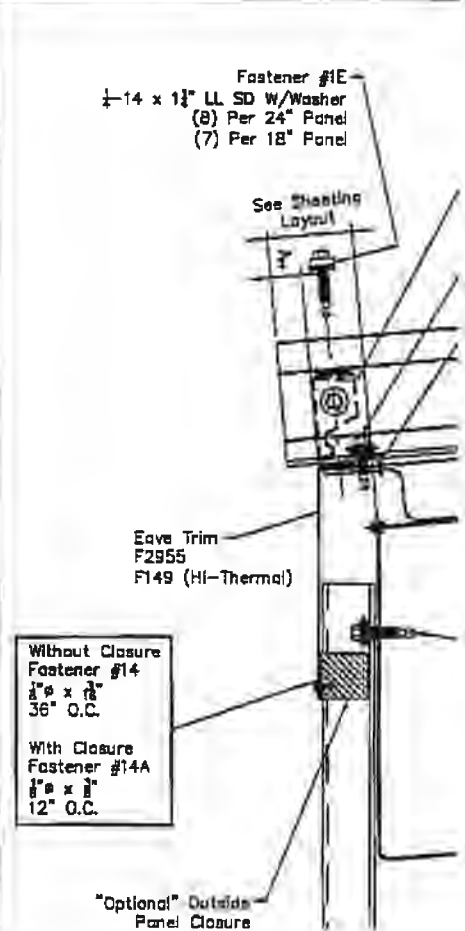
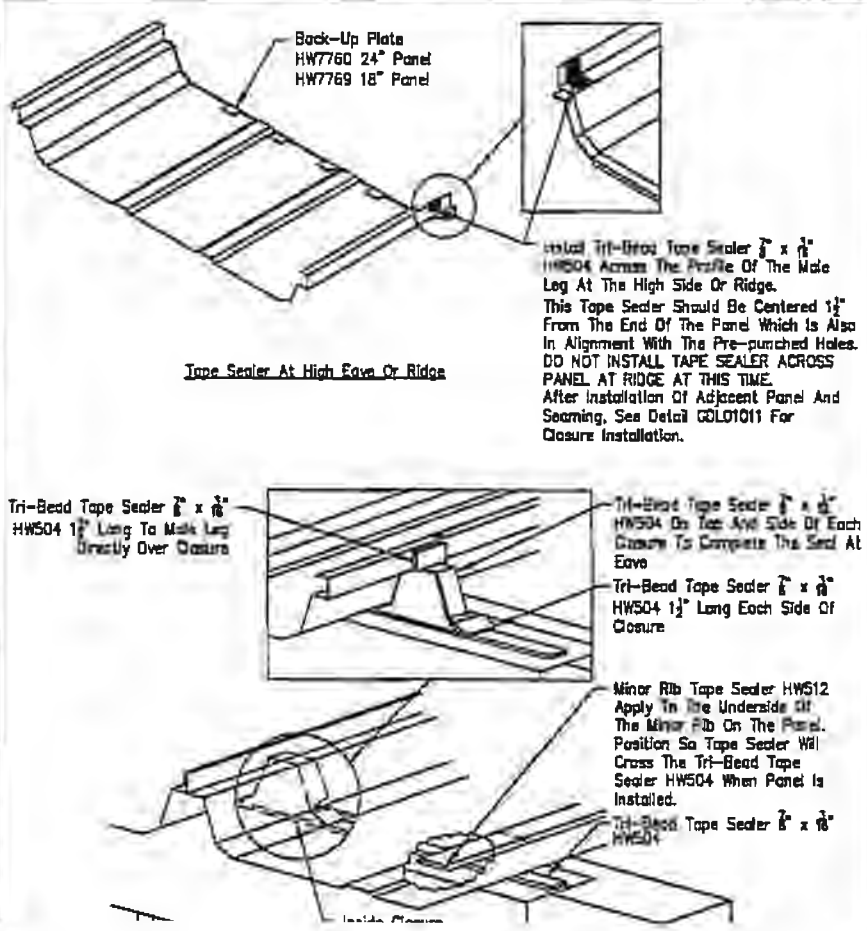
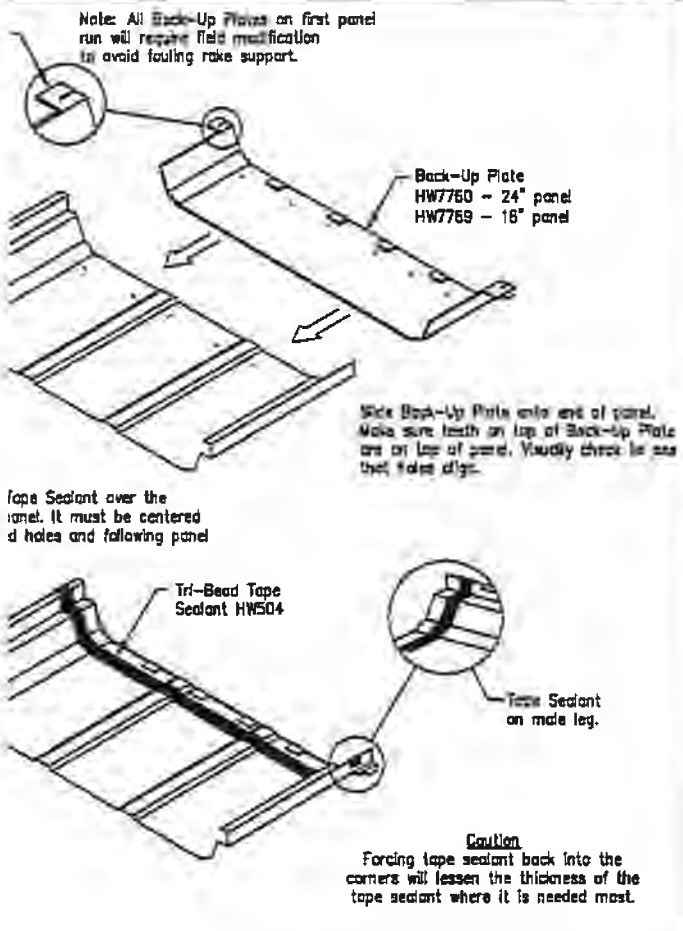
DoubleLok / UltraDek Sealant at End Lap

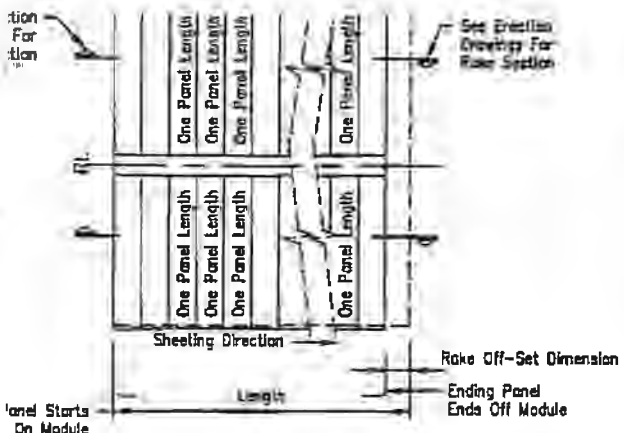
Page GDLO1012
Date Apr '18 Rev 01

Double-Lok / Ultra-Dek Roof Tape Sealer At High Eave / Ridge And Low Eave

Page GDLO2040
Date Oct '20 Rev 03

DoubleLok / UltraDek Roof - Fixed High or Hi-Thermal Eave Plate





Panel Starts On Module

Ending Panel Ends Off Module

Sheeting Direction

Length

Rake Off-Set Dimension

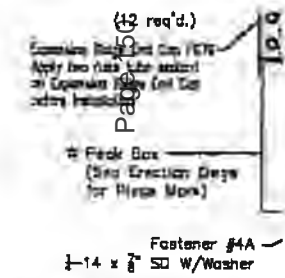
One Panel Length

One Panel Length

One Panel Length

One Panel Length

1. Apply (2) runs of tube sealant along vertical and horizontal surfaces of expansion end cap.
2. Place end cap inside expansion ridge flashing, allowing the end cap to conform to the ridge flashing profile. Do not deform the top of the ridge by exerting too much pressure.
3. Make sure tab is even with, but not resting on top of the peak box. Tab "A" must be able to pivot in front of the peak box because of panel contraction.
4. Using a screwdriver, insert the blade in the apex of tab "B1" and "B2", and twist the blade enough to cause tab "B1" to spread slightly away from tab "B2".
5. Secure the end cap to the ridge flashing with (12) Fastener #4 1/4"-14 x 7/8" as shown.



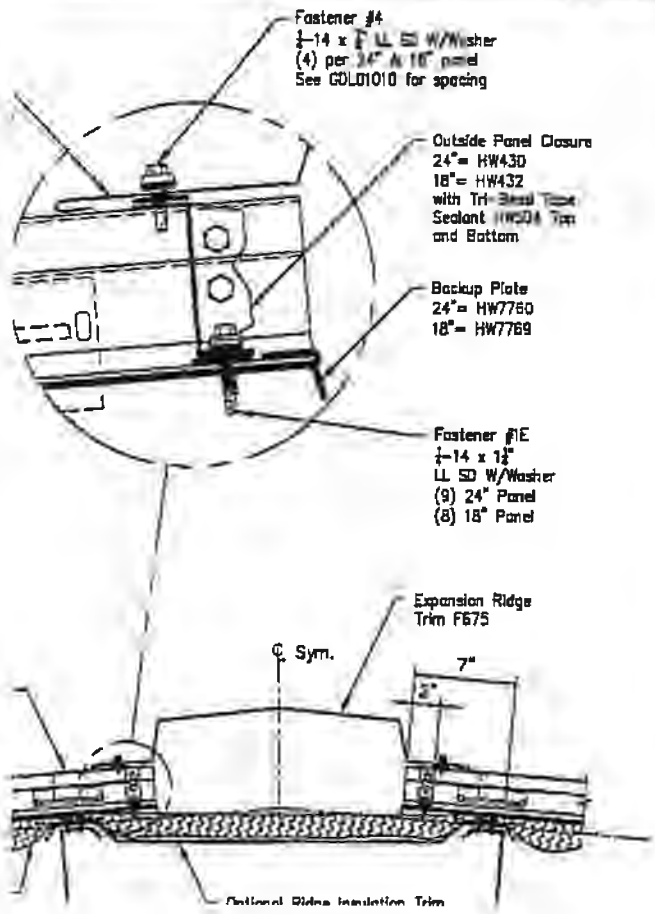
★

Trim Profile	Rake Mark			
	Southern Standard	Southern Large	Northern Standard	Northern Large
Composite	F1503	F1557	F1624	F1723
Classic	F758	F4144	F379	F1020
Contoured	F2283	F2987	F2334	F2422
Signature	F450	F3544	F377	F1014
Edgecraft	F8228	F8229	F8430	F8431

Flashing profile may vary dependent upon Attachment as illustrated are applicable for

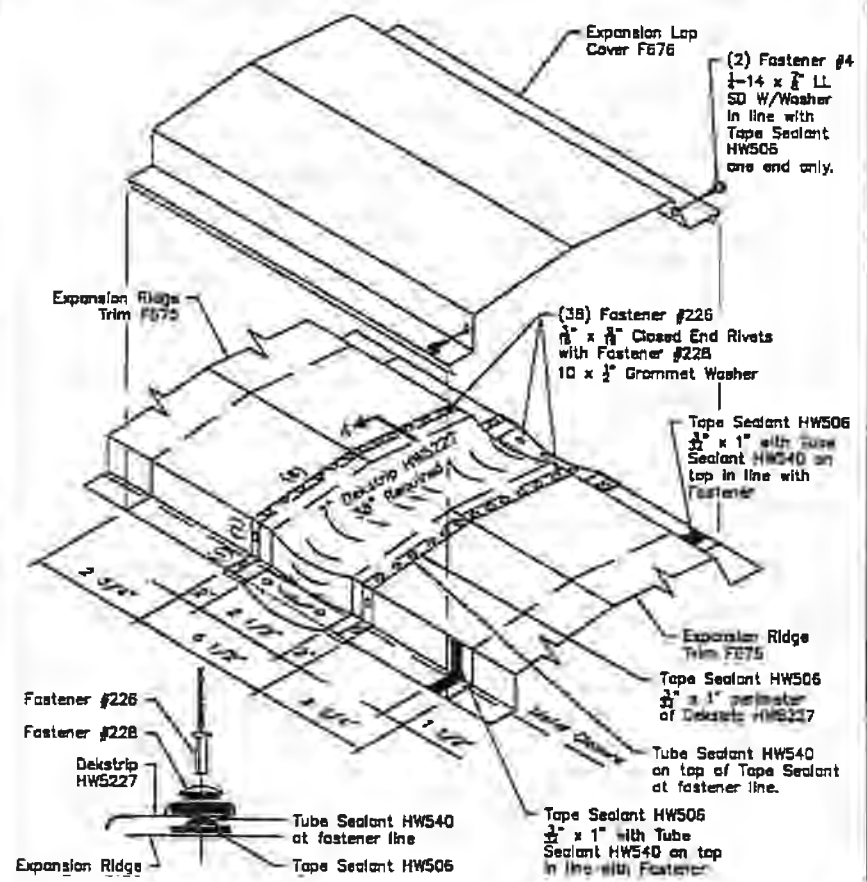
Double-Lok / Ultra-Dek Expansion Ridge

Page GOLD7002
Date Apr '18 Rev 07

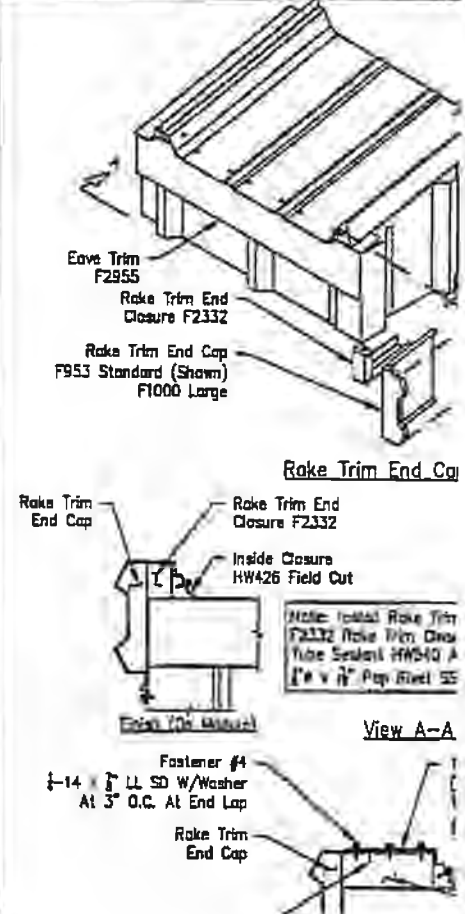


DoubleLok / UltraDek - Expansion Ridge - Expansion Lap Cover

Page GOLD7003
Date Apr '19 Rev 03

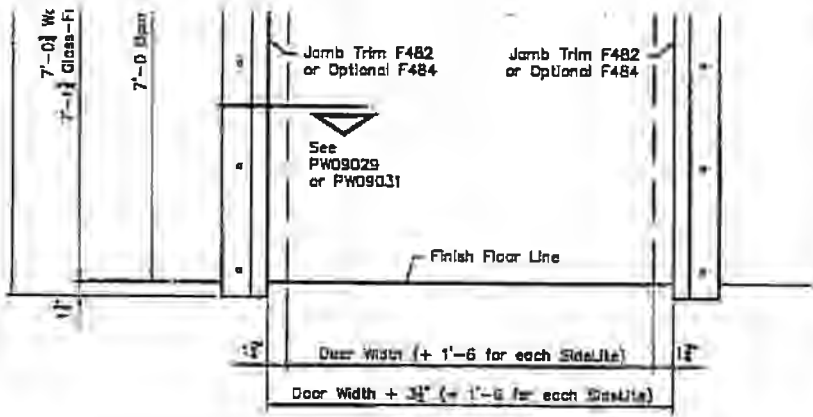
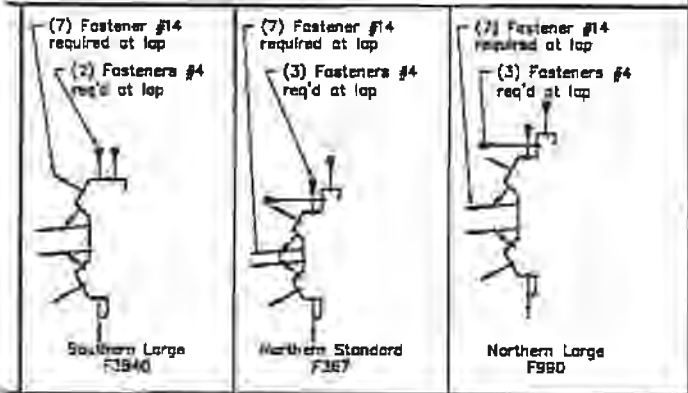


Double-Lok / Ultra-D Low Eave Rake Corner With Flat Eave Southern Standard And Southern Large



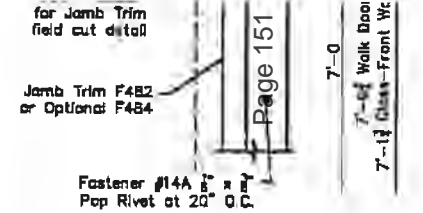


law of Lap



Note: All trim is to be installed BEFORE blanket insulation is applied to walls.

Note: Field measure Door Width and Height before making field cuts and adjust cut dimensions accordingly.



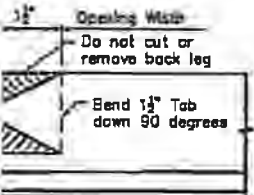
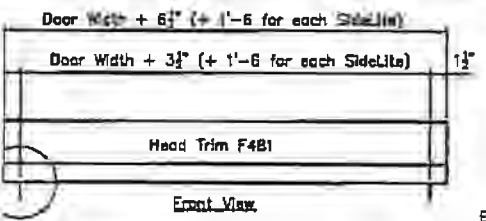
Note: All trim is to be installed BEFORE blanket insulation is applied to walls.

Note: Panel must be installed before blanket insulation is applied to walls.

Walk Door And Glass-Front Walk Door - Field Notch and Bend Tabs at Head Trim

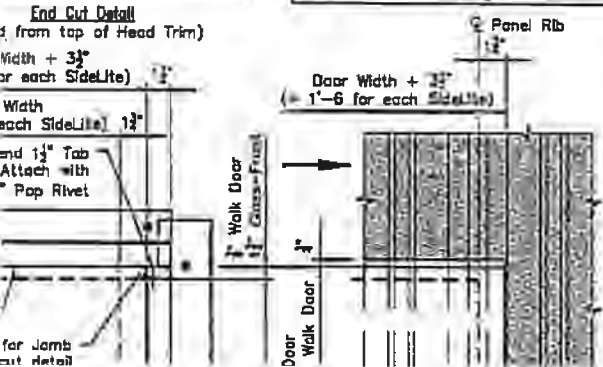
Page PW09025
Date Mar '20 Rev 02

This can be done by Field Notch Panel as shown on PW09022 & PW09023
Notch and Bend Tabs at Head Trim as shown on PW09024 & PW09025



Note: All trim is to be installed BEFORE blanket insulation is applied to walls

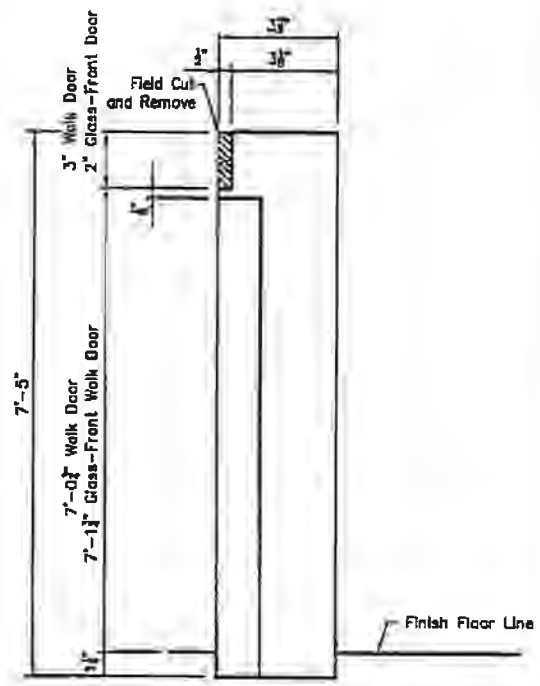
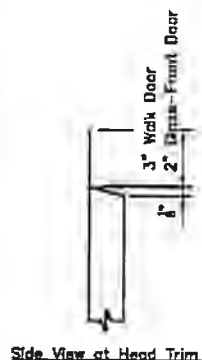
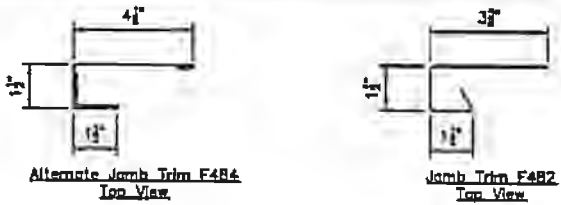
Note: Panel position is shown with Panel Rib and Door on 1'-0" module. Location of Rib may vary depending on the Door Width and location. Field measure before cutting Panel and Trim.



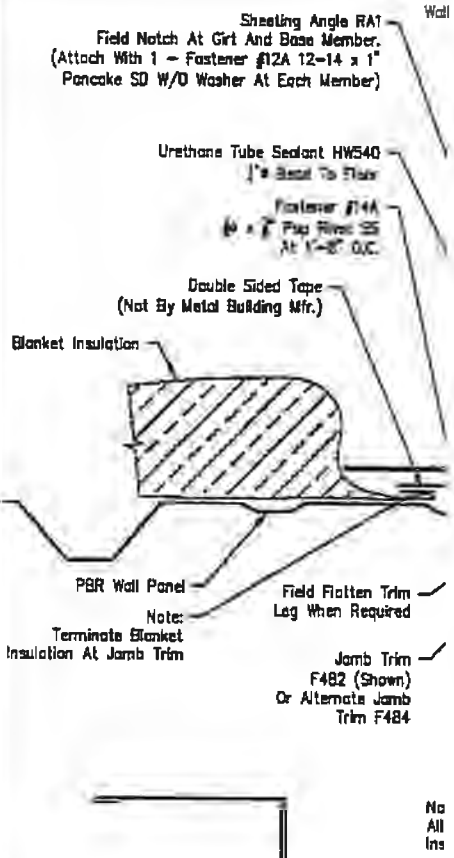
for Jamb cut detail

PBR Wall Panel - Walk Door And Glass-Front Walk Door Jamb Trim Field Cut Details

Page PW09027
Date Mar '20 Rev 03



PBR Wall Panel - Knock Down Door Jamb Trim



No All Ins

Flat Edge Trim F2955 = Standard F149 = 10-Trim (1/4")	Parapet High Side F326	Transverse Joint F270	
2" Tube Sealer for F2955 2" Tube Sealer for F149 2" Tube Sealer for F326 1" Tube Sealer for F270 1" Tube Sealer for F2955 1" Tube Sealer for F149 1" Tube Sealer for F326 1" Tube Sealer for F270 1" Tube Sealer for F2955 1" Tube Sealer for F149 1" Tube Sealer for F326 1" Tube Sealer for F270	2" Tube Sealer (1) F2955 (1) F149 (1) F326 (1) F270 (1) F2955 (1) F149 (1) F326 (1) F270 (1) F2955 (1) F149 (1) F326 (1) F270	1" Tube Sealer (1) F2955 (1) F149 (1) F326 (1) F270 (1) F2955 (1) F149 (1) F326 (1) F270 (1) F2955 (1) F149 (1) F326 (1) F270	
Parapet Rake Trim F300	Rake Cleat Trim F292	Rake Slide Trim F215	Back-up Plate F215
2" Tube Sealer (1) F2955 (1) F149 (1) F326 (1) F270 (1) F2955 (1) F149 (1) F326 (1) F270 (1) F2955 (1) F149 (1) F326 (1) F270	4" Tube Sealer (1) F2955 (1) F149 (1) F326 (1) F270 (1) F2955 (1) F149 (1) F326 (1) F270 (1) F2955 (1) F149 (1) F326 (1) F270	Fastener #44 1/4" x 1" SD w/Washer 1" O.D. Trim Color	2'-0" WIDE HW7760 1'-6" WIDE HW7789

Fastener HW399	3/16" x 9/16" Closed End Rivet	10 x 1/2" Grammet Washer	8-18 x 1/2" Trim Screw
#5 x 1" Rubber Grammet 1/4" Hex Head w/ Washer			
Note: Refer to bill of materials for specific job requirements.			

Note: 25'-0" per Tube at 1/4" Bed

Page 162

DEKSTRIP 7" WIDE = HWS227
DEKSTRIP 9" WIDE = HWS228
DEKSTRIP 12" WIDE = HWS229
DEKSTRIP 18" WIDE = HWS226

COLOR = Gray
SCREWS 2" D.C. MAX. PERIMETER
TAPE SEALER BOTH SIDES
URETHANE TUBE SEALANT HWS40
EACH END
TERMINATION STRIP HWS305 EACH
END (1" Wide x 4'-0" Long Alum.)

- FL470 - 2 Galvalume f
- FL471 - 1 Galvalume f
- FL569 - 5 Galvalume f White Wash

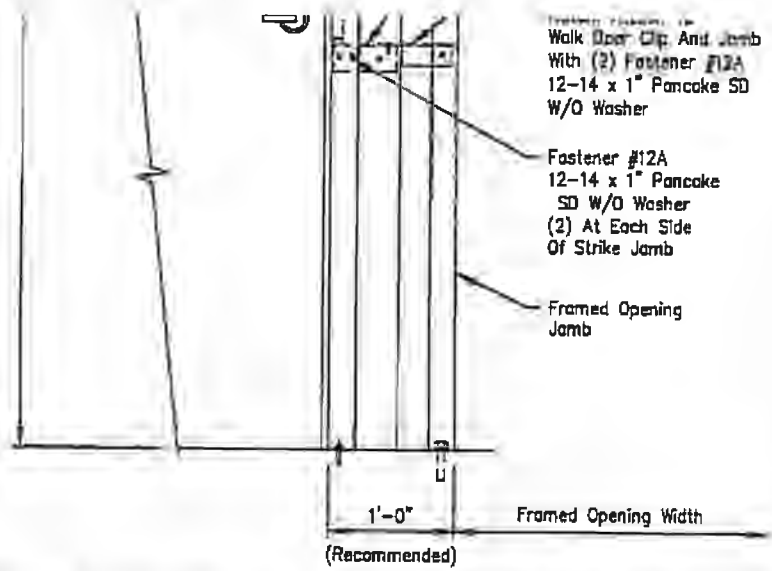
Fasteners		Page G000007
HS / SuperLok and Double-Lok / Ultra-Dek		Date Jul '17
		Rev 08
Roof Member Screw Long Life Fastener #1E - 1/2"-14 x 1 1/2" 5/8" Hex Washer Head w/ Washer	Roof Slitch Screw Long Life Fastener #1 - 1/2"-14 x 1 1/2" 5/8" Hex Washer Head w/ Washer	
Optional Stainless Steel Fastener #1E3 - 1/2"-14 x 1 1/2" 5/8" Hex Washer Head w/ Washer	Optional Stainless Steel Fastener #1E3 - 1/2"-14 x 1 1/2" 5/8" Hex Washer Head w/ Washer	
BattenLok/SuperLok Panel Clin Screw Insulation <= 4" Material < 1" Fastener #10 1/2"-14 x 1 1/2" 5/8" Hex Washer Head	BattenLok/SuperLok Panel Clin Screw Insulation <= 4" Material < 1" Fastener #14 1/2"-14 x 1 1/2" D/Star 5/8" Hex Washer Head	
BattenLok/SuperLok Panel Clin Screw Insulation > 4" Material > = 1" Fastener #70 1/2"-14 x 1 1/2" DP5 5/8" Hex Washer Head	Double-Lok/Ultra-Dek Panel Clin Screw Insulation <= 4" Material < 1" Fastener #1 1/2"-14 x 1" 5/8" Hex Washer Head w/ Washer	
Double-Lok/Ultra-Dek Panel Clin Screw Insulation <= 4" Material > = 1" Fastener #67 1/2"-14 x 1 1/2" DP5 5/8" Hex Washer Head w/ Washer	Double-Lok/Ultra-Dek Panel Clin Screw Insulation > 4" Material > = 1" Fastener #63 1/2"-14 x 1 1/2" DP5 5/8" Hex Washer Head w/ Washer	

Various Fasteners		
Page G000009		
Date Nov '16		
Rev 11		
Fastener #17 12-14 x 1" SD W/Washer 5/8" Hex Head	Fastener #38 1/2"-14 x 1" SD W/O Washer 5/8" Hex Head	
Fastener #17 12-14 x 1" SD W/Washer 5/8" Hex Head	Fastener #12A 12-14 x 1" Pancake SD W/O Washer	
Fastener #55 12-24 x 1 1/2" SD DP5 W/O Washer 5/8" Hex Head	Fastener #70 12-24 x 1 1/2" SD DP5 W/O Washer 5/8" Hex Head	Fastener #142 1/2"-14 x 1 1/2" SD W/O Washer 5/8" Hex Head
Fastener #76 12-14 x 2" SD W/O Washer 5/8" Hex Head	Fastener #61 12-14 x 1 1/2" SD W/O Washer 5/8" Hex Head	Fastener #10 1/2"-14 x 1 1/2" SD W/O Washer 5/8" Hex Head
Fastener #16		Fastener #46

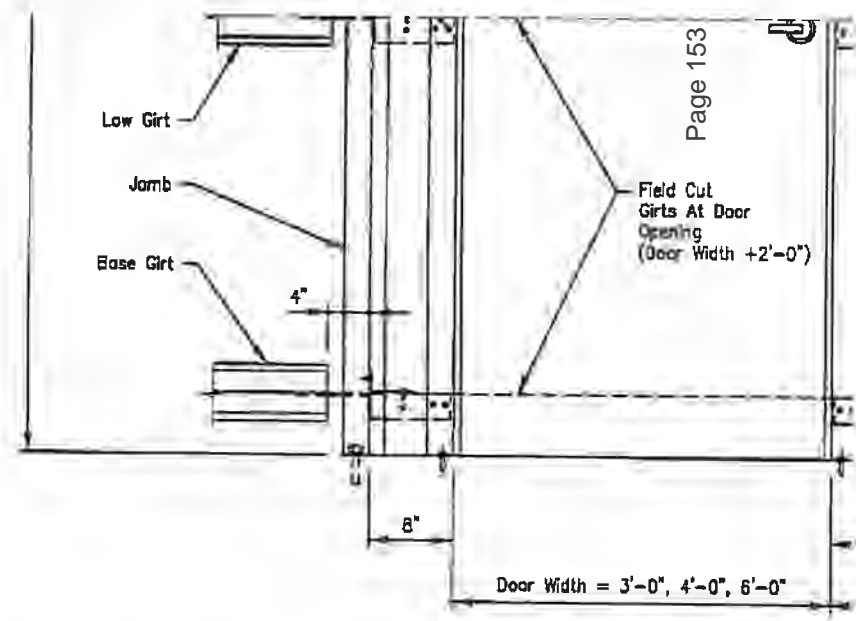
Notch. Attach To Walk Door Clip And Column Web With (2) Fastener #12A 12-14 x 1" Pancake SD W/O Washer

Fastener #12A 12-14 x 1" Pancake SD W/O Washer (2) At Each Side Of Strike Jamb

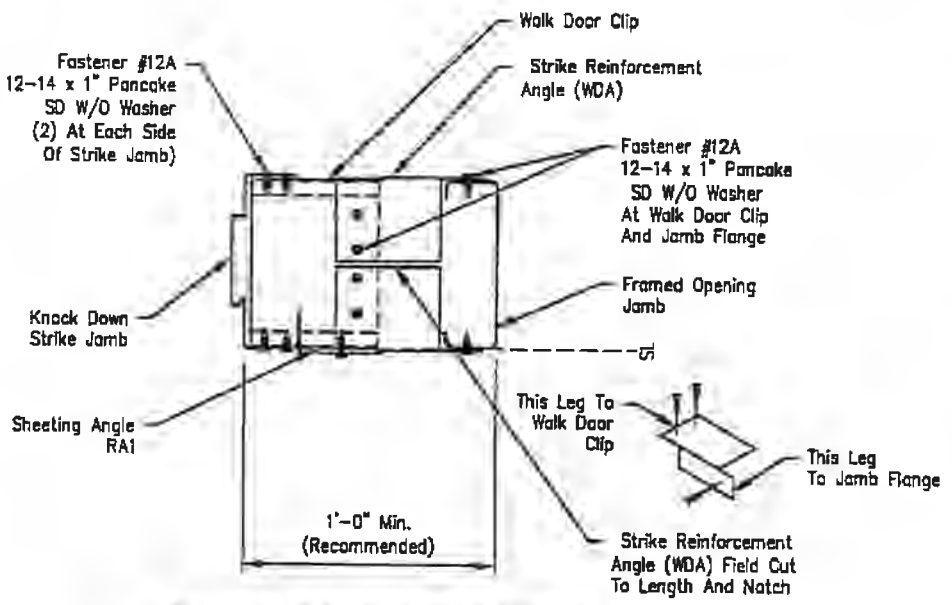
Column



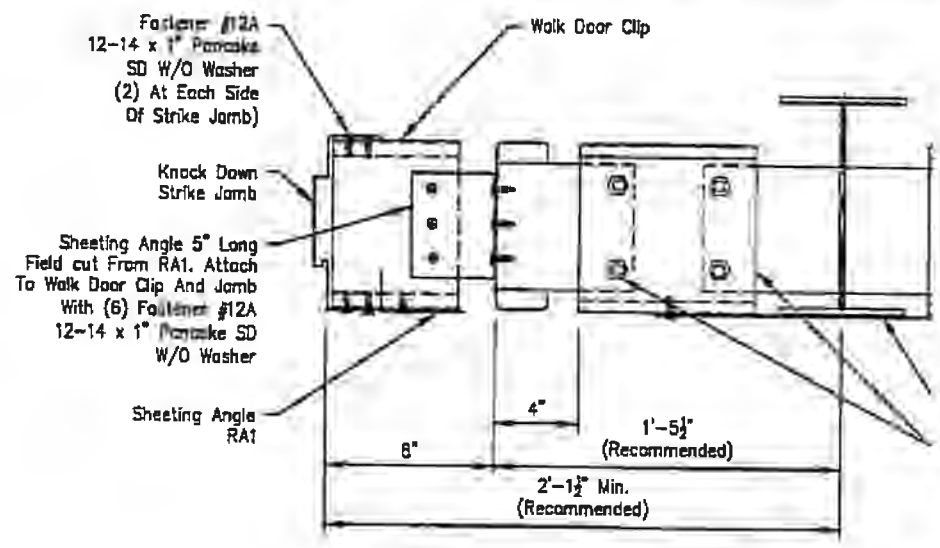
Door Elevation Without Jambs At Framed Opening Jamb



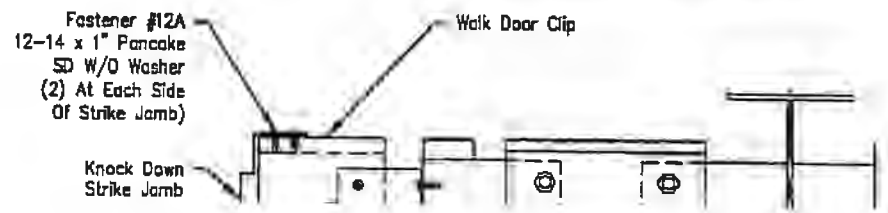
Door Elevation With J

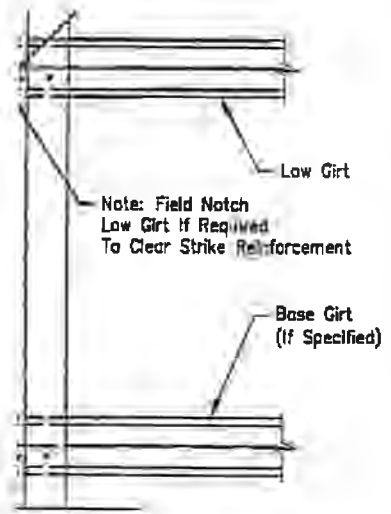


Section C Minimum Side Clearance At A Framed Opening Jamb



Section B Flush Framed Column

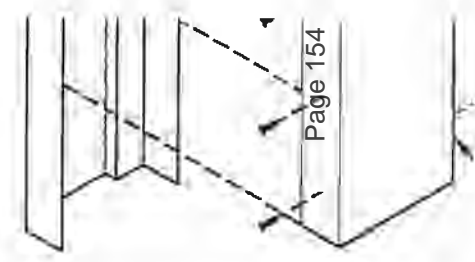




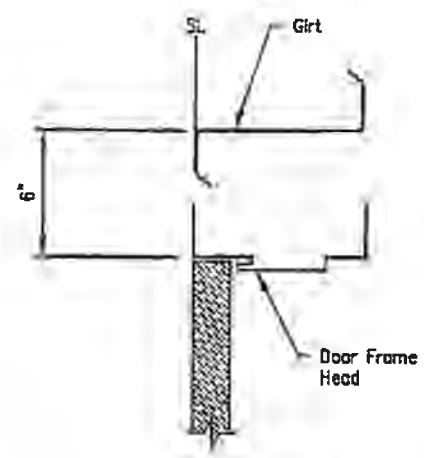
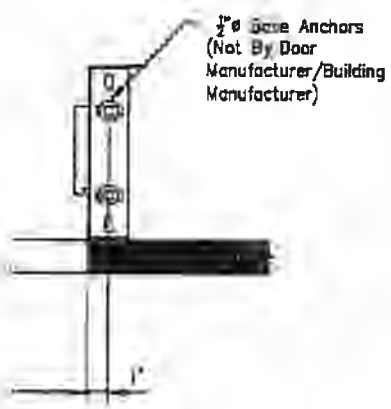
SD W/O Washers
(1) At Each Girt



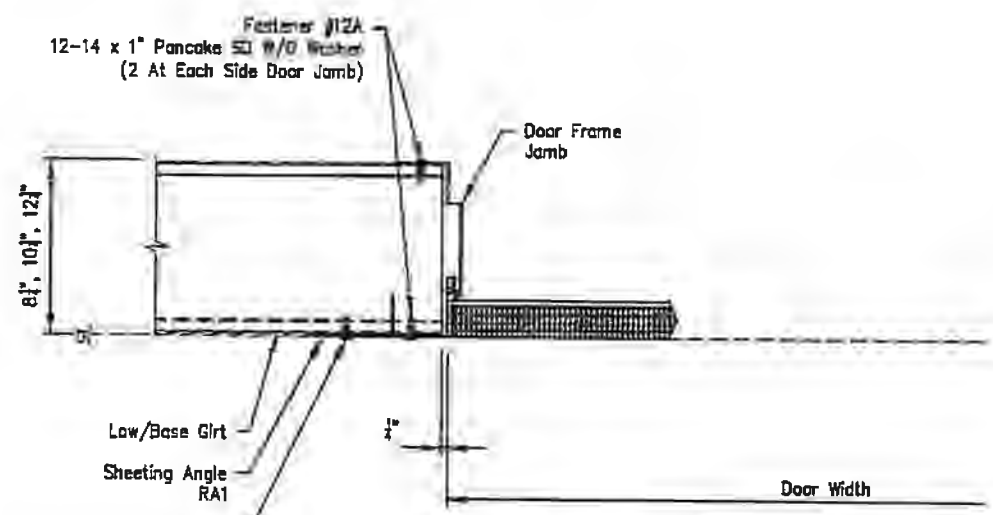
Girt To Door Frame Isometric



Door Jamb Extension Isometric



Section A



Section B

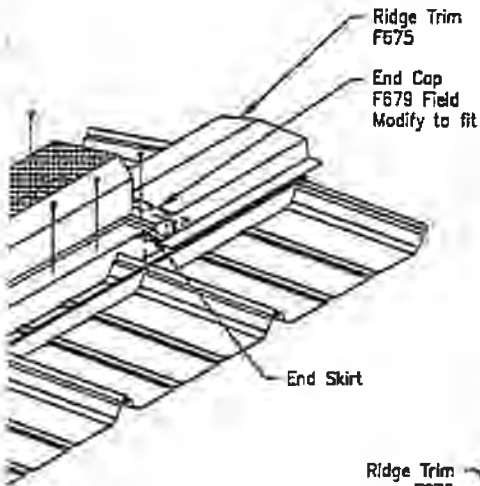
Manufacturer
Civil Engineer.

Door Anchors

1/4" x 1 1/2" LL SD W/Washer

: Matches the Color of the Roof Panel

quired for Each HW430
quired for Each HW432

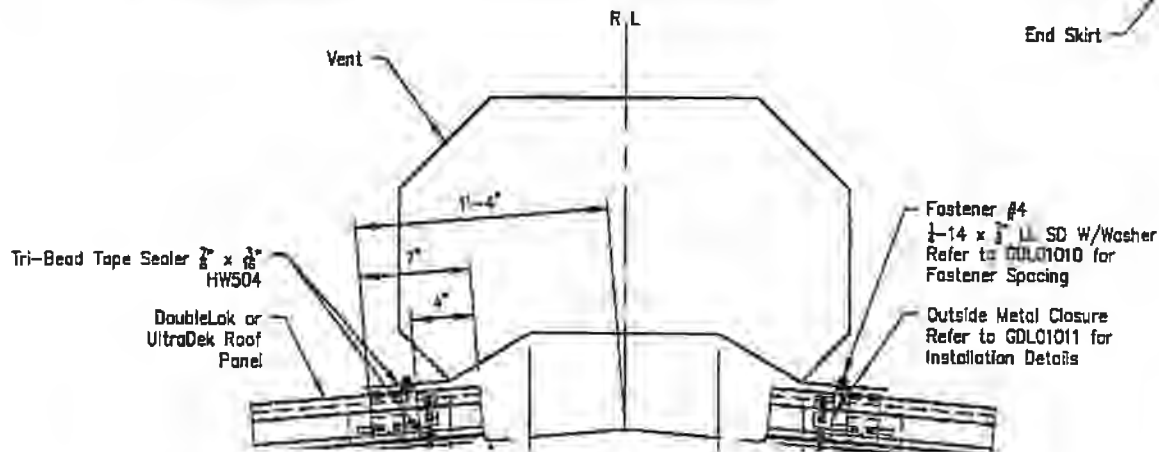
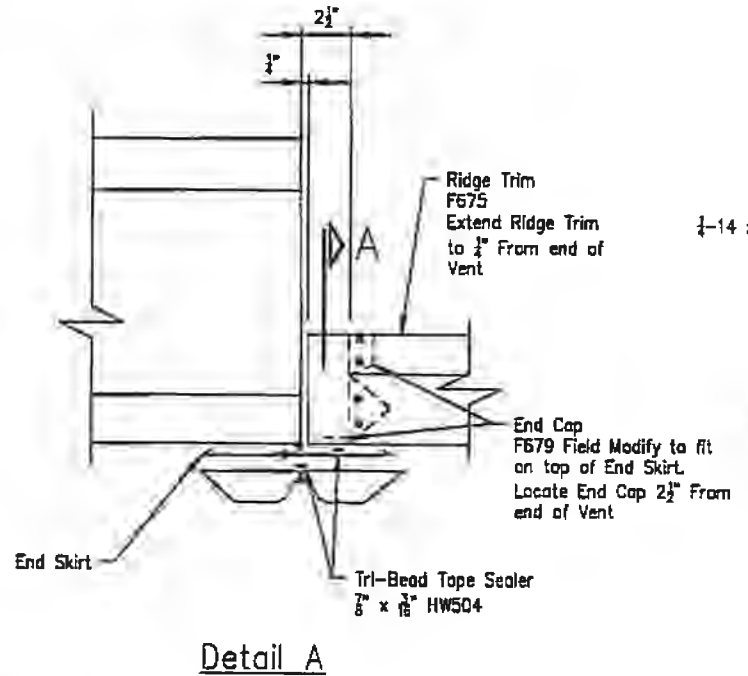
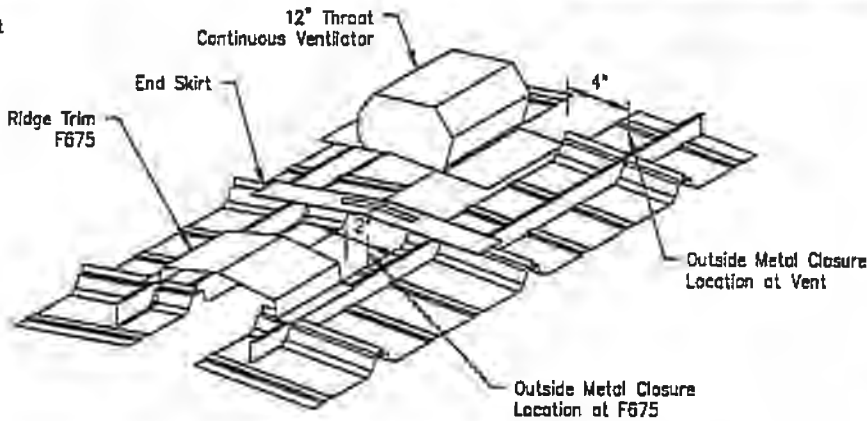
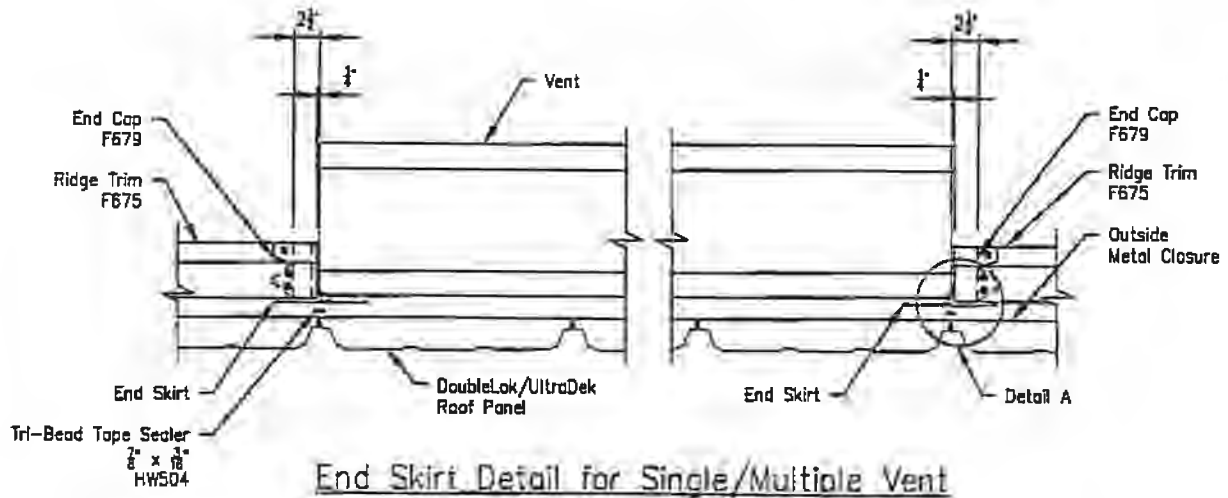


Metal Closure
HW430
HW432
04 at Top and
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GDL01011 for
Details

etric View

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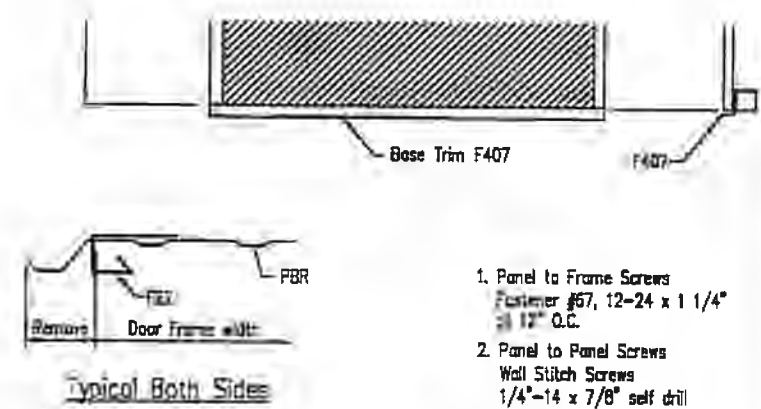
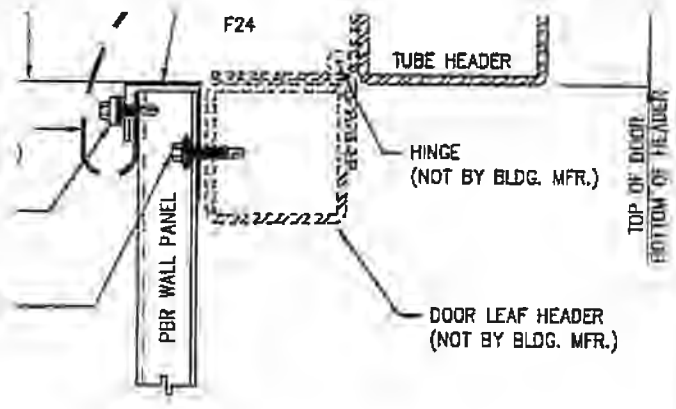


Outside Metal Closure

Tri-Bead

End Skirt

1/4" x 7/8" LL



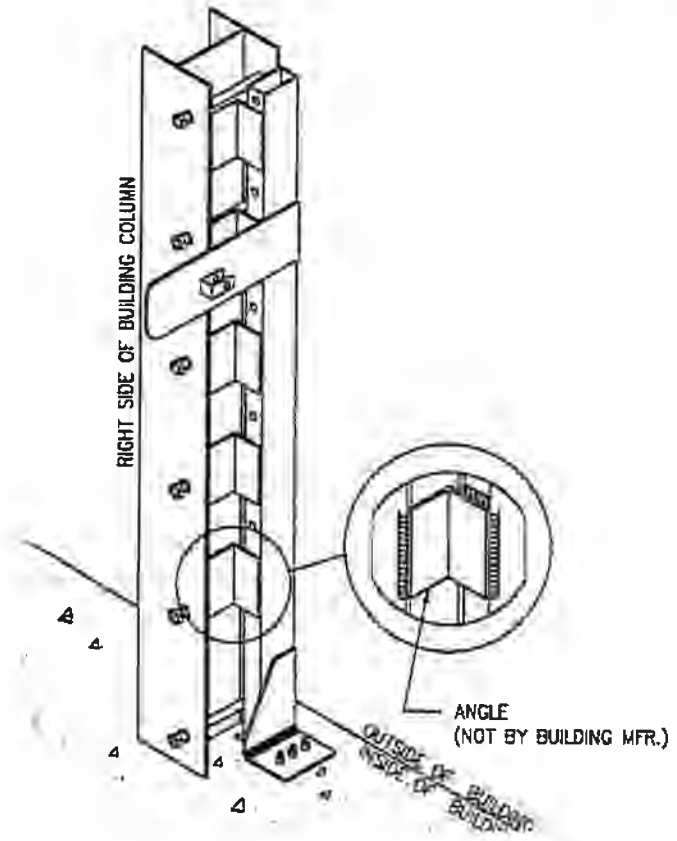
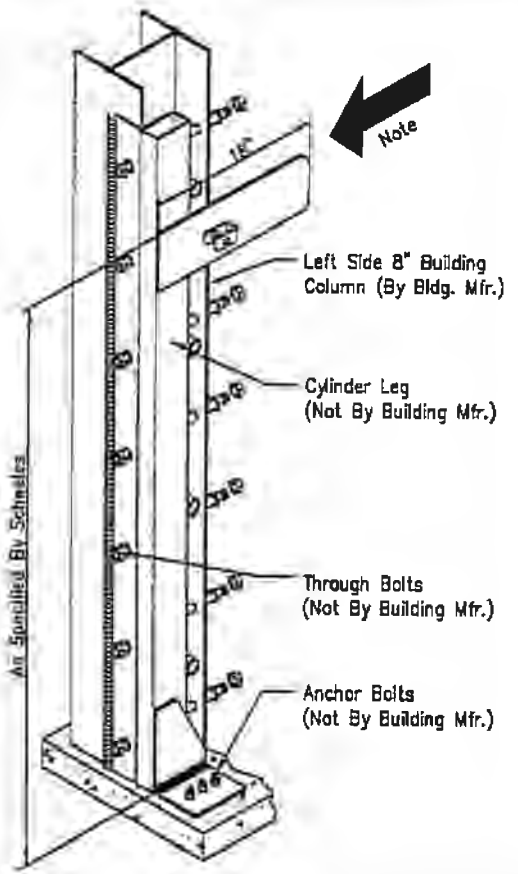
1. Panel to Frame Screws
Fastener #67, 12-24 x 1 1/4"
@ 12" O.C.
2. Panel to Panel Screws
Wall Stitch Screws
1/4"-14 x 7/8" self drill
at 20" on center

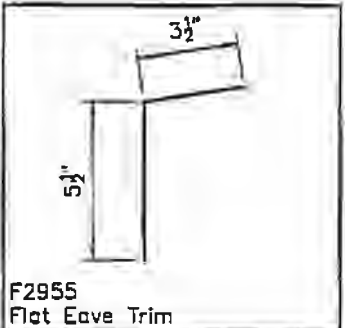
- Hydraulic Door Jamb Cylinder Leg Installation

Page AC11002
Date May '19 Rev 02

SCHWEISS - HYDRAULIC DOOR JAMB CYLINDER LEG INSTALLATION

Page AC11003
Date May '19 Rev 02





F2955
Flat Eave Trim



Parcel Summary

Parcel ID 03-095-08W-0000-0010-0000
 Location Address 28 AIRPORT ROAD
 32320
 Brief Tax Description* 639.3 AC ALSO 6 AC OR GG/365
 *The Description above is not to be used on legal documents.
 Property Use Code COUNTY (008600)
 Sec/Twp/Rng 3-95-8W
 Tax District County (District 1)
 Millage Rate 11.2322
 Acreage 638.300
 Homestead N

[View Map](#)

Owner Information

Primary Owner
[Franklin County](#)
 33 Market Street
 Suite 203
 Apalachicola, FL 32320

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
008600	COUNTY	638.30	AC	0	0

Building 1

Type GOVT BLDG
 Total Area 12,376
 Heated Area 960
 Exterior Walls MOD METAL
 Roof Cover MODULAR MT
 Interior Walls NONE; DRYWALL
 Frame Type N/A
 Floor Cover C ABOVE GD
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 0
 Stories 1
 Effective Year Built 1993

Building 2

Type GOVT BLDG
 Total Area 3,318
 Heated Area 3,318
 Exterior Walls CB STUCCO
 Roof Cover MODULAR MT
 Interior Walls DRYWALL
 Frame Type MASONARY
 Floor Cover CLAY TILE; CARPET
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 0
 Stories 0
 Effective Year Built 1978

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0570	CON WALK	1	4 x 39 x 0	156	UT	0
0570	CON WALK	1	11 x 37 x 0	407	UT	0

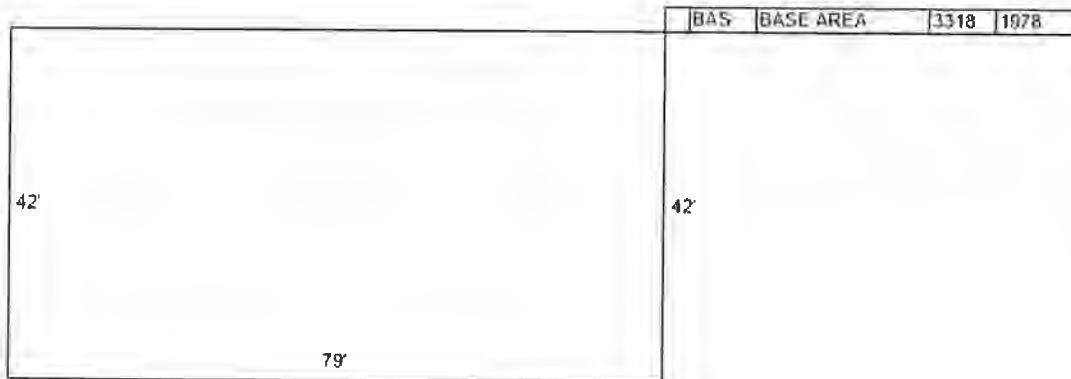
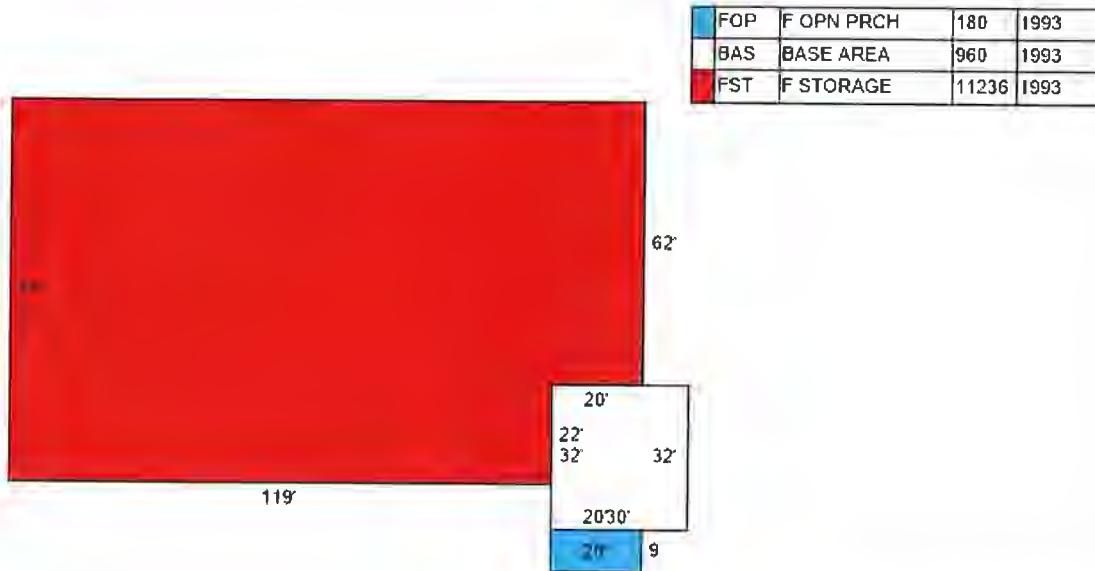
Valuation

Page 159

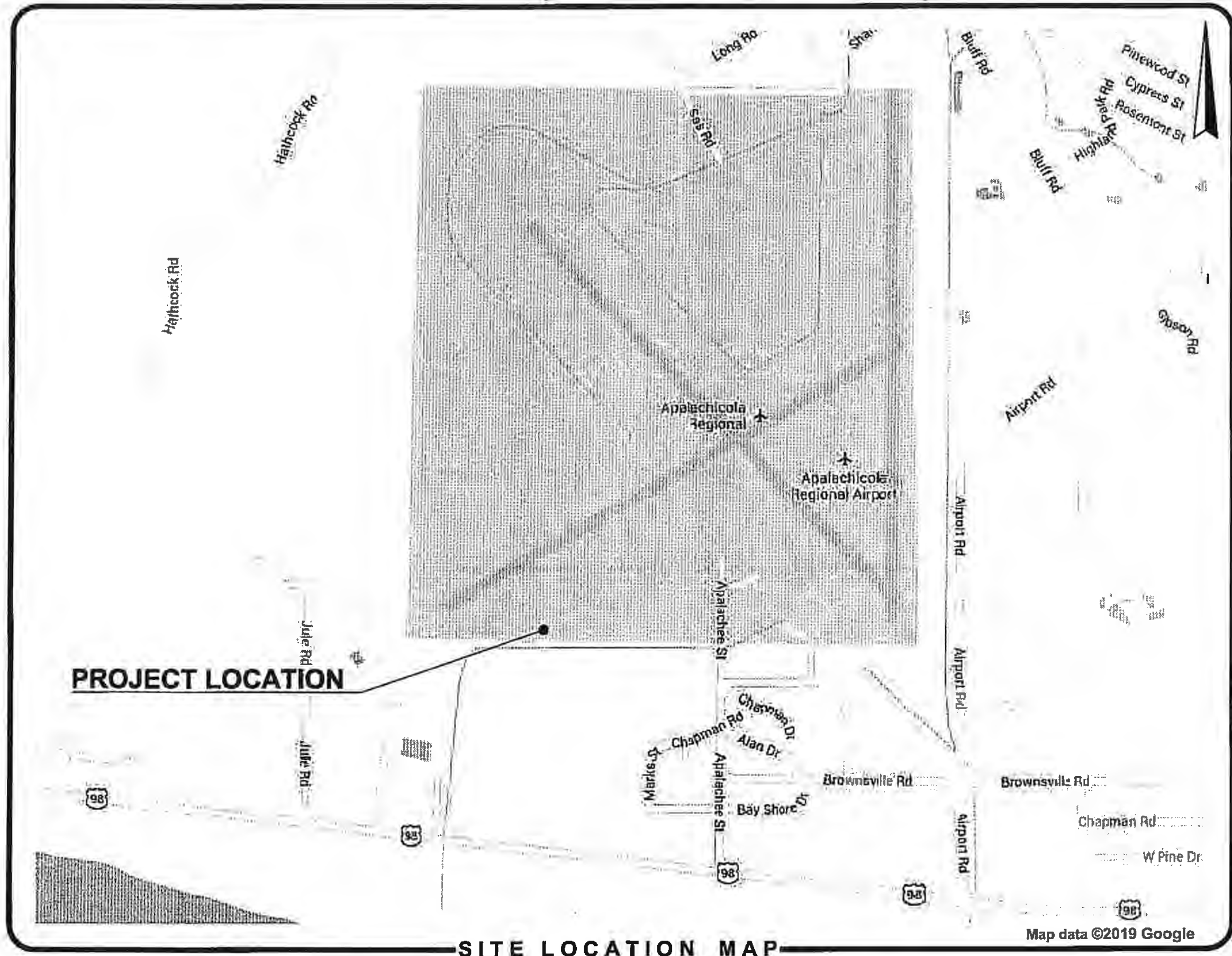
	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$878,059	\$890,970	\$916,788	\$916,788	\$942,607
Extra Features Value	\$1,069	\$1,069	\$1,069	\$1,069	\$1,069
Land Value	\$702,130	\$702,130	\$702,130	\$702,130	\$702,130
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$1,581,258	\$1,594,169	\$1,619,987	\$1,619,987	\$1,645,806
Assessed Value	\$1,581,258	\$1,594,169	\$1,619,987	\$1,619,987	\$1,645,806
Exempt Value	\$1,581,258	\$1,594,169	\$1,619,987	\$1,619,987	\$1,645,806
Taxable Value	\$0	\$0	\$0	\$0	\$0
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Sketches



No data available for the following modules: Commercial Buildings, Sales, TRIM Notice 2020, TRIM Notice 2019



SITE LOCATION MAP
N.T.S.

SHEET	
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BASE BID - HANGAR AND SITE WORK				
ITEM NO.	BID ITEM	ITEM DESCRIPTION	UNIT	QTY
1	101-1	MOBILIZATION	LS	1
2	102-1	MAINTENANCE OF TRAFFIC	LS	1
3	104-1	PREVENTION, CONTROL, AND ABATEMENT OF EROSION AND WATER POLLUTION	LS	1
4	110-1	STRIPPING AND STOCKPILING	SY	1,700
5	120-1	UNCLASSIFIED EXCAVATION AND EMBANKMENT	LS	1
6	160-1	6" STABILIZED SUBGRADE	SY	260
7	285-1	6" LIMEROCK BASE COURSE	SY	240
8	350-1	6" PORTLAND CEMENT CONCRETE	SY	220
9	570-1	SODDING, CENTIPEDE	SY	1,350
10	985-1	PYRAMAT WITH SOD	SY	130
11	02660-1	POTABLE WATER IMPROVEMENTS	LS	1
12	02730-1	SANITARY SEWER IMPROVEMENTS	LS	1
13	AL-1	FLORIDA PUBLIC UTILITIES ALLOWANCE	AL	1

PERMITS:

1. THE CONTRACTOR SHALL BE RESPONSIBLE CONTRACTOR SHALL COMPLY WITH ALL APPLIED CONTROL, EROSION CONTROL, DUST CONTROL WHICH PERTAIN TO CONSTRUCTION ACTIVITIES THEIR RECORDS.
2. AS REQUIRED UNDER ACT OF THE NATIONAL SHALL PREPARE AND SUBMIT A NOTICE OF TO THE FLORIDA DEPARTMENT OF ENVIRONMENT TO THE ENGINEER FOR THEIR RECORDS. CURRENT UNTIL PROJECT COMPLETION AND F

ABBREVIATIONS

BFP	=	BACKFLOW PREVENTER
BM	=	BENCH MARK
C/O	=	SEWER CLEAN OUT
CM	=	CONCRETE MONUMENT
CMP	=	CORRUGATED METAL PIPE
CPP	=	CORRUGATED PLASTIC PIPE
ELEC	=	ELECTRIC
ELEV	=	ELEVATION
ES	=	ELECTRIC SERVICE
ETP	=	ELECTRIC TRANSFORMER PAD
FDOT	=	FLORIDA DEPT OF TRANSPORTATION
FFE	=	FINISHED FLOOR ELEVATION
FO	=	FIBER OPTICS
HYD	=	FIRE HYDRANT
GPS	=	GLOBAL POSITIONING SYSTEM
ID	=	IDENTIFICATION
INV	=	INVERT
IR	=	IRON ROD
IP	=	IRON PIPE
LP	=	LIGHT POLE
MES	=	MITERED END SECTION
MH	=	MANHOLE
MHD	=	MANHOLE-DRAINAGE
MHS	=	MANHOLE-SANITARY
MHT	=	MANHOLE-TELEPHONE
NAD	=	NORTH AMERICAN DATUM
NAVD	=	NORTH AMERICAN VERTICAL DATUM
NGS	=	NATIONAL GEODETIC SURVEY

26. THE CONTRACTOR SHALL PROTECT AND KEEP OWNER (INCLUDING THEIR AGENTS AND EMPLOYEES) FREE AND HARMLESS FROM ANY AND ALL LIABILITY, PUBLIC OR PRIVATE, PENALTIES, CONTRACTUAL OR OTHERWISE, LOSSES, DAMAGES, COSTS, ATTORNEY'S FEES, EXPENSES, CAUSES OF ACTION, CLAIMS OR JUDGMENTS RESULTING FROM THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AS AMENDED OR ANY RULE OR REGULATION PROMULGATED THEREUNDER OR OF ANY STATE LAWS OR REGULATIONS PERTAINING TO JOB SAFETY AND HEALTH ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF WORK OR WORK TO BE PERFORMED UNDER THIS CONTRACT, AND CONTRACTOR SHALL INDEMNIFY OWNER FROM ANY SUCH CLAIMS, PENALTIES, SUITS OR ACTIONS, PUBLIC OR PRIVATE, ADMINISTRATIVE OR JUDICIAL, INCLUDING ATTORNEY'S FEES PAID OR INCURRED BY OR ON BEHALF OF OWNER, JOINTLY OR SEVERALLY, AND/OR THEIR AGENTS AND EMPLOYEES. THE CONTRACTOR FURTHER AGREES, IN THE EVENT OF A CLAIMED VIOLATION OF ANY FEDERAL OR STATE SAFETY AND HEALTH LAW OR REGULATION ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF WORK OR WORK TO BE PERFORMED UNDER THIS CONTRACT, OWNER MAY IMMEDIATELY TAKE WHATEVER ACTION IS DEEMED NECESSARY BY OWNER TO REMEDY THE CLAIMED VIOLATION. ANY AND ALL COSTS OR EXPENSES PAID OR INCURRED BY OWNER IN TAKING SUCH ACTION SHALL BE BORNE BY CONTRACTOR, AND CONTRACTOR AGREES TO PROTECT, HOLD HARMLESS AND INDEMNIFY OWNER AGAINST ANY AND ALL SUCH COSTS OR EXPENSES.

27. ALL WORK PERFORMED UNDER THE CONTRACT, AND ALL EQUIPMENT, APPLIANCES, TOOLS AND LIKE ITEMS USED IN THE WORK SHALL CONFORM TO APPLICABLE SAFETY CODES AND REGULATIONS OF ANY PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION. IN THE EVENT OF CONFLICTING REQUIREMENTS, THE MORE STRINGENT INTERPRETATION OR REGULATION SHALL GOVERN.

28. THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT AN EROSION CONTROL PLAN TO MINIMIZE EROSION AND ENSURE FUNCTIONING OF STORMWATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION.

29. CONTRACTOR AND ITS SUBCONTRACTORS SHALL USE, HANDLE, TRANSPORT, AND DISPOSE OF ALL HAZARDOUS MATERIALS (AS DEFINED PARAGRAPH 38.) IN COMPLIANCE WITH ALL PRESENT FEDERAL, STATE AND LOCAL ENVIRONMENTAL, HEALTH OR SAFETY LAW, INCLUDING, BUT NOT LIMITED TO, ALL SUCH STATUTES, REGULATIONS, RULES, ORDINANCES, CODES, AND RULES OF COMMON LAW.

30. CONTRACTOR FURTHER AGREES THAT CONTRACTOR AND ITS SUBCONTRACTORS SHALL NOT CAUSE THE DISCHARGE, RELEASE OR DISPOSAL OF ANY HAZARDOUS MATERIAL CREATED BY ITS WORK ON OR ABOUT THE JOB SITE. IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS OR PROPERTY.

31. CONTRACTOR AND ITS SUBCONTRACTORS SHALL, UPON COMPLETION OF PERFORMANCE OF ALL DUTIES UNDER THIS CONTRACT, REMOVE ALL SUPPLIES, MATERIALS, AND WASTE CONTAINING AND HAZARDOUS MATERIAL FROM THE JOB SITE. CONTRACTOR SHALL BEAR FULL FINANCIAL RESPONSIBILITY, AS BETWEEN THE PARTIES OF THIS CONTRACT, FOR THE COMPLIANCE OF CONTRACTOR AND ITS SUBCONTRACTORS WITH THE PROVISIONS OF THIS PARAGRAPH.

32. CONTRACTOR AGREES TO INDEMNIFY, DEFEND, PROTECT AND HOLD THE OWNER HARMLESS FROM AND AGAINST ANY CLAIMS INCLUDING, WITHOUT LIMITATION, ACTUAL ATTORNEY'S FEES AND ANY COSTS OF INVESTIGATION, SOILS TESTING, GOVERNMENTAL APPROVALS, REMEDIATION AND CLEAN-UP ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE FAILURE OF CONTRACTOR OR ITS SUBCONTRACTORS, OR THEIR AGENTS, EMPLOYEES, OFFICERS, OR REPRESENTATIVES, TO COMPLY WITH THE TERMS OF THIS ARTICLE.

33. SHOULD CONTRACTOR OR ITS SUBCONTRACTORS DISCHARGE, RELEASE OR DISPOSAL OF ANY HAZARDOUS MATERIAL ON OR ABOUT THE JOB SITE IN VIOLATION OF REGULATIONS, CONTRACTOR SHALL IMMEDIATELY SO INFORM OWNER IN WRITING.

34. IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS OR PROPERTY. IN THE EVENT CONTRACTOR OR ITS SUBCONTRACTORS ENCOUNTER ON THE PREMISES ANY PIPELINE, UNDERGROUND STORAGE TANK OR OTHER CONTAINER, OF ANY KIND, THAT MAY CONTAIN A HAZARDOUS MATERIAL, OR ENCOUNTER MATERIAL REASONABLY BELIEVED TO BE A HAZARDOUS MATERIAL, CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION TO OWNER IN WRITING.

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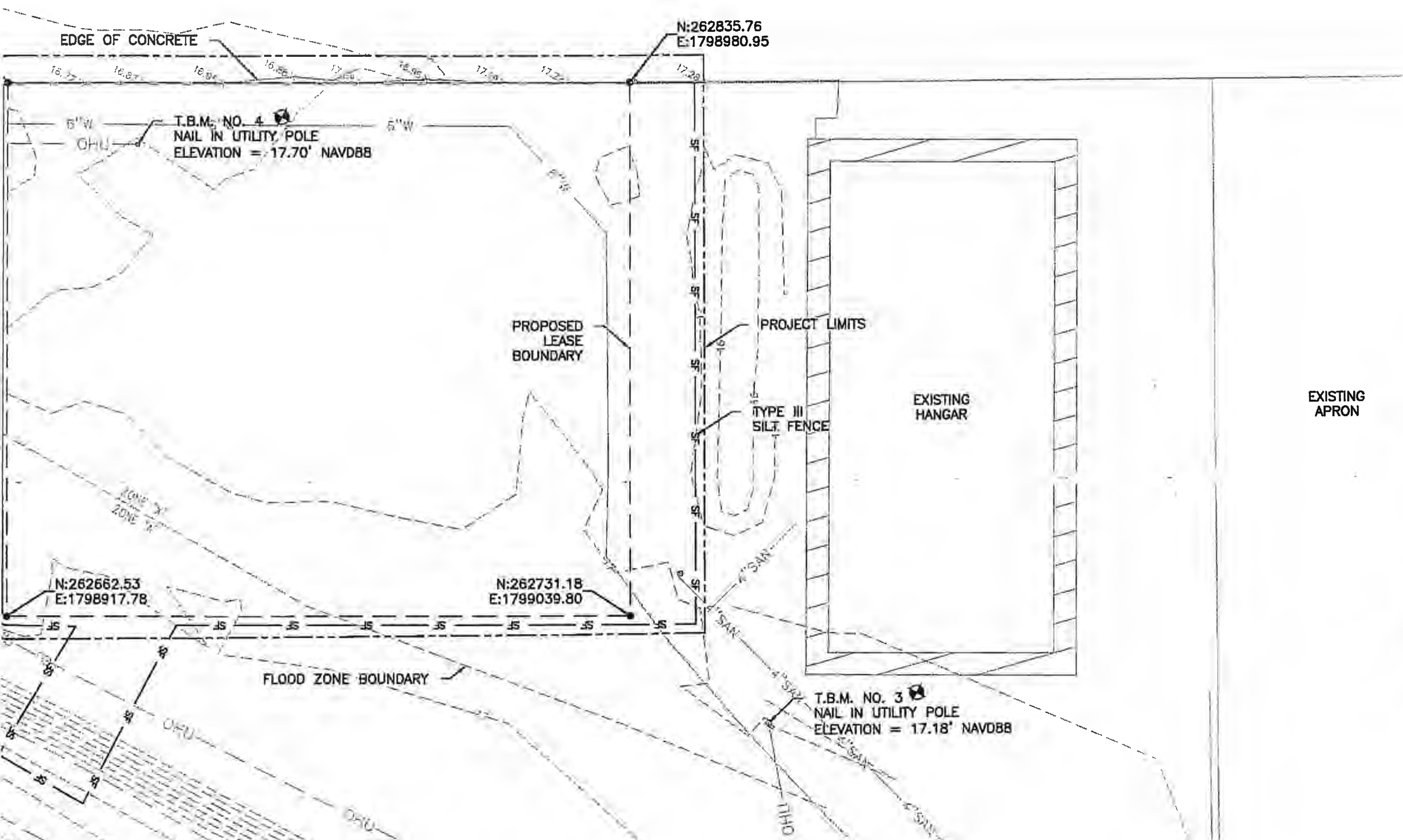
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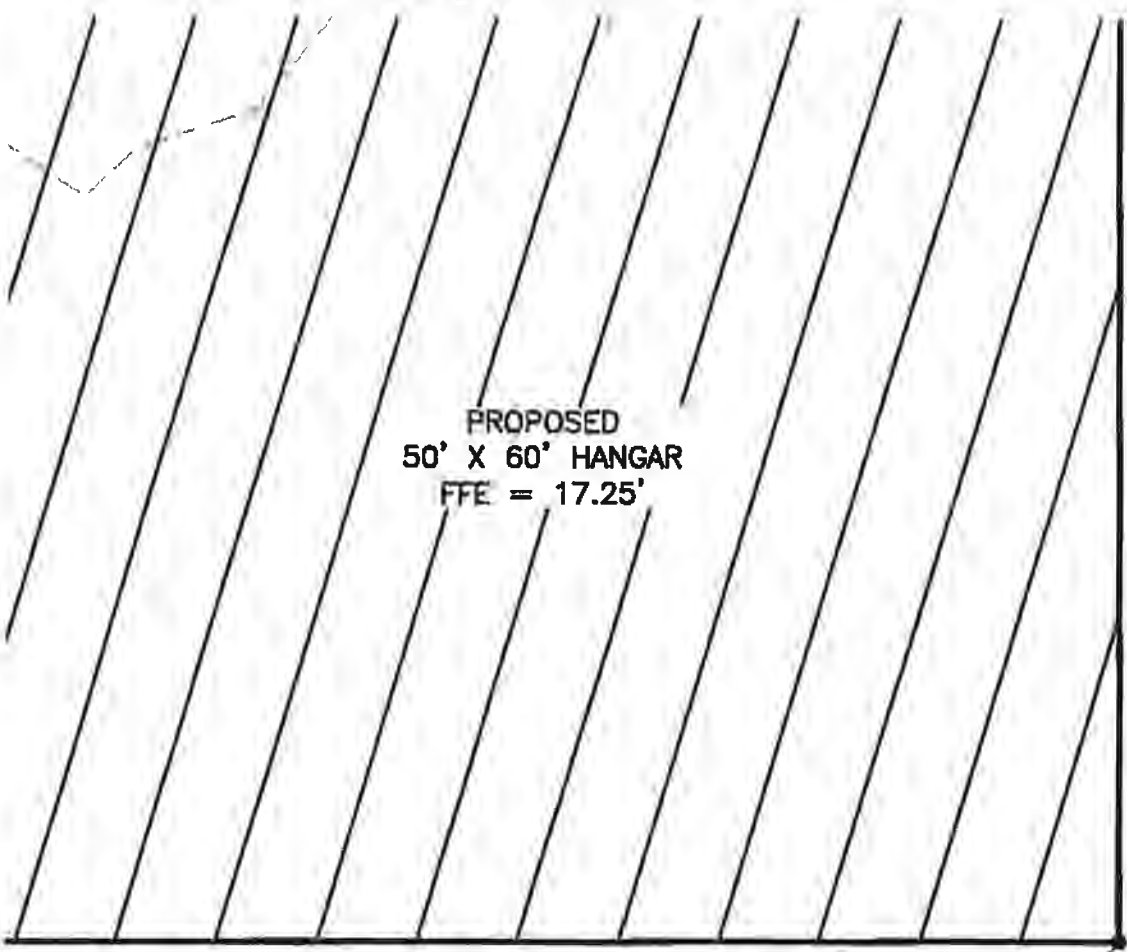


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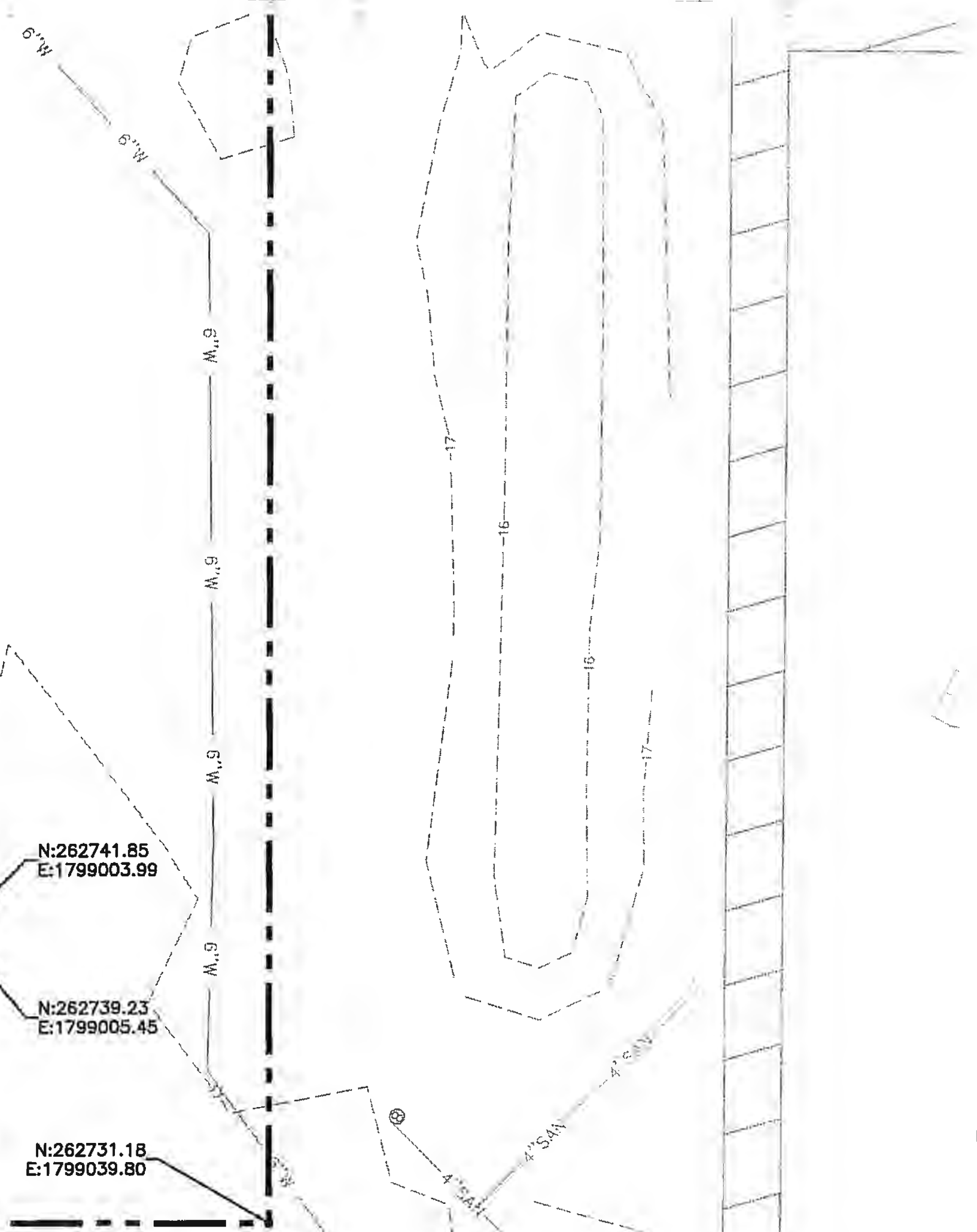
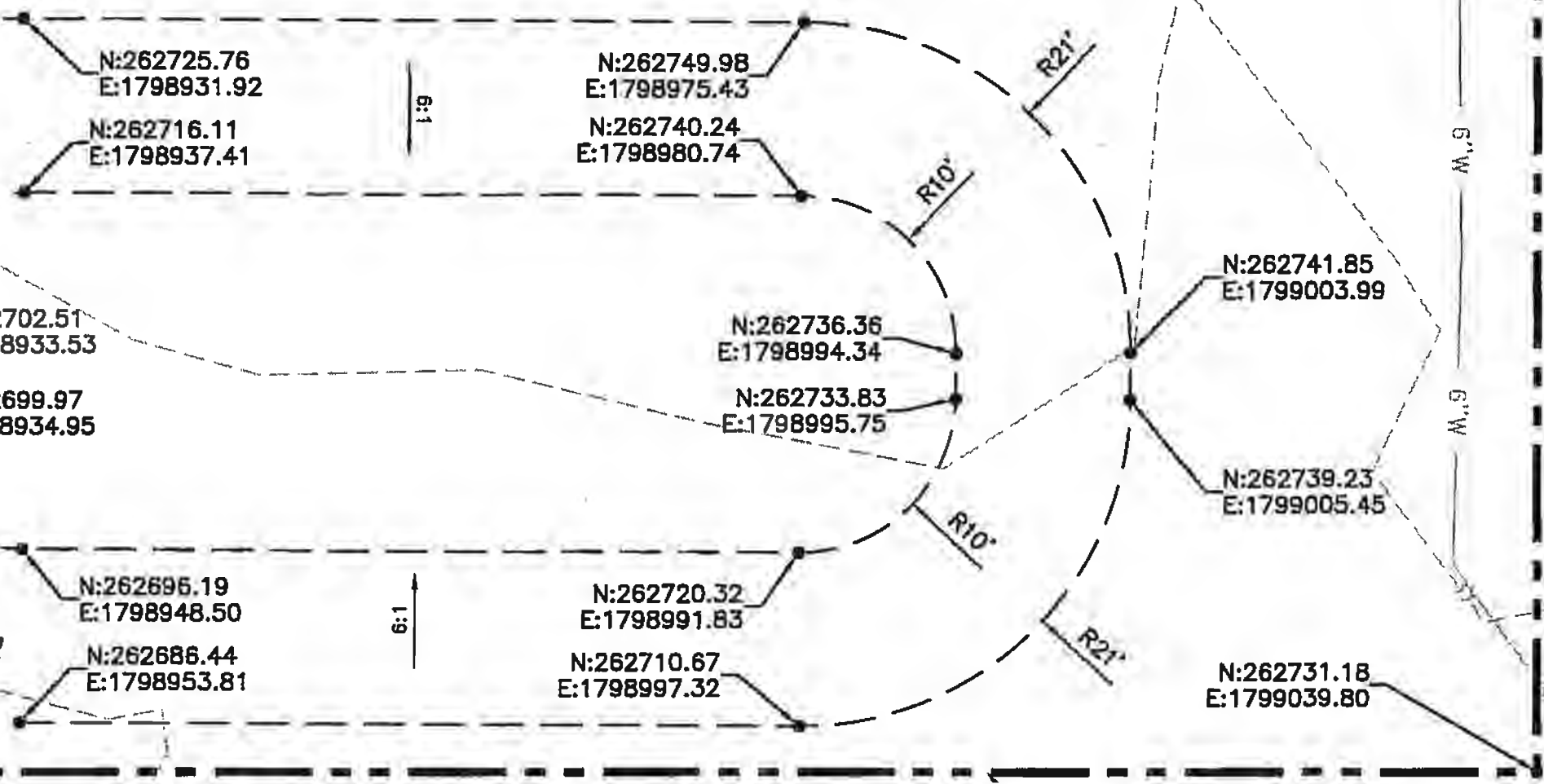
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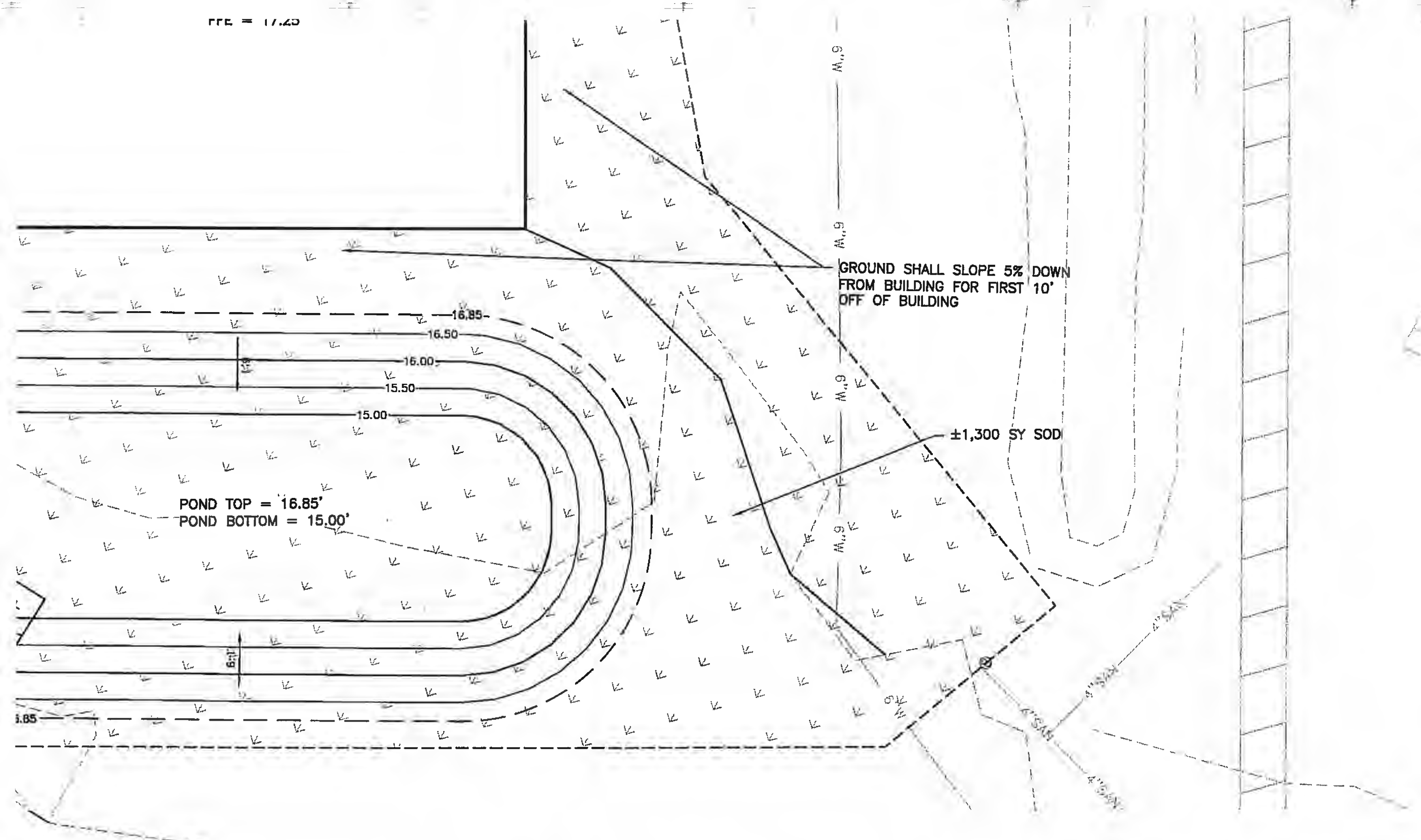
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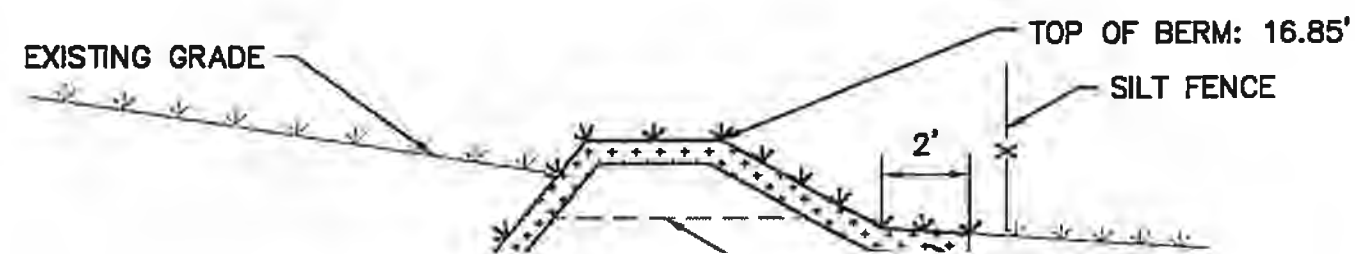
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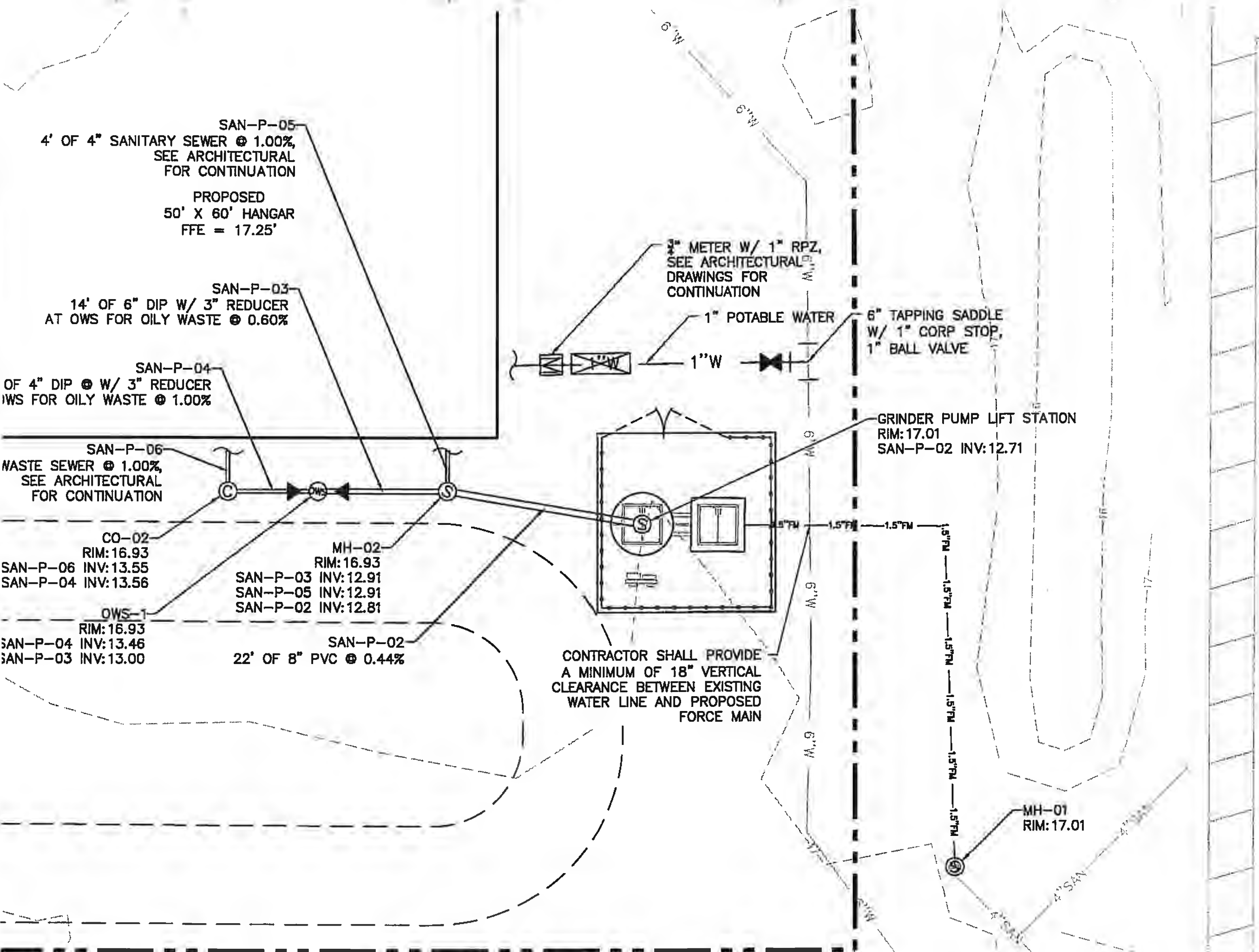




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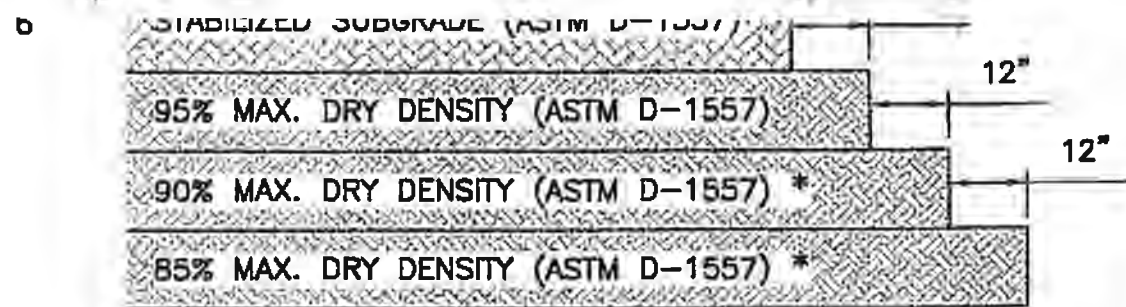


SPECIAL UTILITY

THE CONTRACTOR SHALL DIGGING. THE CONTRACTOR UTILITIES WITHIN THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE UTILITY COMPANIES AND OF FLORIDA SUNSHINE ON PROVIDE THE OWNER AND NOTIFICATION TO EACH REQUIREMENT IS IN ADDITION PRIOR TO EXCAVATION.

GENERAL NOTE

1. THE LOCATION OF UTILITIES TO BEGINNING CONSTRUCTION FROM THAT SHOWN ON NOTIFIED. Page 167
2. THE CONTRACTOR SHALL PROVIDE CONSTRUCTION.

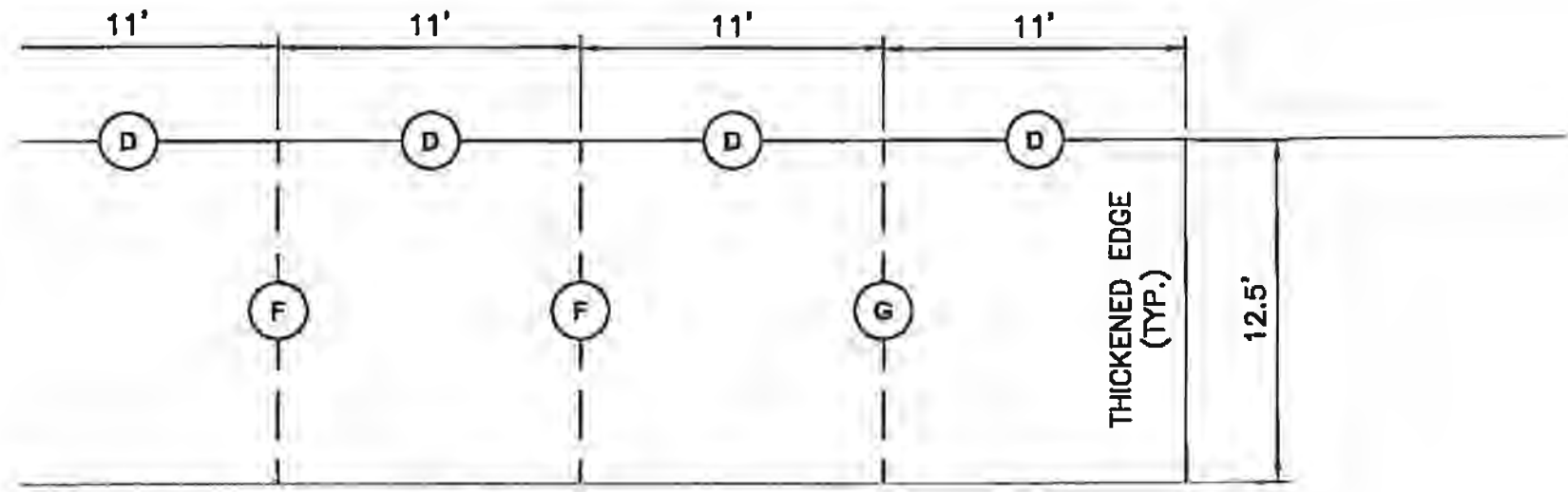


NATURAL DENSITY

* MINIMUM COMPACTION AT LEAST 95% OF MODIFIED PROCTOR MAX. DENSITY (ASTM D-1557) REQUIRED FOR ALL BACKFILLED MATERIALS BENEATH PAVEMENT.

DETAIL B - SUBGRADE COMPACTION

N.T.S.



JOINT NOTES:

1. COLD APPLIED SEALANTS: A BACKER ROD SHALL BE INSTALLED AS SHOWN ON THE PLANS AND THE PRIMER SHALL BE APPLIED IN THE CORRECT SEQUENCE IN ACCORDANCE WITH THE SEALANT MANUFACTURER'S INSTRUCTIONS PRIOR TO PLACEMENT OF THE JOINT SEALER. THE SEALANT SHALL BE APPLIED IN CONTINUOUS OPERATION WITH AN APPROVED MECHANICAL DRIVE THAT WILL FORCE THE SEALANT TO THE BOTTOM OF THE JOINT AND COMPLETELY FILL THE JOINT WITHOUT SPILLING THE MATERIAL ON THE SURFACE OF THE PAVEMENT AND SHALL ADHERE TO THE CONCRETE AND BE FREE OF VOIDS. THE SEALANT SHALL THEN BE TOOLED WITH AN APPROPRIATE TOOL TO PRODUCE A SLIGHTLY CONCAVE SURFACE APPROXIMATE 3/8" BELOW THE SURFACE. THE SEALANT SHALL HAVE A MINIMUM THICKNESS OF 3/8". TOOLING SHALL BE ACCOMPLISHED BEFORE A SKIN FORMS ON THE SURFACE, USUALLY WITHIN TEN MINUTES OF APPLICATION. THE SEALANT SHALL BE TOOLED IN BOTH DIRECTIONS TO ENSURE A VOID-FREE INSTALLATION. SEALANT WHICH DOES NOT BOND TO THE SURFACE OF THE JOINT WALLS, CONTAINS VOIDS, OR FAILS TO SET TO A TACK-FREE CONDITION, WILL BE REJECTED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST. BEFORE SEALING THE JOINTS THE CONTRACTOR SHALL DEMONSTRATE THAT THE EQUIPMENT AND PROCEDURES FOR PREPARING, MIXING, AND PLACING THE SEALANT WILL PRODUCE A SATISFACTORY JOINT SEAL. THIS SHALL INCLUDE THE PREPARATION OF TWO SMALL BATCHES AND THE APPLICATION OF THE RESULTING MATERIAL.

CONCRETE JOINT SEALANT SHALL BE APPLIED WITH NEW PAVEMENT, SEE SHEET C-6

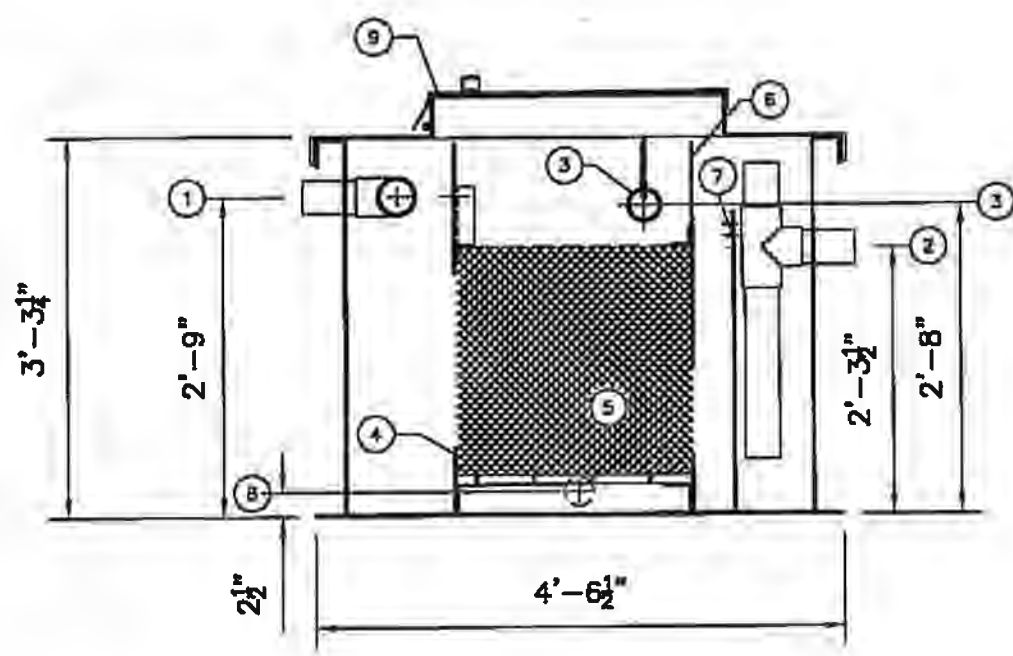
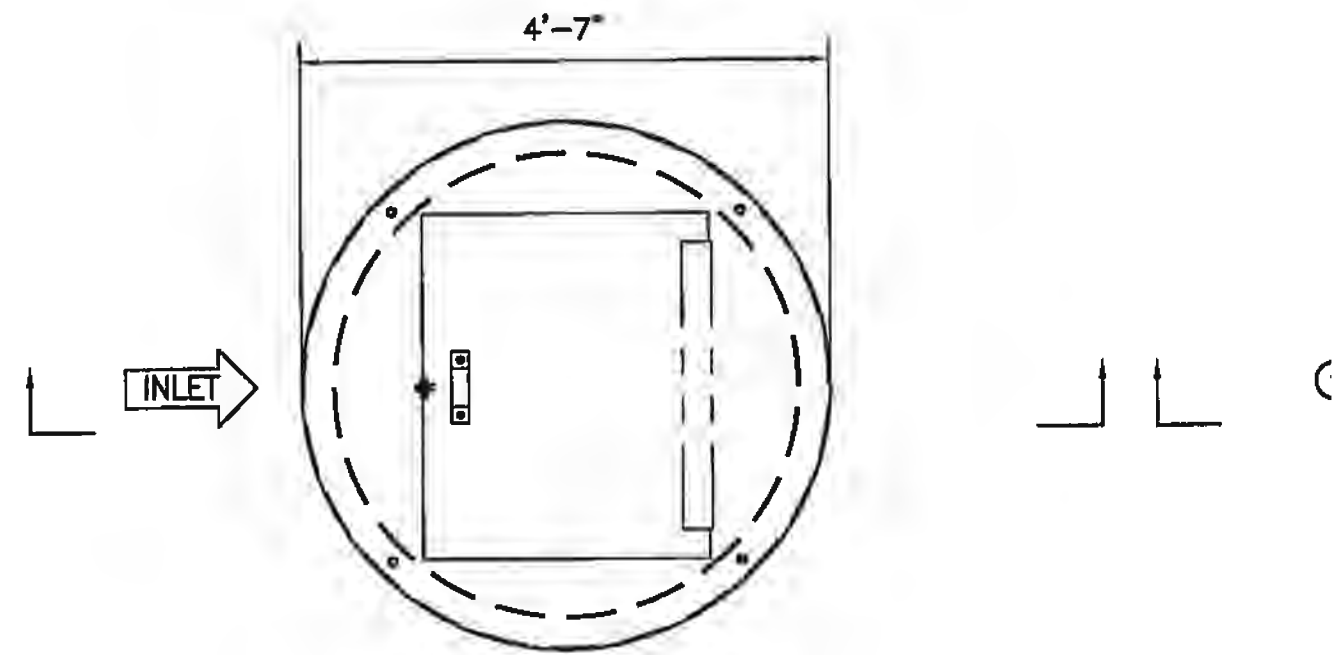
HANGAR BUILDING

2. A MANUFACTURER'S REPRESENTATIVE(S) IS TO CONDUCT THE DEMONSTRATION(S), TRAIN THE CONTRACTOR'S PERSONNEL AND ENSURE THE INSTALLATION PROCEDURES ARE IN

N.T.S.

1. EROSION PROTECTION: SOIL EROSION SEDIMENTATION MUST BE CONTROLLED AND RETAINED ON SITE DURING CONSTRUCTION. THEREFORE, EROSION PROTECTION, SUCH AS STAKED BALED HAY AND SILT FENCE BARRIERS, MUST BE INSTALLED PRIOR TO START OF CONSTRUCTION.
2. SILT FENCE BARRIER SHALL BE INSTALLED AS SHOWN ON PLANS, AND IN ALL AREAS SUBJECT TO SOIL EROSION SEDIMENTATION.

1. THIS METHOD OF DRAINAGE RELATES TO THE LOCATION OF THE DRAIN WHERE SHEET C IS TYPICAL. THE METHOD OF CONCENTRATED DRAINAGE SHALL BE AS SHOWN ON PLANS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPOSED INLET

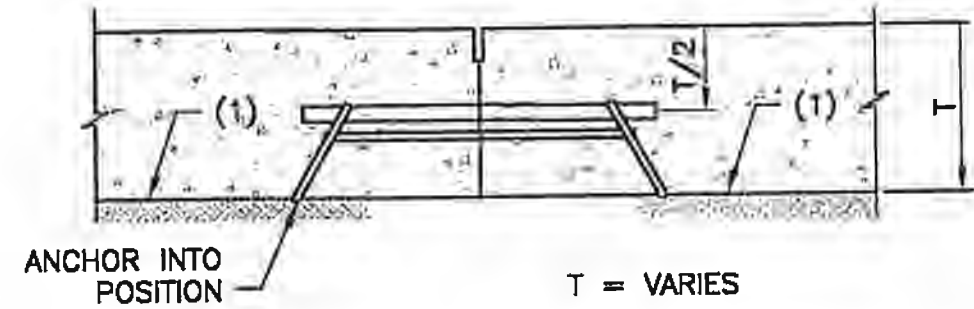


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CONTRACTION JOINT DETAIL

N.T.S.

CONTRAC



0.117" DIA. SPREADER WIRES
WELDED TO TOP SPACER
BARS 3 PER ASSEMBLY TO
BE CLIPPED AFTER STAKING

0.362" DIA. TOP SPACER BARS
WELDED TO LEG CHAIRS 2 PER
ASSEMBLY NO STEEL WITHIN
1'-0" OF EDGE OF PAVED LANE

DOWELS WELDED ALTERNATELY
TO TOP SPACER BARS, PAINT
AND OIL PER SPECIFICATIONS

0.362" DIA. BOTTOM
BARS WELDED TO LEG
2 PER ASSEMBLY

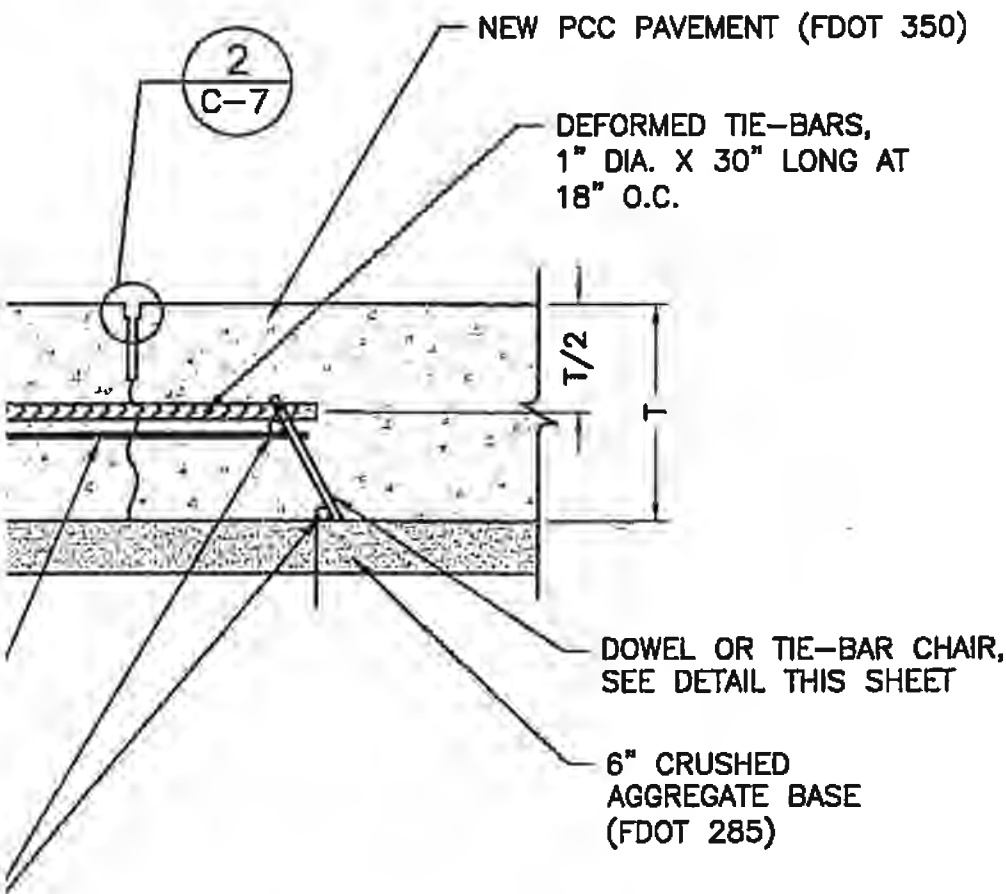
0.362" DIA. "VEE" LEG CHAIRS
AT ALL INTERSECTIONS TO TOP
BOTTOM SPACER BARS

NOTES:

1. BASKET MUST BE FIRMLY ATTACHED TO EXISTING OR NEW BASE.
2. ALL WIRE SIZES SHOWN ARE MINIMUM SIZE.
3. DOWELS SHALL BE HELD FIRMLY IN THE ABOVE WELDED ASSEMBLY.

TYPICAL DOWELED AND TIE-BAR BASKET

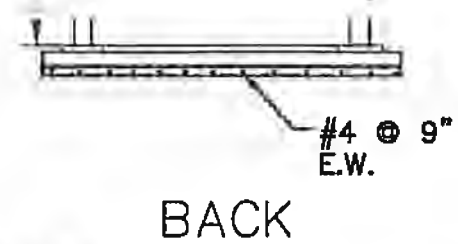
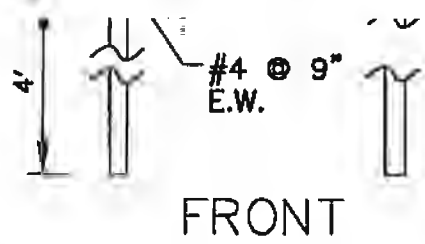
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EDGE DETAIL

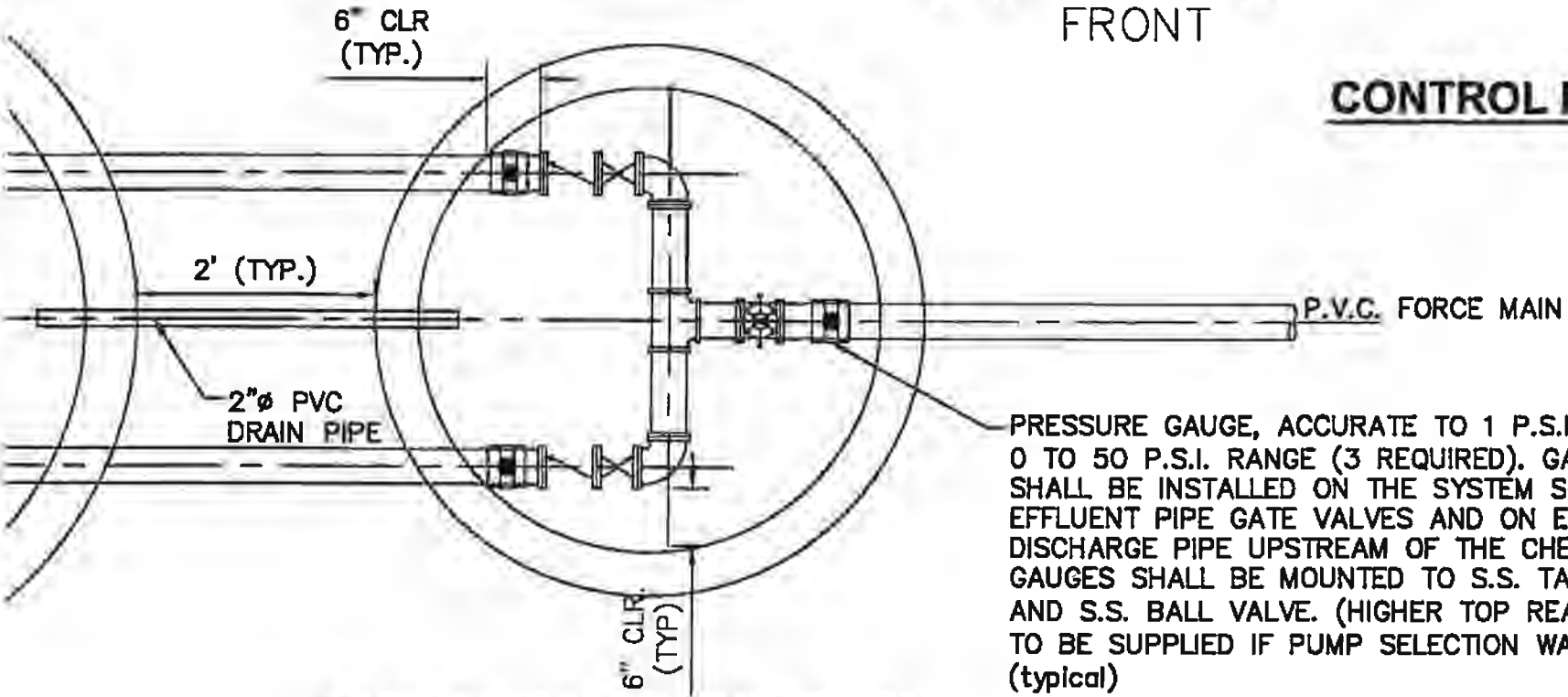
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3/8" ± 1/16"



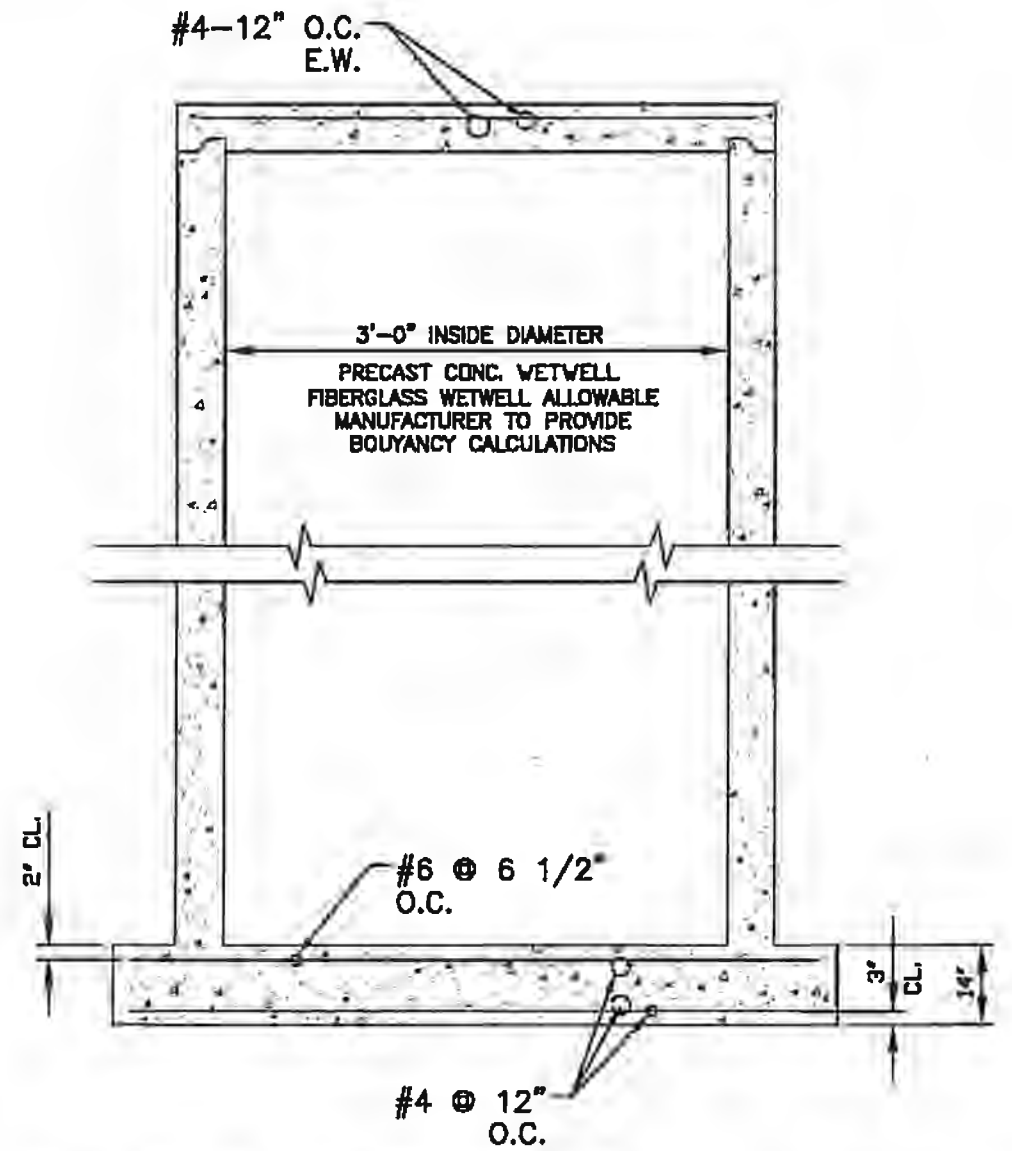
CONTROL PANEL SCHEMATIC

N.T.S.



TYPICAL VALVE BOX PLAN

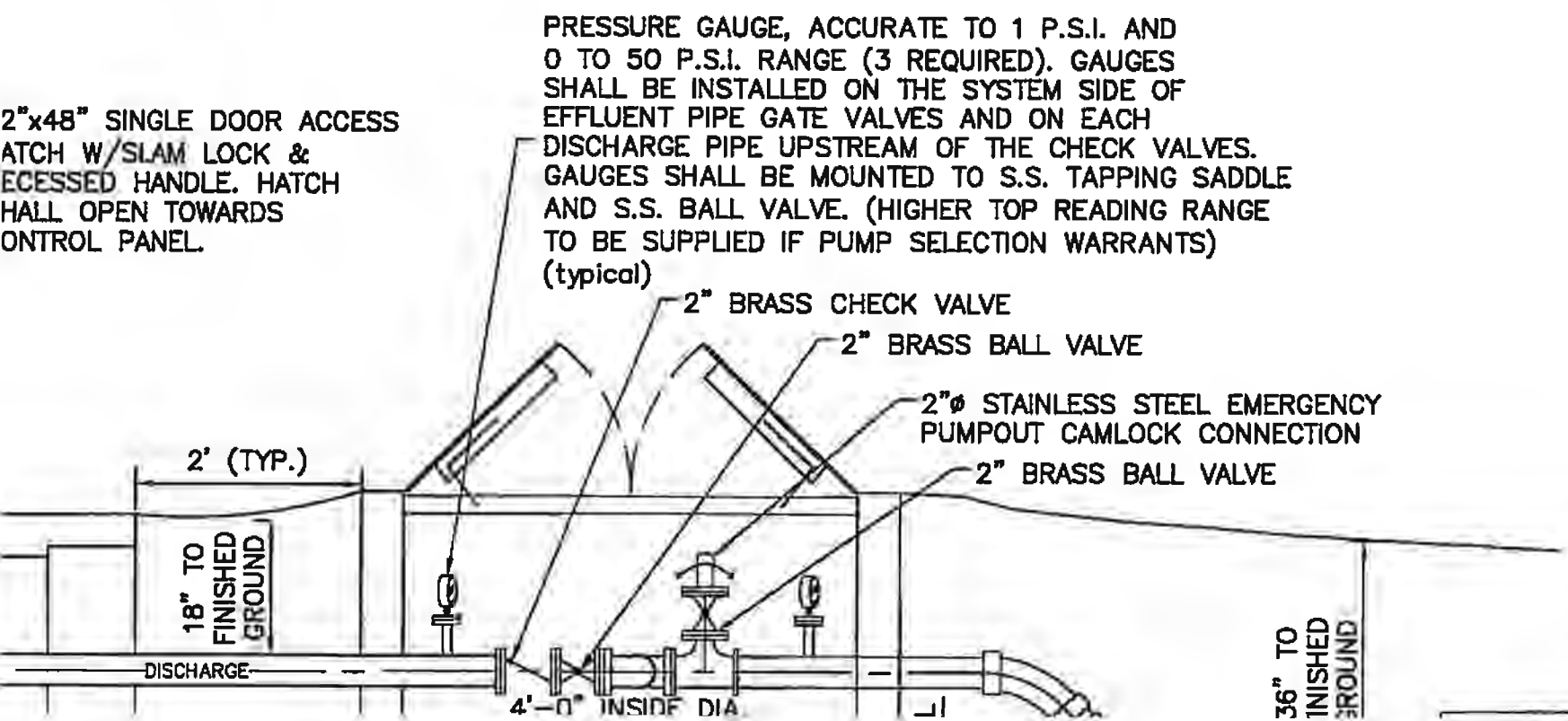
N.T.S.



TOP AND BOTTOM SLAB REINFORCING

GRINDER LIFT STATION

N.T.S.



2"x48" SINGLE DOOR ACCESS HATCH W/SLAM LOCK & RECESSED HANDLE. HATCH SHALL OPEN TOWARDS CONTROL PANEL.

PRESSURE GAUGE, ACCURATE TO 1 P.S.I. AND 0 TO 50 P.S.I. RANGE (3 REQUIRED). GAUGES SHALL BE INSTALLED ON THE SYSTEM SIDE OF EFFLUENT PIPE GATE VALVES AND ON EACH DISCHARGE PIPE UPSTREAM OF THE CHECK VALVES. GAUGES SHALL BE MOUNTED TO S.S. TAPPING SADDLE AND S.S. BALL VALVE. (HIGHER TOP READING RANGE TO BE SUPPLIED IF PUMP SELECTION WARRANTS) (typical)

GENERAL

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STRUCTURE

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TRENCH AT TOP OF SLOPE DETAIL

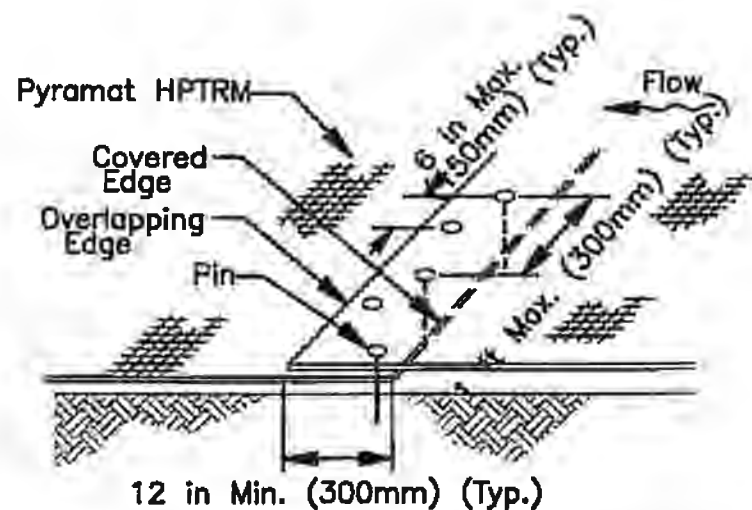


FIGURE 5: PYRAMAT® HPTRM OVERLAP AT ROLL END DETAIL

*Note: Pyramat HPTRM Edge Shingle/Overlap placement depends on down slope direction (i.e. Shingle in the direction of the down slope)

LONGITUDINAL EDGE TRENCH DETAIL

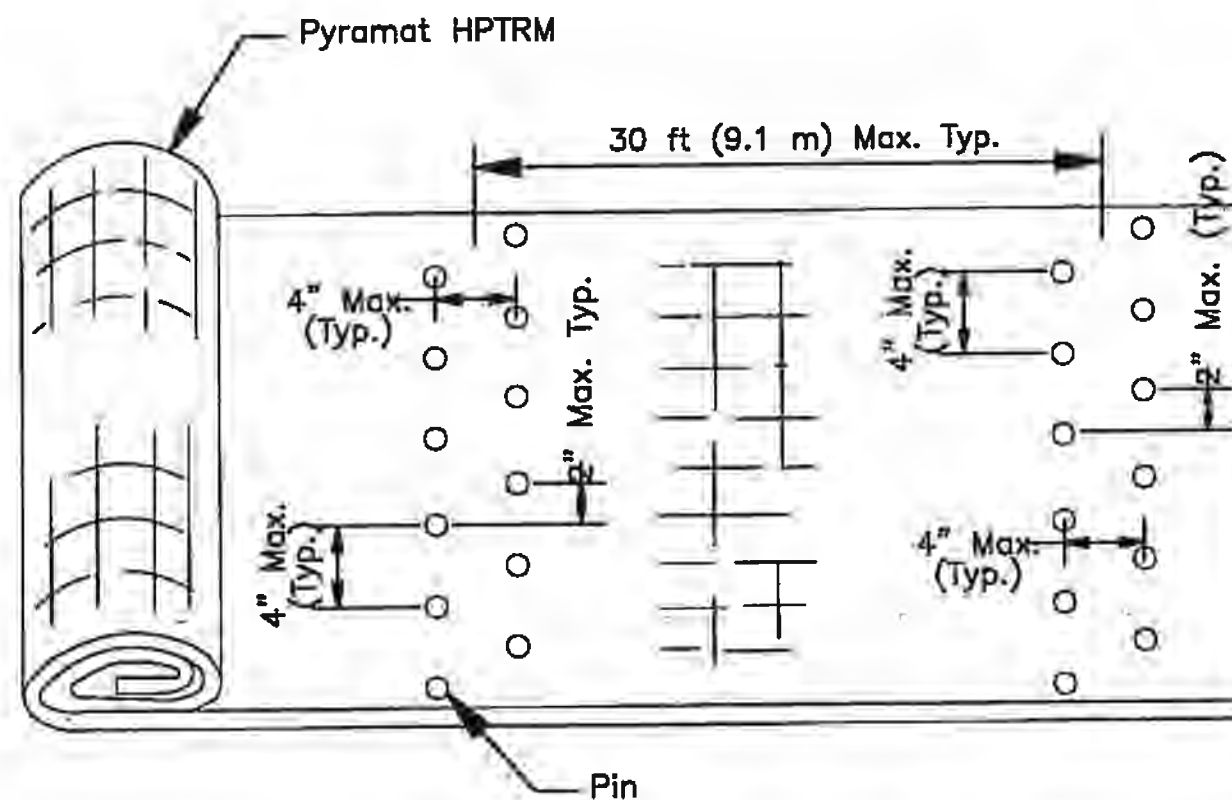


FIGURE 7: SIMULATED CHECK SLOT DETAIL

- Excavate initial trench 2-3 ft (600-900 mm) minimum along (see Figure 3). The longitudinal installed rolls.
- Beginning at the dovetail end of the initial trench and seal (see Figure 2). Position a roll of mat and compact soil into the trench.
- Unroll mat down the slope.
- Secure longitudinal edge with pins (see Figure 3).
- Continue installation
 - A. Roll edge over top. Secure with pins (see Figure 4).
 - B. Roll end over top. Secure with pins (see Figure 4).
- Secure mat using staples or pins in the pattern shown on the back of the mat.
- For slope heights greater than 10 ft (3000 mm) centers at 30 ft (9.1 m) the slope height for the trench.
- Excavate terminal trench 2-3 ft (600-900 mm) minimum 12 in (300 mm) from the edge.
- Pin, backfill and compact the trench (see Figure 8).

GROUND PINNING DEVICE

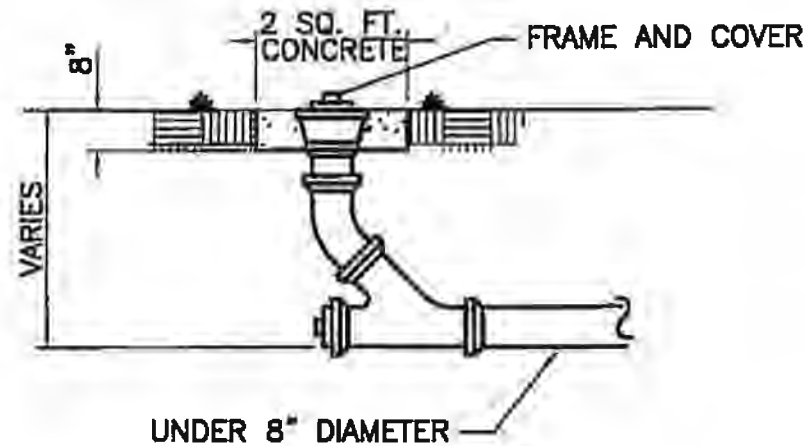
- Metal pins should be 1/2 in (12.7 mm) diameter (38 mm) steel washers. Pins should be driven flush to the surface of the mat (1/2 in (12.7 mm) long) and have a 1/2 in (12.7 mm) diameter hole. Pins may be required for soils. Depending on soil conditions, steel pins may be required. Refer to ground pinning device details.

SPECIAL TRANSITIONS

- For applications that require transitions to concrete, headwalls, etc., refer to Page 171 Pyramat→HPTRMs.

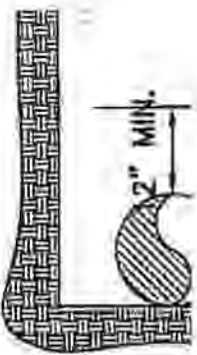
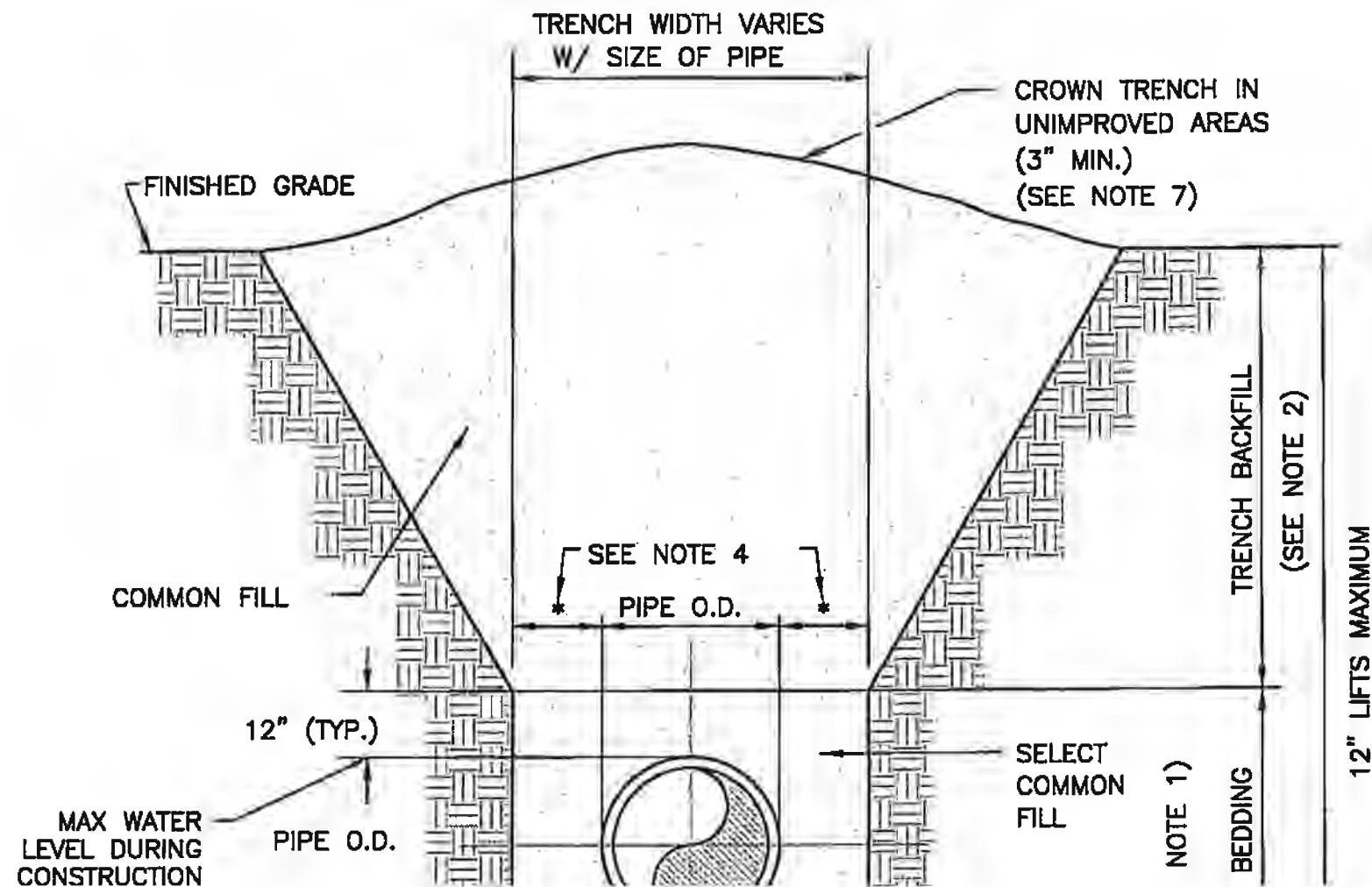
SOIL FILLING

- Installed Pyramat→HPTRM
- After seeding, spread soil or topsoil into the trench with a hand or other flat tool.
- If equipment must be used, no tracked equipment should be used.
- Avoid any traffic over the mat.
- Smooth soil—fill in the trench (see Figure 171) to place excessive soil.
- Broadcast additional seed (if desired).



CLEAN OUT DETAIL

N.T.S.



VERTICAL

DETAIL-WATER

SCALE: N.T.S.

HORIZONTAL SEPARATION NOTES:

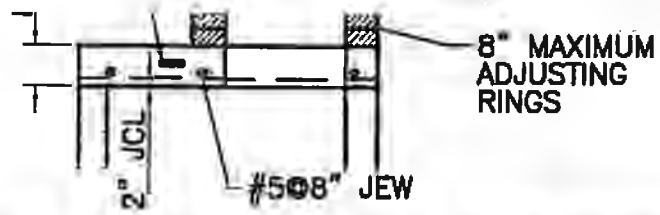
(1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS, SEWER, STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND PIPELINES:

- (a) NEW OR RELOCATED, UNDERGROUND WATER MAINS : THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER, STORMWATER FORCE MAIN, OR PIPELINE COVERED BY THE TRENCH. (SEE NOTE 7)
- (b) NEW OR RELOCATED, UNDERGROUND WATER MAINS : THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF AN EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER AND THE OUTSIDE OF A NEW OR RELOCATED, UNDERGROUND WATER MAIN.
- (c) NEW OR RELOCATED, UNDERGROUND WATER MAINS : SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF AN EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER AND THE OUTSIDE OF A NEW OR RELOCATED, UNDERGROUND WATER MAIN. RECLAIMED WATER NOT REGULATED UNDER PART III OF THE SANITATION CODE. THE DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE AT LEAST SIX FEET. THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX FEET ABOVE THE BOTTOM OF THE SANITARY SEWER.
- (d) NEW OR RELOCATED, UNDERGROUND WATER MAINS : TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER, STORMWATER FORCE MAIN, OR PIPELINE COVERED BY THE TRENCH. (SEE NOTE 7)

VERTICAL SEPARATION NOTES:

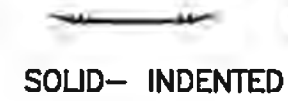
1. VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS, SEWER, STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES:

- (a) NEW OR RELOCATED, UNDERGROUND WATER MAINS : VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, FROM THE TOP OF THE WATER MAIN. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN AT LEAST 12 INCHES ABOVE THE TOP OF THE SANITARY SEWER OR STORM SEWER.
- (b) NEW OR RELOCATED, UNDERGROUND WATER MAINS : SEWER, WASTEWATER OR STORMWATER FORCE MAIN SHALL BE AT LEAST 12 INCHES FROM THE TOP OF THE WATER MAIN. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN AT LEAST 12 INCHES ABOVE THE TOP OF THE SEWER, WASTEWATER FORCE MAIN, OR STORMWATER FORCE MAIN.
- (c) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPH 1.1.1, THE WATER MAIN SHALL BE CENTERED ABOVE OR BELOW THE OTHER UTILITY PIPELINE. ALTERNATIVE TO THIS REQUIREMENT IS THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM THE TOP OF STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES COVERED BY THE TRENCH. (SEE NOTE 7) AND AT LEAST SIX FEET FROM SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES COVERED BY THE TRENCH. (SEE NOTE 7)



SLAB TOP FOR SHALLOW MANHOLE

N.T.S.



MIN. WEIGHTS
 FRAME- 260
 COVER- 120

MANHOLE COVER

N.T.S.

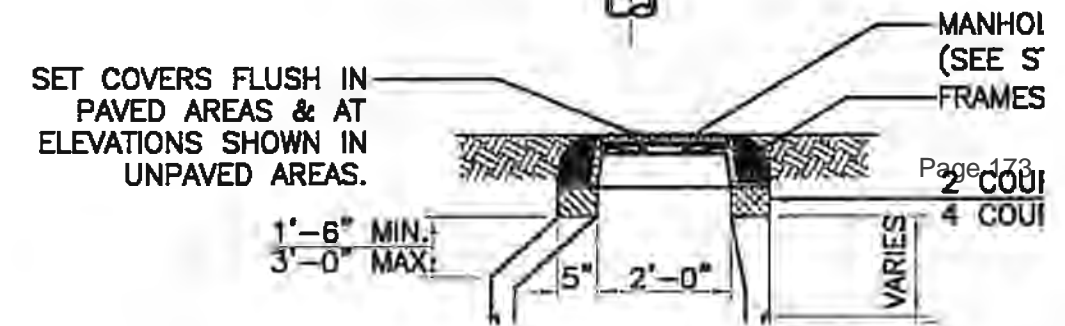
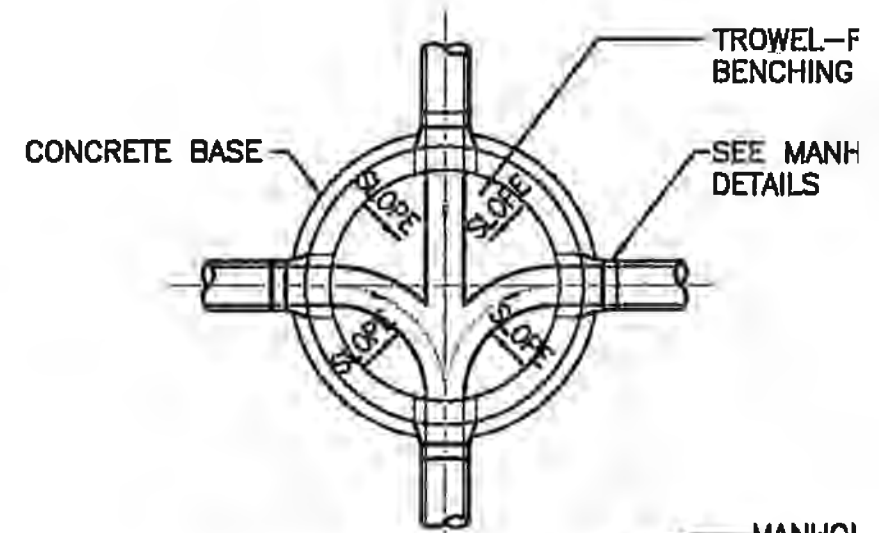
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SET COVERS FLUSH IN
 PAVED AREAS & AT
 ELEVATIONS SHOWN IN
 UNPAVED AREAS.

1'-6" MIN.
 3'-0" MAX.

Page 173
 2' COU
 4 COU

VARIABLES

REGARDING
ER.

PSI TIRE PRESSURE
..... 20 PSF
..... 2.55 PSF
..... .2 PSF

..... 131 MPH
..... 101 MPH
..... C
..... ±0.18 (ENCLOSED)

..... 1.0
..... (0.066) 6.6%
..... (0.045) 4.5%
..... 0.07g
..... 0.072g
NC. BRACED FRAMES
..... N/A
..... B

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- D. THAT THE CONFIGURATION SET FORTH IN THE STRUCTURAL SUBMITTALS IS CONSISTENT WITH THE CONTRACT DOCUMENTS. (NO DETAILED CHECK OF DIMENSIONS OR QUANTITIES WILL BE MADE.)
7. SUBMITTALS NOT MEETING THE ABOVE REQUIREMENTS WILL NOT BE REVIEWED AND WILL BE RETURNED TO CONTRACTOR MARKED REVISE AND RESUBMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS WHICH MAY RESULT.
8. IN ADDITION TO SUBMITTALS REQUIRED BY THE PROJECT SPECIFICATIONS AND CONSTRUCTION DOCUMENTS, THE FOLLOWING "STRUCTURAL SUBMITTALS" ARE REQUIRED FOR REVIEW BY THE STRUCTURAL ENGINEER OF RECORD.
A. METAL BUILDING DRAWINGS: DESIGN CALCULATIONS AND FABRICATION AND ERECTION DRAWINGS.
B. CONCRETE WORK: CONCRETE MIX DESIGNS AND REBAR SHOP DRAWINGS.
9. ALL STRUCTURAL SUBMITTALS SHALL BE PREPARED BY THE SPECIALTY ENGINEER.
10. DRAWINGS PREPARED SOLELY AS A GUIDE FOR ERECTION AND INSTALLATION AND CATALOG INFORMATION WILL NOT REQUIRE AN ENGINEER'S SEAL; HOWEVER, THEY SHALL BEAR THE ENGINEER'S SIGNATURE AND AN INDICATION THAT THE WORK WAS CHECKED.

STRUCTURAL CONCRETE

1. ALL CAST-IN-PLACE CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318-18 AND ACI 301, EXCEPT AS MODIFIED BY THE PROJECT CONSTRUCTION DOCUMENTS.
2. ALL CONCRETE SHALL MEET THE PROJECT SPECIFICATIONS AND SHALL DEVELOP COMPRESSIVE STRENGTHS AS FOLLOWS (28 DAY STRENGTH):
A. NORMAL WEIGHT CONCRETE (145 PCF)
B. FOUNDATION & SLABS ON GRADE 3500 PSI
- PROVIDE CURRENT (MAX. 1 YEAR OLD) STATISTICAL DATA FOR EACH CONCRETE MIX SUBMITTED IN ACCORDANCE WITH ACI 318-18.
3. ALL REINFORCING BARS FOR CONCRETE SHALL HAVE A MINIMUM YIELD STRENGTH OF 80,000 PSI AND MEET THE REQUIREMENTS OF ASTM A-615. FOR PLACEMENT OF REINFORCING CONFORM TO ACI-301, ACI-315, ACI-318, AND CRSI "MANUAL OF STANDARD PRACTICE". ALL REINFORCING SHALL BE ACCURATELY PLACED, RIGIDLY SUPPORTED, AND FIRMLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH THE ABOVE REQUIREMENTS. PROVIDE CLASS "B" LAP SPLICE FOR CONTINUOUS BARS. USE THE FOLLOWING COVER:
A. CONCRETE COVER REQUIREMENTS FOR REINFORCEMENT, U.N.O.:
a. CONCRETE CAST AGAINST EARTH 3"
b. CONCRETE POURED IN FORMS BUT EXPOSED TO WEATHER OR EARTH:
• #5 REINFORCEMENT AND SMALLER 1 1/2"
• REINFORCEMENT LARGER THAN #5 2"
• CONCRETE POURED IN FORMS BUT NOT EXPOSED TO WEATHER OR EARTH.
c. #11 REINFORCEMENT AND SMALLER 3/4"
4. NO CONDUIT PLACED IN CONCRETE SLAB SHALL HAVE AN OUTSIDE DIAMETER GREATER THAN 1/3 THE THICKNESS OF THE SLAB. NO CONDUIT SHALL BE EMBED IN A SLAB THAT IS LESS THAN 4" THICK. MINIMUM CLEAR DISTANCE SHALL BE IN ACCORDANCE WITH ACI 318.
5. ALL REINFORCING BARS, ANCHOR BOLTS, DOWELS AND OTHER CONCRETE INSERTS SHALL BE SECURED ADEQUATELY IN POSITION PRIOR TO PLACEMENT OF CONCRETE. CONTRACTOR SHALL USE TEMPLATES TO INSURE ACCURATE PLACEMENT OF ANCHOR BOLTS, DOWELS, ETC.
6. ALL CONCRETE SHALL BE CONSOLIDATED BY USE OF A MECHANICAL VIBRATOR OR OTHER MEANS APPROVED BY THE ENGINEER.
7. CONCRETE SHALL COMPLY WITH ALL THE REQUIREMENTS OF ASTM STANDARD C94 FOR MEASURING, MIXING, TRANSPORTING, ETC. CONCRETE TICKETS SHALL BE TIME STAMPED WHEN CONCRETE IS BATCHED. CONCRETE SHALL BE PLACED IN ITS FINAL POSITION WITHIN 90 MINUTES AFTER ADDITION OF BATCH WATER. CONCRETE SHALL BE DISCARDED IF THE FOREGOING ELAPSED TIME IS EXCEEDED.
8. PROVIDE 6X12 CONCRETE CYLINDERS FOR EVERY 75 CY OF CONCRETE PLACEMENT AND EACH DAY. PROVIDE (6) CYLINDERS FOR BREAK TEST DATA.
9. W/C RATIO SHALL NOT EXCEED 0.50
10. SLUMP SHALL BE 4" +/-1" FOR ALL CONCRETE
11. DO NOT ADD WATER TO CONCRETE ON SITE.

- SPECIFIED IN THE DRAWINGS.
3. UNLESS NOTED, ANCHOR SPACING AND ANCHOR EDGE DISTANCE SHALL BE AS PER MANUFACTURER'S MOST CURRENT PUBLICATION IN ORDER TO DEVELOP FULL TENSION.
4. DO NOT EXCEED MANUFACTURER'S MAX. RECOMMENDED TIGHTENING TORQUE.
5. ALL ANCHORS SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS UNDER MANUFACTURER'S SUPERVISION IN ORDER TO DEVELOP THE MOST FULL TENSION.
6. INSTALLATION OF ALL ANCHORS SHALL BE PERFORMED BY PERSONNEL TRAINED AND CERTIFIED IN ACCORDANCE WITH THE MANUFACTURER'S SUPERVISION PROGRAM. CERTIFICATION SHALL INCLUDE WRITTEN ACCORDANCE WITH ACI/CRSI ADHESIVE ANCHOR INSTALLER CERTIFICATION PROGRAM.
7. ALL ANCHORS INSTALLED SHALL BE CONTINUOUSLY INSPECTED BY PERSONNEL SPECIALLY APPROVED FOR THAT PURPOSE BY THE BUILDING OFFICIAL. THE INSPECTOR SHALL FURNISH A REPORT TO THE LICENSED DESIGN PROFESSIONAL AND THE REPORT SHALL COVERED BY THE REPORT HAS BEEN PERFORMED AND THE MATERIALS AND METHODS USED CONFORM WITH THE APPROVED CONTRACT DOCUMENTS AND THE PRINTED INSTALLATION INSTRUCTIONS (MPII).
8. TESTING OF EPOXIED ANCHORAGE SHALL BE REQUIRED, THE CONTRACTOR SHALL TEST EACH DAY'S PRODUCTION AND NOT LESS THAN TWO ANCHORS. THE TESTING SHALL BE DONE BY APPLYING A TENSILE LOAD OF 1000 POUNDS TO THE EMBED ANCHOR. THE TESTING RESULTS SHALL BE COVERED BY THE REPORT HAS BEEN PERFORMED AND THE MATERIALS AND METHODS USED CONFORM WITH THE APPROVED CONTRACT DOCUMENTS AND THE PRINTED INSTALLATION INSTRUCTIONS (MPII).

EPOXY ANCHOR INSTALLATION NOTES (IF REQUIRED)

HOLE PREPARATION

1. DRILL – DRILL HOLE TO SPECIFIED DIAMETER AND DEPTH.
2. BLOW – REMOVE DUST FROM HOLE WITH OIL-FREE COMPRESSED AIR. AIR NOZZLE MUST REACH THE BOTTOM OF THE HOLE.
3. BRUSH – CLEAN WITH A NYLON BRUSH FOR A MINIMUM OF 4 CYCLES. BRUSH IS WORN AND MUST BE REPLACED IF NO RESISTANCE IS FELT.
4. BLOW – REMOVE DUST FROM HOLE WITH OIL-FREE COMPRESSED AIR. AIR NOZZLE MUST REACH THE BOTTOM OF THE HOLE.

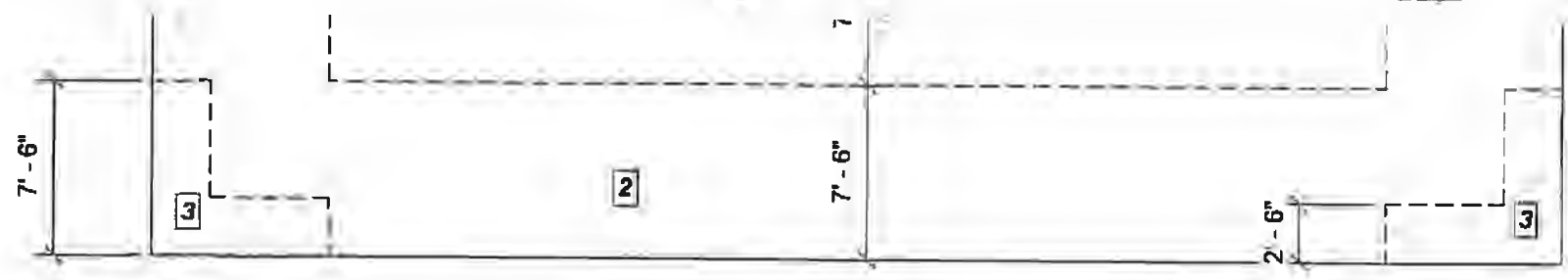
CARTRIDGE PREPARATION

1. CARTRIDGE PREPARATION SHALL INCLUDE CHECKING EXPIRATION DATE OF ADHESIVE PRODUCT. PRODUCT IS USABLE UNTIL END OF PRINTED EXPIRATION DATE.
2. ATTACH – ATTACH PROPER NOZZLE TO CARTRIDGE. DO NOT MODIFY CARTRIDGE.
3. INSERT – INSERT CARTRIDGE INTO DISPENSING TOOL.
4. DISPENSE – DISPENSE ADHESIVE TO THE SIDE UNTIL PROPERLY MIXED.

FILLING THE HOLE

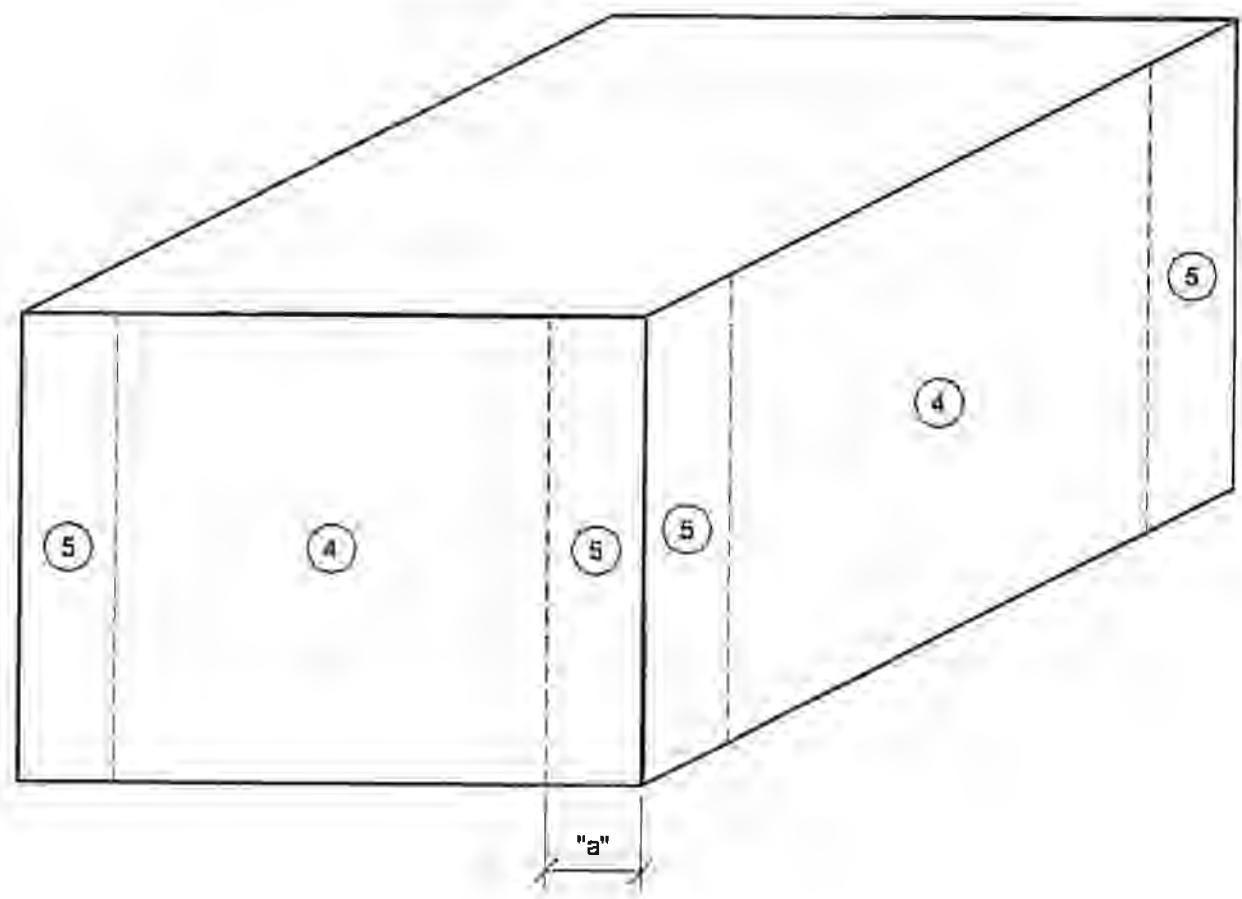
1. INSTALL ADHESIVE RETAINING CAP. REFER TO ADHESIVE RETAINING CAP INSTRUCTIONS.
2. FILL – FILL HOLE 1/2 - 2/3 FULL, STARTING FROM BOTTOM OF HOLE. DO NOT OVERFILL. HOLE FILLS UP.

INSERT CLEAN, OIL-FREE ANCHOR, TURNING SLOWLY UNTIL THE ANCHOR IS FULLY SEATED.



WALL WIND PRESSURE DIAGRAM

NOTE: a=5'-0"



MAIN WII

INTER

WIND VELOCITY (MPH)
131

SLAB REINFORCED
BARS OF #4 @12" O.C.,
3 BAR DOOR CORNER

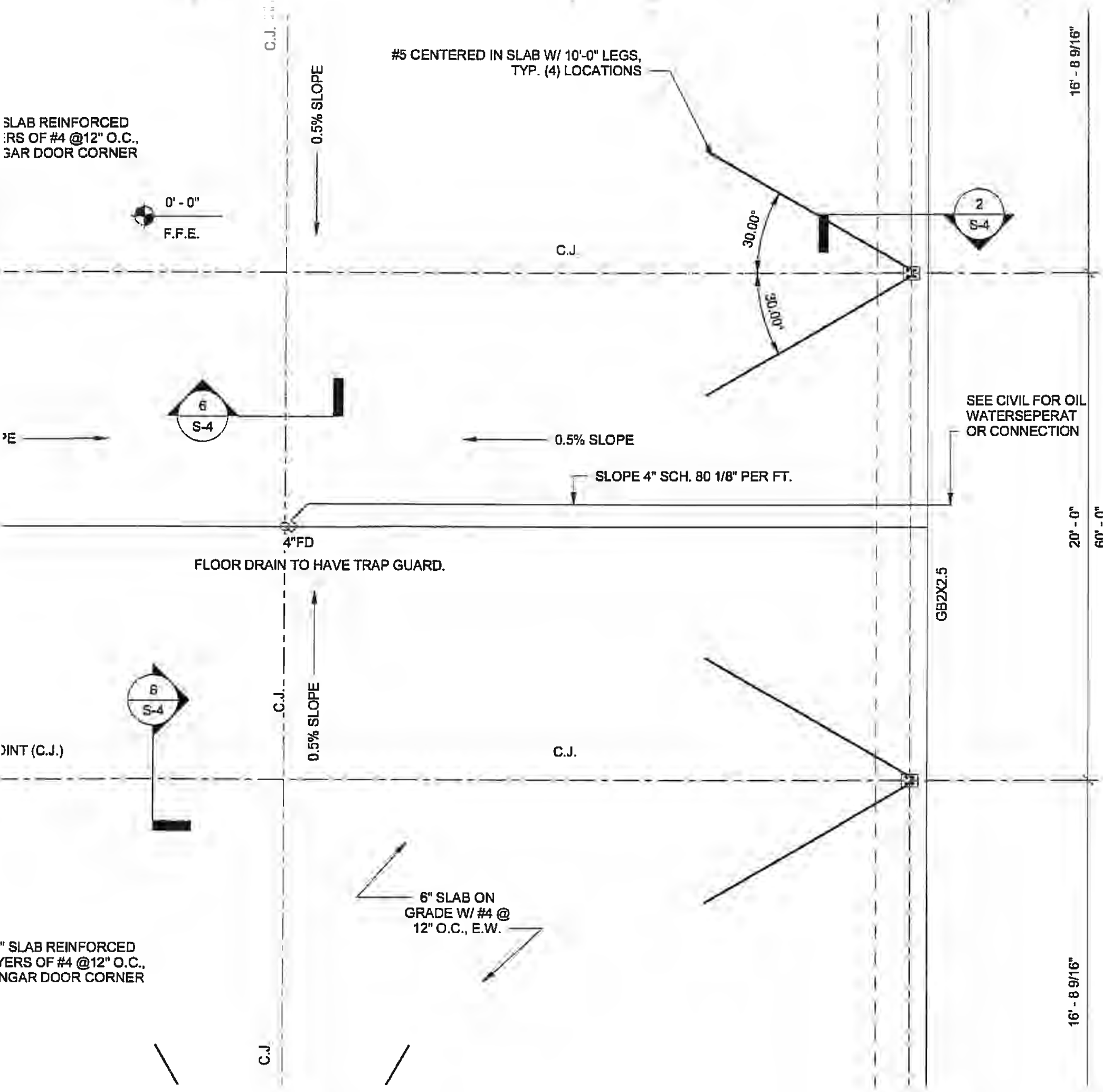


0'-0"

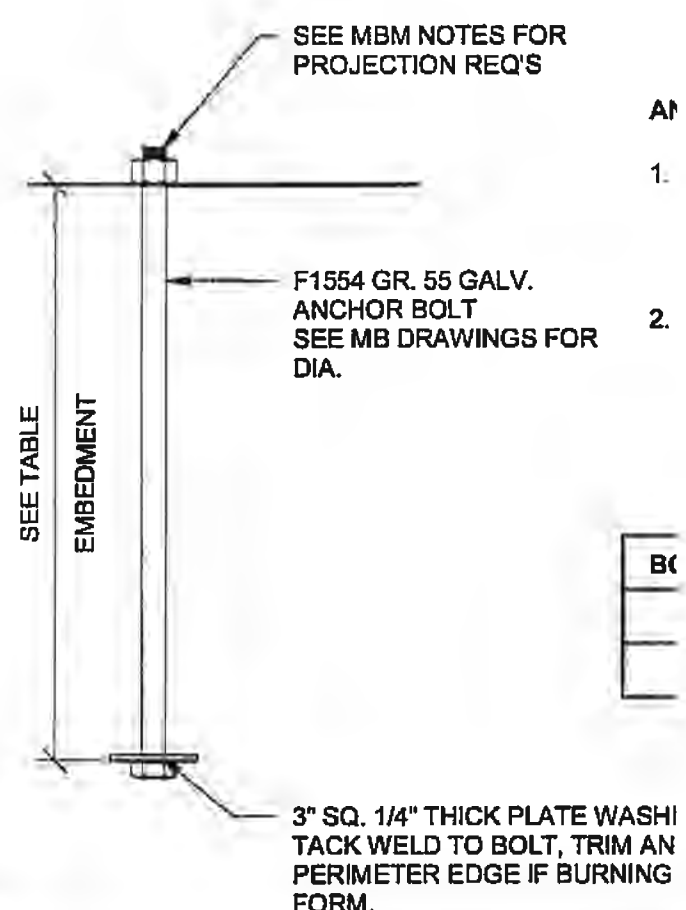
0'-0"

6" SLAB REINFORCED
BARS OF #4 @12" O.C.,
3 BAR DOOR CORNER

6" SLAB ON
GRADE W/ #4 @
12" O.C., E.W.

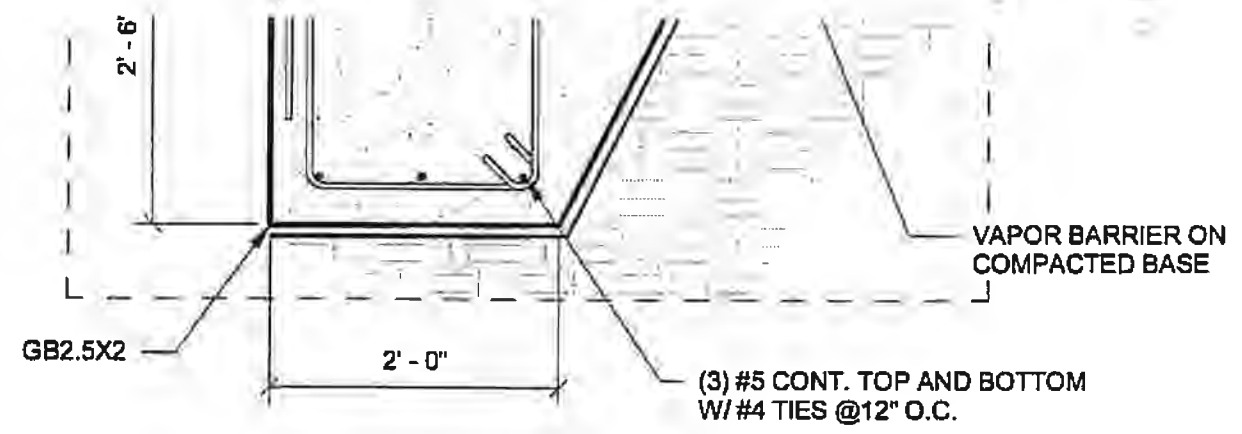


4. FOR FOUNDATION DIMENSIONS AND REINFORCING
5. FLOOR SLAB SHALL BE 6" CONC. SLAB-ON-CONCRETE
6. COORDINATE ALL FLOOR DRAIN (FD) LOCATIONS
7. SEE GENERAL NOTES FOR CONTRACTION JOINTS
8. CONTINUE ALL GRADE BEAM REINFORCING THROUGH
9. ALL STRUCTURAL STEEL FRAMING SHALL BE WELDED
10. COORDINATE FINAL SLAB DIMENSIONS WITH THE METAL BUILD CONTRACTOR. CAST CONCRETE UNTIL THE METAL BUILD CONTRACTOR HAS BEEN APPROVED BY THE CONTRACTOR

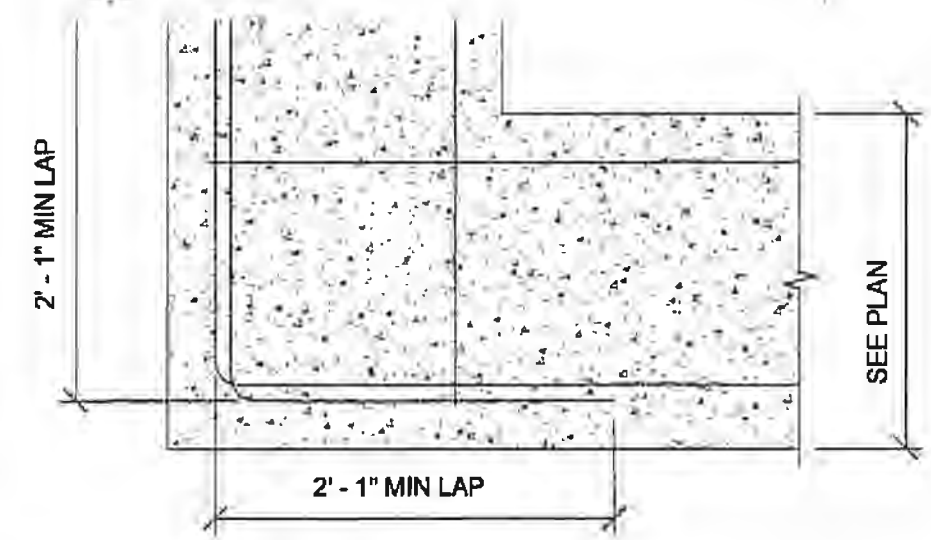


2 ANCHOR BOLT DETAIL
1 1/2" = 1'-0"

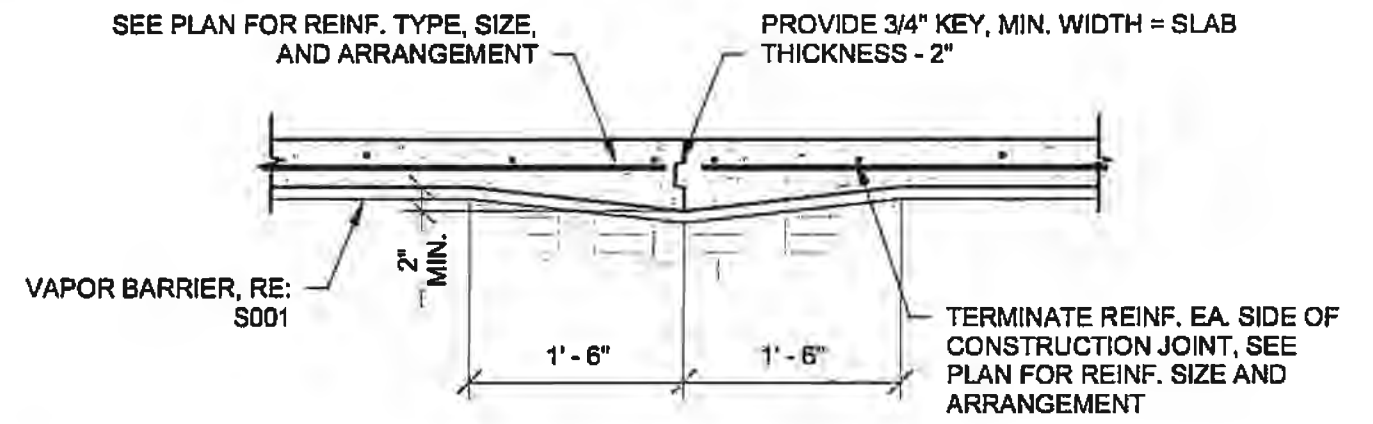
ON
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② GRADE BEAM AT COLUMN
3/4" = 1'-0"

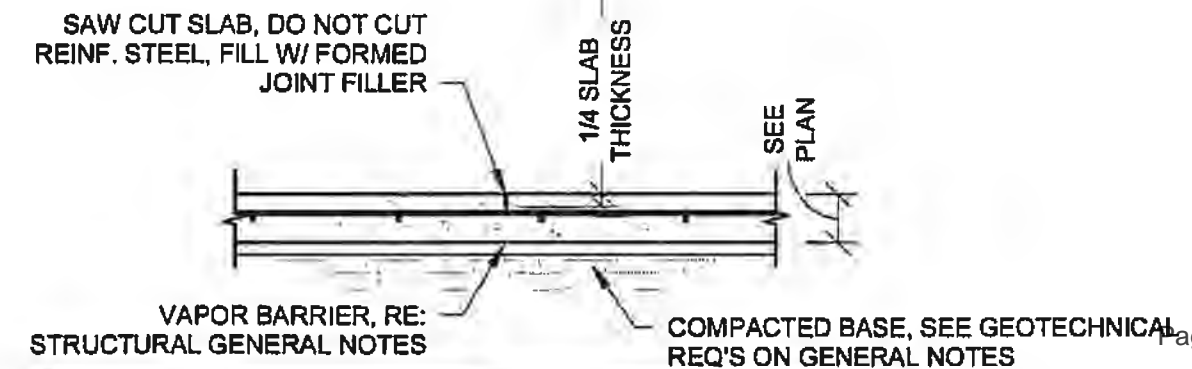
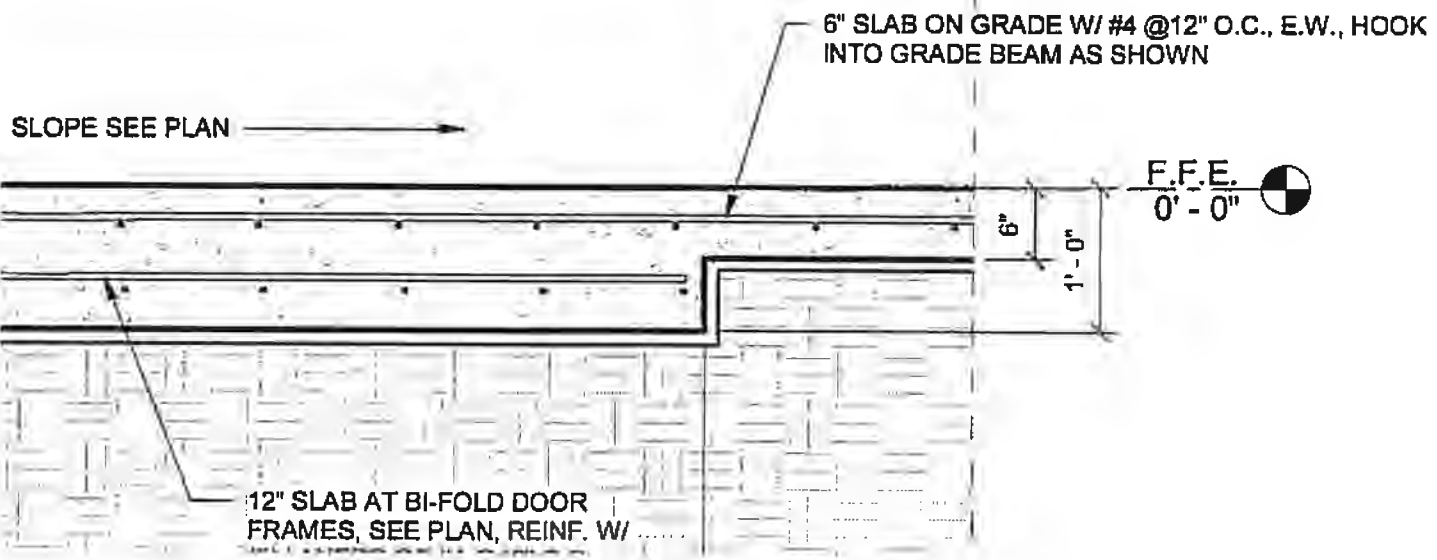


③ FOUNDATION REINF. @ CORNER
1" = 1'-0"



⑤ CONSTRUCTION JOINT
3/4" = 1'-0"

TO
CAS



NOTES:
1. IN LIEU OF CONTRACTION JOINT CONTRACTOR MAY USE
CONSTRUCTION JOINT, CONTRACTOR'S OPTION.

7

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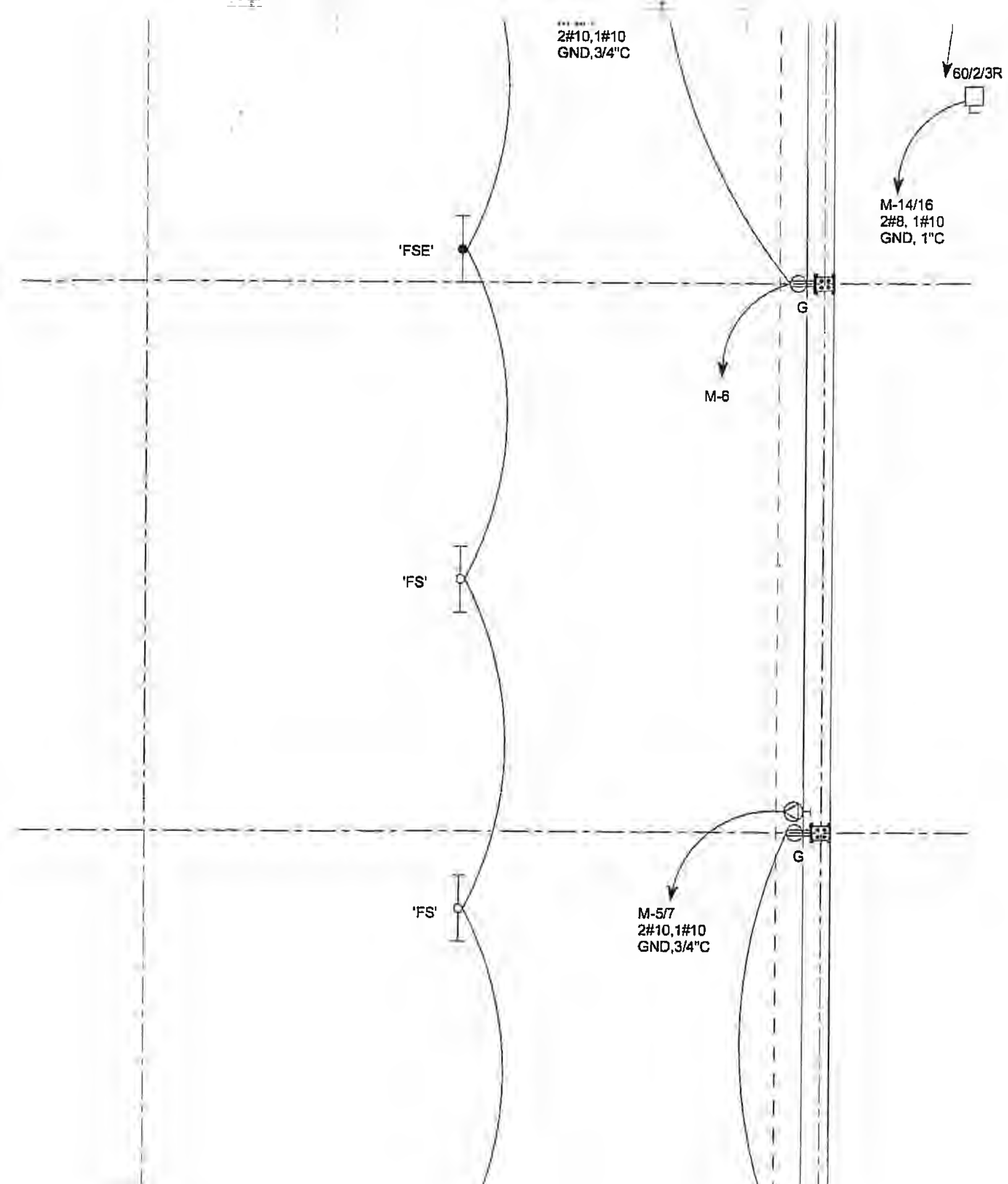
SLOPE SEE PLAN →

6" SLAB ON GRADE

← SLOPE SEE PLAN

VAPOR BARRIER ON COMPACTED FILL

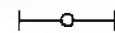

GRADE BEAM, TYP. REINF. NOT SHOWN FOR CL






10. OBTAIN ARCHITECTS/OWNER APPROVAL OF ALL LIGHT FIXTURES, SWITCHES, RECEPTACLES.
11. FURNISH ALL EQUIPMENT AND LABOR, PERFORM ALL LABOR WITH SUPERVISION, BEAR ALL EXPENSES FOR ALL WORK READY FOR OPERATION.
12. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES FOR ASSOCIATED FEES AS INCLUDED IN ELECTRICAL BID.
13. THE ELECTRICAL WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. ALL NOTED BY THE OWNER.
14. ALL WORK SHALL BE INSTALLED IN CONCEALED TYPE CONSTRUCTION. UNDERGROUND CONDUIT SHALL BE SCH.80 PVC. EXTERIOR EXPOSED WORK SHALL BE I.M.C. BRANCH CIRCUIT CONDUIT RUN IN OF CONDUIT 1/2" MIN. SIZE.
15. ALL CONDUCTORS SHALL BE COPPER.
16. PROVIDE GROUNDING PER NATIONAL ELECTRIC CODE.
17. THE CONTRACTOR SHALL LEAVE THE ENTIRE ELECTRICAL SYSTEM INSTALLED IN PROPER WORKMANLIKE MANNER OR MATERIAL WHICH MAY DEVELOP DEFECTS, (ORDINARY WEAR AND TEAR OR DAMAGE) FOR A PERIOD OF ONE(1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.
18. EQUIPMENT GROUNDING CONDUCTOR SHALL BE PULLED IN ALL BRANCH CIRCUIT WIRING. COORDINATE WITH OTHER TRADES.
19. ALL CONDUITS INSTALLED BELOW GRADE SHALL HAVE A MINIMUM OF 36" COVER.
20. EQUIPMENT UNDER OTHER SECTIONS - THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OTHER TRADES FOR CONTROLS, EQUIPMENT, ETC. SHALL BE COORDINATED FOR CONDUIT, WIRING, AND CIRCUITING. REFER TO THE SET OF DOCUMENTS WHERE EQUIPMENT IS MENTIONED. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING. ANY DISCREPANCIES SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR APPROVAL.

ELECTRICAL LEGEND

CEILING OUTLETS

-  PENDANT/SURFACE MOUNTED LED FIXTURE
-  PENDANT/SURFACE MOUNTED LED FIXTURE WITH EMERGENCY BATTERY BACKUP


WALL OUTLETS

-  G DUPLEX RECEPTACLE - 20 AMP, 125 VOLT, GFI, 2 POLE, 3 WIRE GROUNDED TYPE, NEMA 5-20R. MOUNT 48" A.F.F. UNLESS NOTED OTHERWISE
-  240V RECEPTACLE = 30 AMP, 250V, 3 POLE, 4 WIRE GROUNDED TYPE NEMA L14-30R, MOUNT 48" A.F.F. UNLESS NOTED OTHERWISE
-  WALL MOUNTED EXIT LIGHT

WALL SWITCHES (UNLESS OTHERWISE NOTED, MOUNT 48" A.F.F.)

- S A.C. TYPE, SINGLE POLE, 20 AMP, 120/277 VOLT
- SM2 MOTOR RATED TOGGLE SWITCH DISCONNECT, 30 AMP SPEC GRADE, TWO POLE, RATED TO ONE HORSEPOWER.

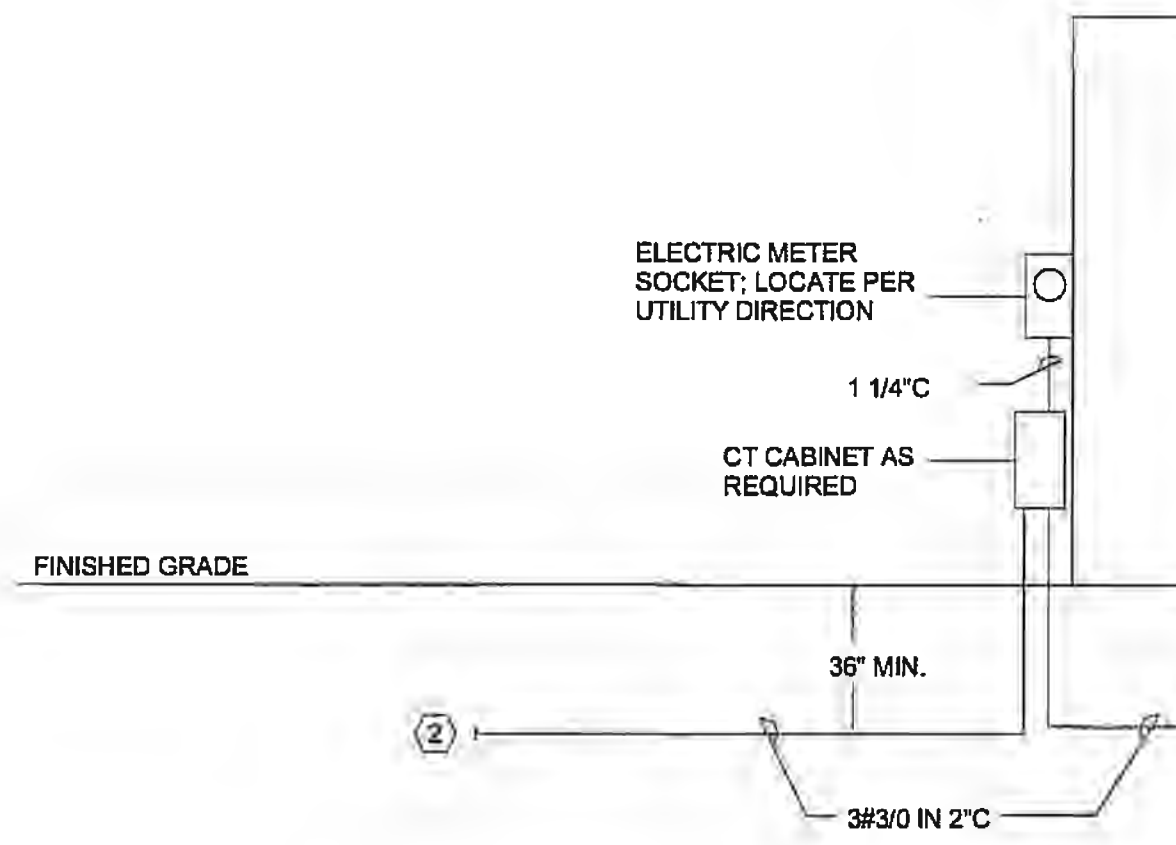
BRANCH CIRCUITING

 LA-1 HOMERUN TO PANEL. ANY CIRCUIT WITHOUT FURTHER IDENTIFICATION INDICATES 2 #12, 1 #12 GROUND - 1/2" C: ~~3~~ 3 #12, 1 #12 GROUND - 1/2" C:

31		1	20		20
33		1	20		20
35		1	20		20
37	SPACE ONLY	1	-		20
39	SPACE ONLY	1	-		30
41	SPACE ONLY	1	-		

TOTAL CONNECTED LOAD: 25.49 KVA
 MINIMUM INTERRUPTING CAPACITY: 22,000 AMPS SYMMETRICAL

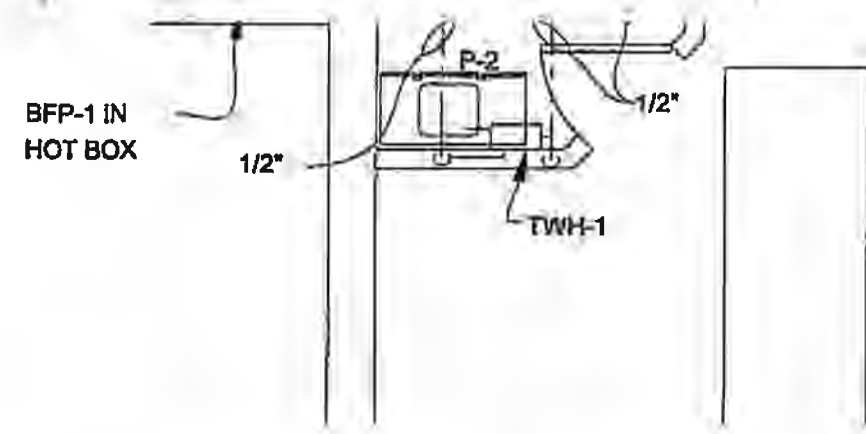
①



POWER RISER DIAGRAM
 NOT TO SCALE

- KEYNOTES:
- ① SURGE SUPPRESSOR; INSTALL PER MANUFACTURER'S RECOMMENDATIONS
 - ② COORDINATE WITH LOCAL UTILITY FOR CONNECTION REQUIREMENTS

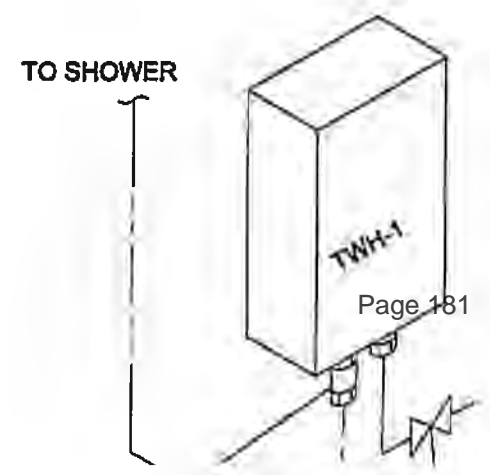
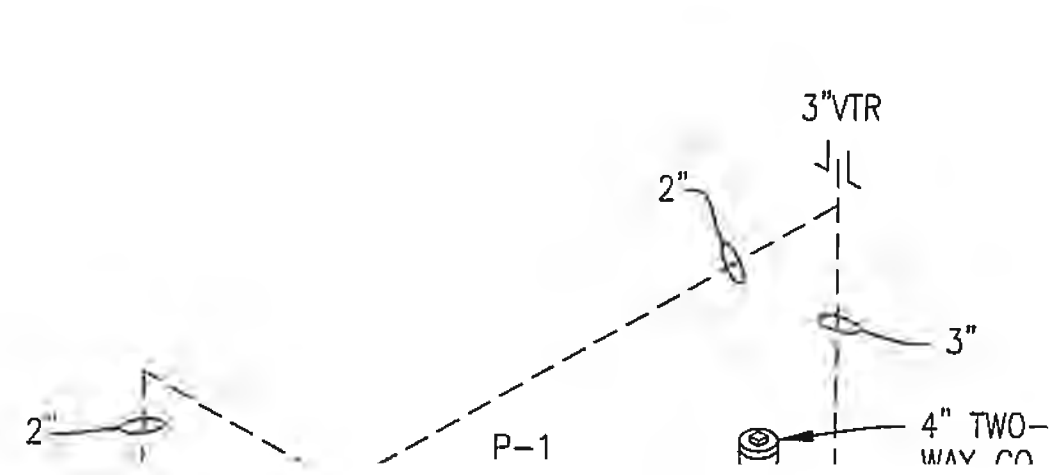
LIGHTING FIXTURE SCHEDULE Page 180				
MARK	MAX WATTAGE	LAMPS	MOUNTING	REMARKS



② **PLUMBING FLOOR PLAN - WATER**
1/4" = 1'-0"

GN
REMARKS
UNTED VITREOUS CHINA FLUSH VALVE TYPE 1.28 GPF
MOUNTED VITREOUS CHINA FOR ADA AT 0.5 GPM

INSTANTANEOUS WATER HEATER SCHEDULE					
MARK	ELECTRICAL DATA				REMARKS
	VOLTS	PHASE	Hz	KW	
TWH-1	208	1	60	4.1	PROVIDE WITH FLOW RESTRICTOR



ly of the Builder/Contractor to ensure that all project
licable requirements of any governing building authority.
uring all required approvals and permits from the

responsible for all erection of the steel and associated
manufacturers drawings. Temporary supports, such as
elements required for erection will be determined,
2010 Section 7.10.3).

ween the Metal Building plans and plans for other
(April 2010 Section 3.3)

patibility of any materials not furnished by the
be coordinated by the Builder/Contractor or A/E firm.
interface between materials if furnished as a part of
ptions will govern.

- The Metal Building supplied by the manufacturer has
and specifications and the loads shown on this
rollin, such as removing wall panels or bracing, from
structural integrity of the building. The Metal Building
er should be consulted prior to making any changes to
owings. The Metal Building Manufacturer will assume no
liting not indicated on these drawings.

nsible for the design, materials and workmanship of the
he manufacturer are intended to show only location,
required to attach the Metal Building System to the
d customer to ensure that adequate provisions are
values, tie rods and or other associated items
ll as foundation design for the loads imposed by the
and the bearing capacity of the soil and other
ctions 3.2.2 and A3)

ENGINEERING DESIGN CRITERIA

Building Code	2020 FLORIDA BUILDING CODE
Building Risk Category	Normal (Risk Category II)
Roof Dead Load	
Superimposed	2.92 psf
Collateral	2.00 psf
(0.00 psf Ceiling 2.00 psf Other)	
Roof Live Load	20.00 psf reduction allowed
Wind	
Ultimate Wind Speed (Vult) ...	131.00 mph
Nominal Wind Speed (Vnom) ...	101 mph (IBC section 1609.3.1)
Serviceability Wind Speed ...	76 mph
Ground Elevation Factor	1.00 (0 ft. ASL)
Wind Exposure Category	C
Exposure Coefficient (K _w)	0.849
Exposure Coefficient (K _z)	0.849
Enclosure Classification	Enclosed Building
Internal Pressure Coef (GC _p)	0.18/-0.18
Wall Loads for components not provided by building manufacturer	
Zone 5 Areas (within 5.00' of corner)	34.23 psf pressure -43.64 psf suction
Zone 4 Areas (away from corners)	34.23 psf pressure -37.08 psf suction
These values are the maximum values required based on a 10 sq ft area.	
Components with larger areas may have lower wind loads.	



DEFLECTION CRITERIA

The material supplied by the manufacturer has been designed with the
following minimum deflection criteria. The actual deflection may be
less depending on actual load and actual member length.

BUILDING DEFLECTION LIMITS..... BLDG-A

Roof Limits	Rafters	Purlins	Panels
Live /	180	150	60
Snow /	N/A	N/A	N/A
Serviceability Wind /	180	180	60
Total Gravity /	120	120	60
Total Uplift /	N/A	N/A	60
Frame Limits	Sideways	Portal Frame	Sideways
Live /	60		
Snow /	N/A		
Serviceability Wind /	60		
Seismic Drifts /	N/A	N/A	
Service-Level Crane /	100		
Portal Serviceability Wind /	N/A	60	
Total Gravity /	60		
Service Seismic /	N/A	N/A	
Wall Limits	Limit		
Total Wind Panels /	60		
Total Wind Girts /	120		
Total Wind EV Columns /	120		

The Service Seismic limit as shown here is at service level loads.

E5	Sidewall BLDGA W
E6	Sidewall BLDGA W
E7	Endwall BLDGA W
E8	Endwall BLDGA W
E9-E10	Main Frame Cross
E11	iso Trim
R1-R3	Erection Gull
R4-R17	Construction Dr
R18-R19	Trim Profile

PROJECT NOTES

Plate used for Flanges conforms to ASTM A529 or ASTM A572 with a minimum
specified yield strength of 55 ksi for 3'-12" flange widths that are
3/16"-1" thick, and a minimum yield strength of 50 ksi for all other
flange sizes. Plate used for webs conforms to ASTM A1011, ASTM A572,
or ASTM A529 with a minimum yield strength of 55 ksi for webs that are
10ga-3/8" thick, and a minimum yield strength of 50 ksi for all other
web sizes. W, S and C hot rolled structural shapes conform to ASTM A572
or ASTM A992 with a minimum yield point of 50ksi. Large hot rolled V shapes
and MC shapes from MC18x42.7 through MC18x58 conform to ASTM A36 with a
minimum yield strength of 36 ksi. Hot rolled angles other than flange
braces conform to ASTM 36 minimum. Hollow structural shapes conform to
ASTM A500 grade B or C with a minimum yield strength of 42 ksi for round
HSS and 46 ksi for rectangular HSS. Rod material 1/2" diameter and greater
conform to ASTM A572 Grade 50. Cold-formed steel structural members
conform to ASTM A1011, ASTM A1039, or ASTM A653 Grade 55 with a minimum
yield strength of 55 ksi. For Canada, material properties conform to
CAN/CSA G40.20/G40.21 or equivalent.

All bolted joints with A325 Type 1 bolts are specified as snug-tightened
joints in accordance with the most recent edition of the RCSC Specification
for Structural Joints Using ASTM A325 or A490 Bolts. Pre-tensioning
methods, including turn-of-nut, calibrated wrench, twist-off-type
tension-control bolts or direct-tension-indicator are NOT required.
Installation inspection requirements for Snug Tight Bolts (Specification
for Structural Joints Section 9.1) is suggested.

Design criteria as noted is as given within order documents and is applied
in general accordance with the applicable provisions of the model code
and/or specification indicated. Neither the metal building manufacturer
nor the certifying engineer declares or attests that the loads as
designated are proper for local provisions that may apply or for site
specific parameters. The design criteria is supplied by the builder,
project owner, or an Architect and/or Engineer of Record for the overall
construction project.

This metal building system is designed as an Enclosed Building.
Exterior and/or operable components including, but not limited to,
doors, windows, vents, etc. (Components) must be designed to
withstand the required component and cladding wind pressures specified
by the building code. In order to maintain the metal building system's
Enclosed Building condition, all Components shall be closed when wind
velocities reach half the designed wind load for the metal building system
as shown on the drawings and design criteria documentation. Failure to
maintain the metal building system's Enclosed Building condition will
violate and void all warranties and certifications applicable to the
material supplied by the metal building manufacturer.

Framed openings, walk doors, and open areas shall be located in
the bay and elevation as shown in the erection drawings. The
cutting or removal of girts shown on the erection drawings
due to the addition of framed openings, walk doors, or open areas

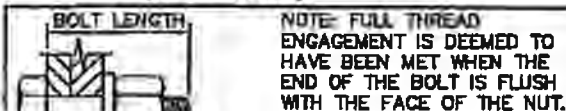
The framing at building A, gridlines 1,3 is NOT designed to
receive a future bay addition. Corresponding frame reactions are
calculated based upon actual tributary area.
Roof and wall panels have been designed in accordance with
section 2222.4 of the Florida Building Code.
Product approval numbers for the State of Florida, Department of
Community Affairs per Product Rule 9B-72:

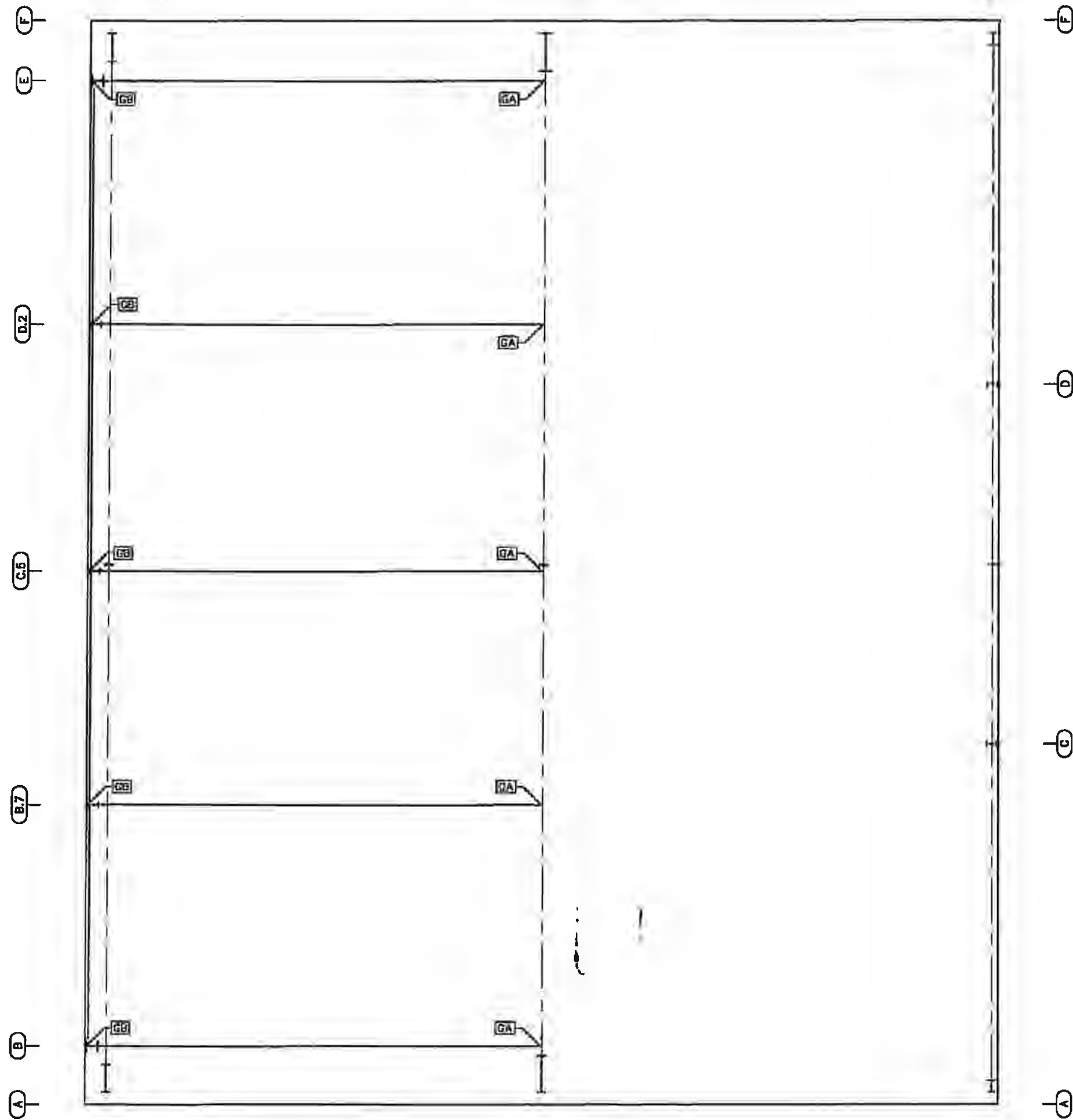
- Panel Walls
 - FL11917 26 gauge AVP panel
 - FL11917 PBR 22, 24, 26 and 29 gauge walls
 - FL11917 24 gauge ShadowRib
 - FL16377 IMP CF Wall Panel
 - FL16377 LS-36 IMP Wall Panel
- Roofing Products
 - FL11819 BetterLok HS 22 and 24 gauge roofs, 12' and 16' wide
 - FL11819 DoubleLok 22 and 24 gauge roofs, 12', 18' and 24' wide
 - FL11819 SuperLok 22 and 24 gauge roofs, 12' and 16' wide
 - FL11819 UltraDek 22 and 24 gauge roofs, 12', 18' and 24' wide
 - FL11868 PBR 22, 24, and 26 gauge roofs
 - FL11868 PBU 26 gauge roofs
 - FL16376 LS-36 IMP roof panel
 - FL7765 CFR IMP roof panel (42' max width, 24/26 min Ga.)

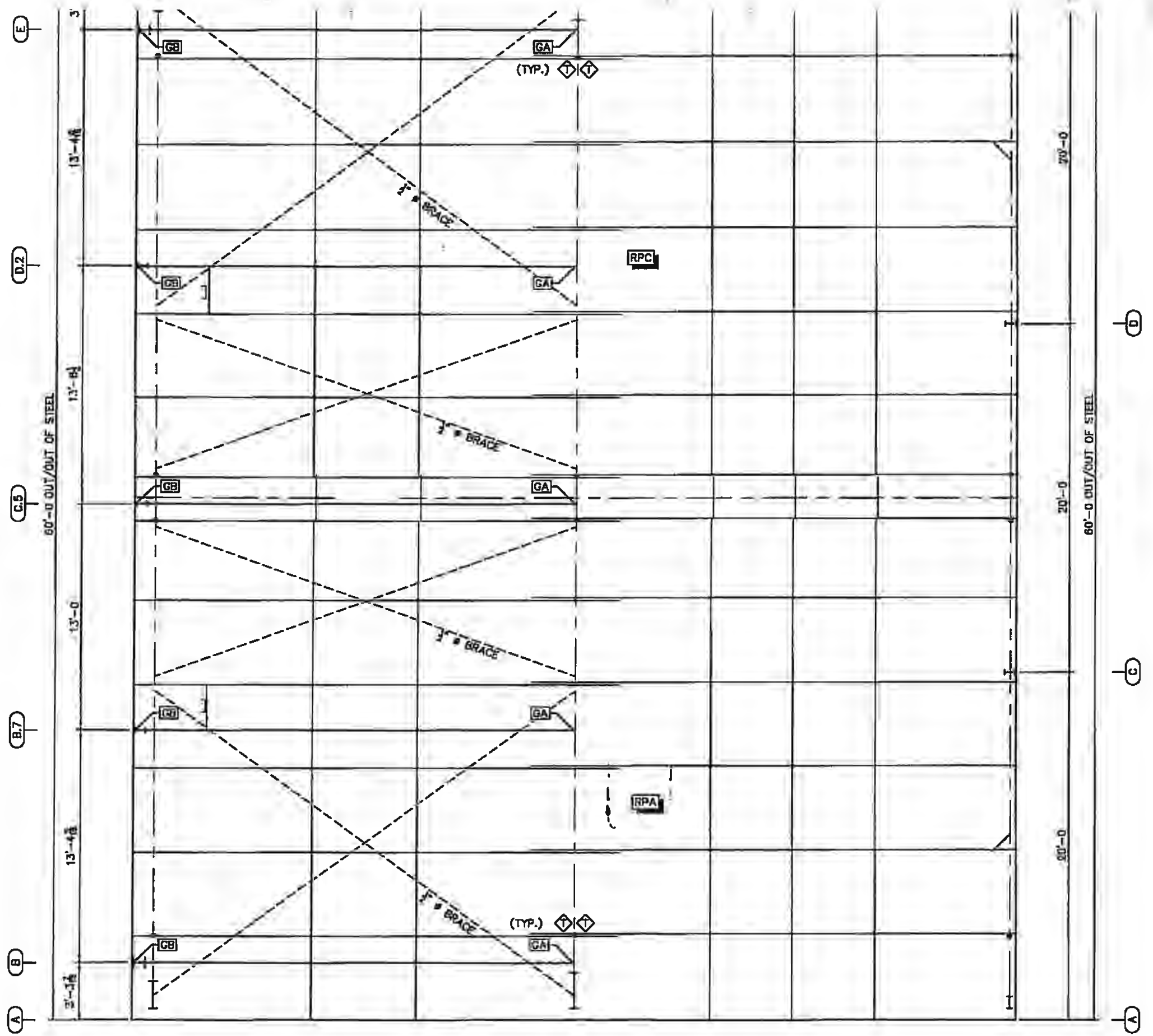
This building has been designed for a S2011D Schweiss Bifold door at EVB.
Per door manufacturer specification, this building is designed to support
the door weight of 6616 lbs with a clear opening height of 11'-0"

IS
Slope
1:12

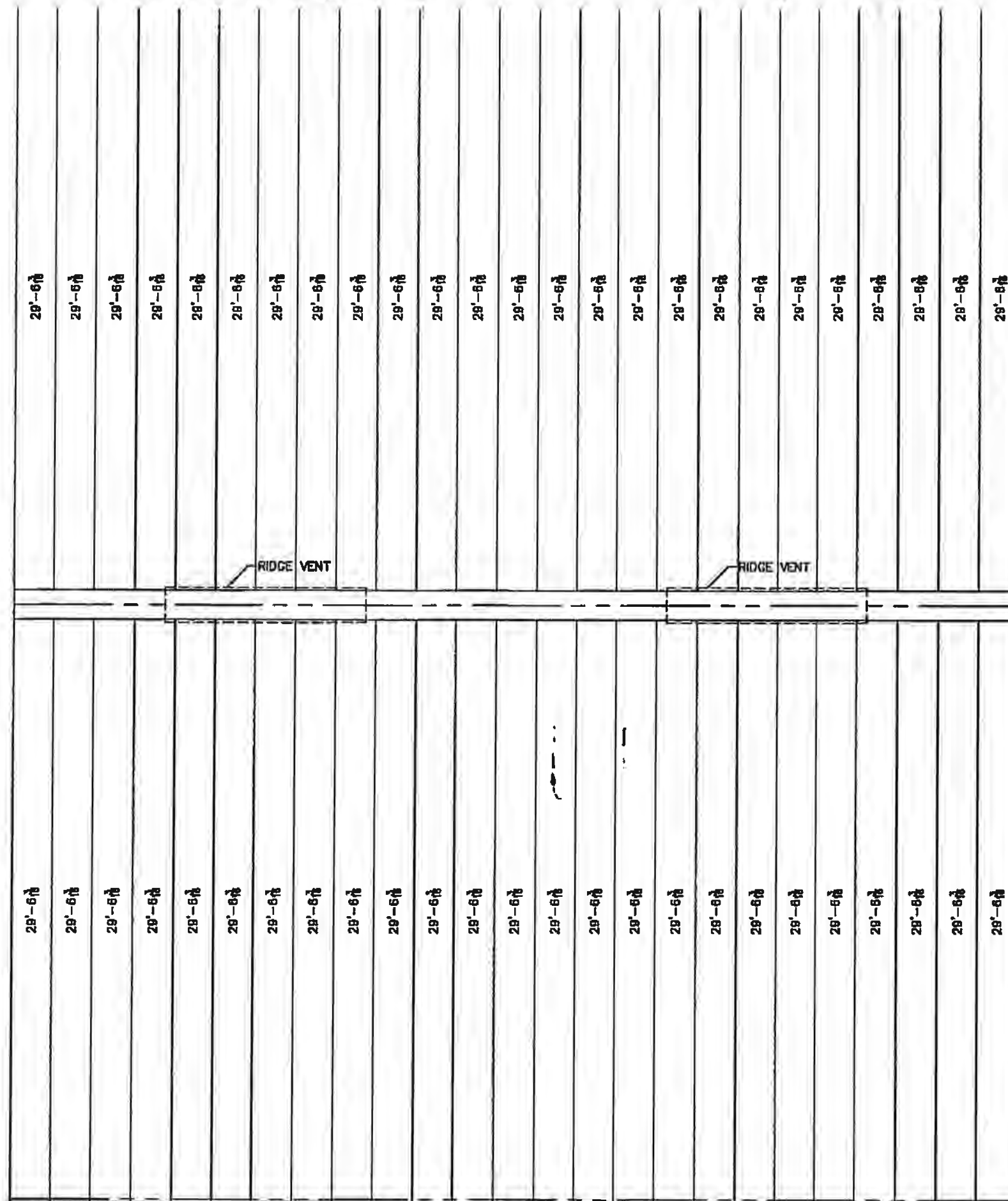
GRIP TABLE (UNLESS NOTED)







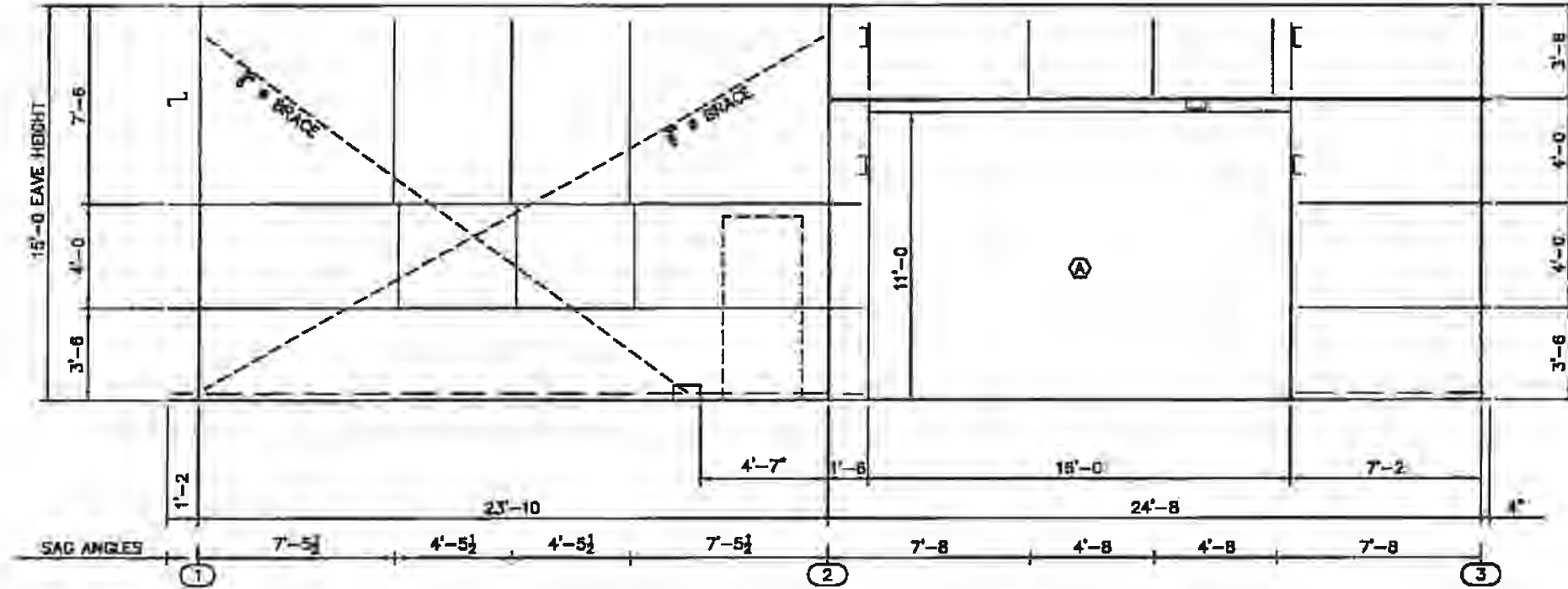
ROOF FRAMING PLAN



ROOF SHEETING PLANE 1
 PANEL TYPE = DLK (GALVALUME)
 PANEL OVERHANG = 2"

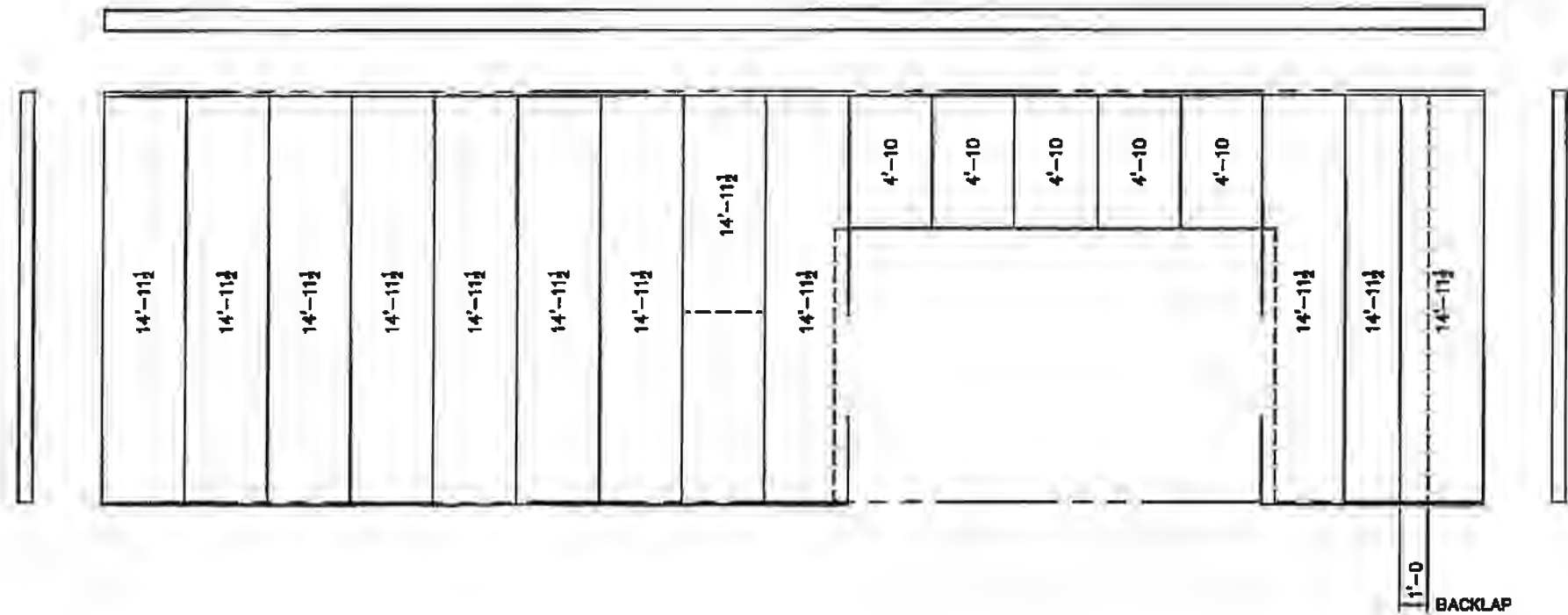
ROOF SHEETING PLAN

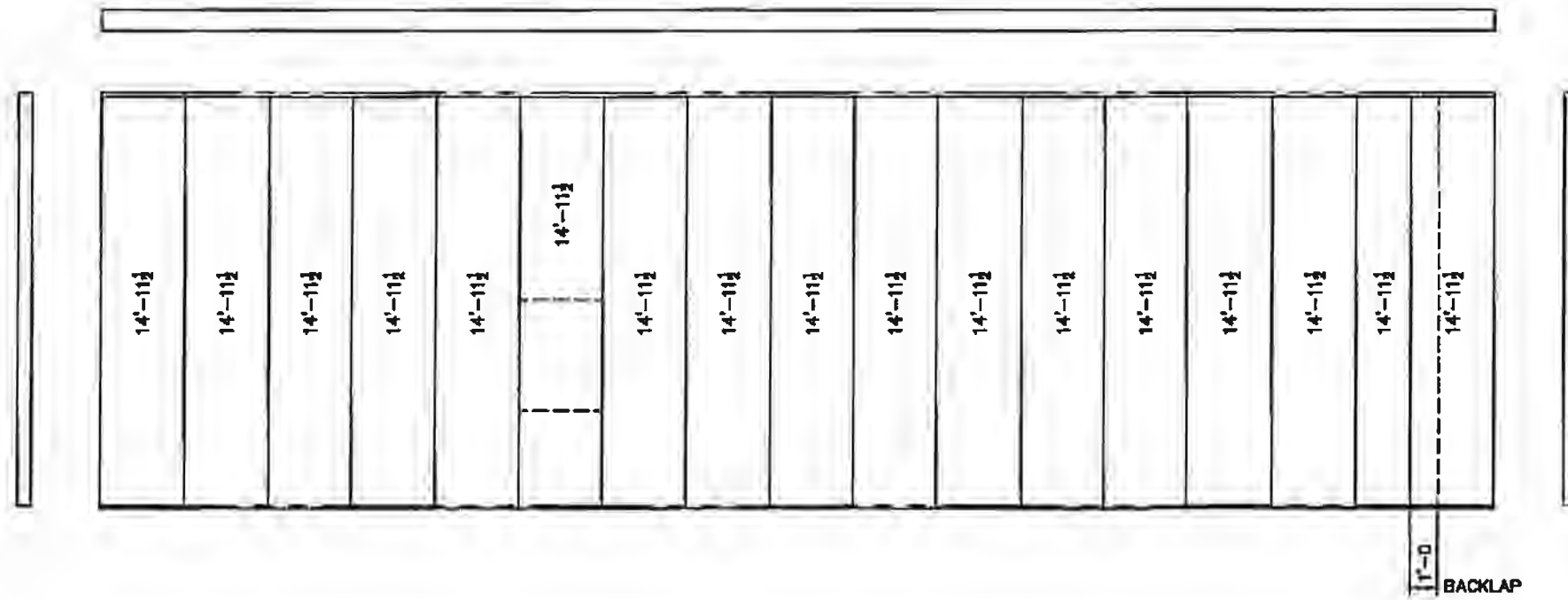
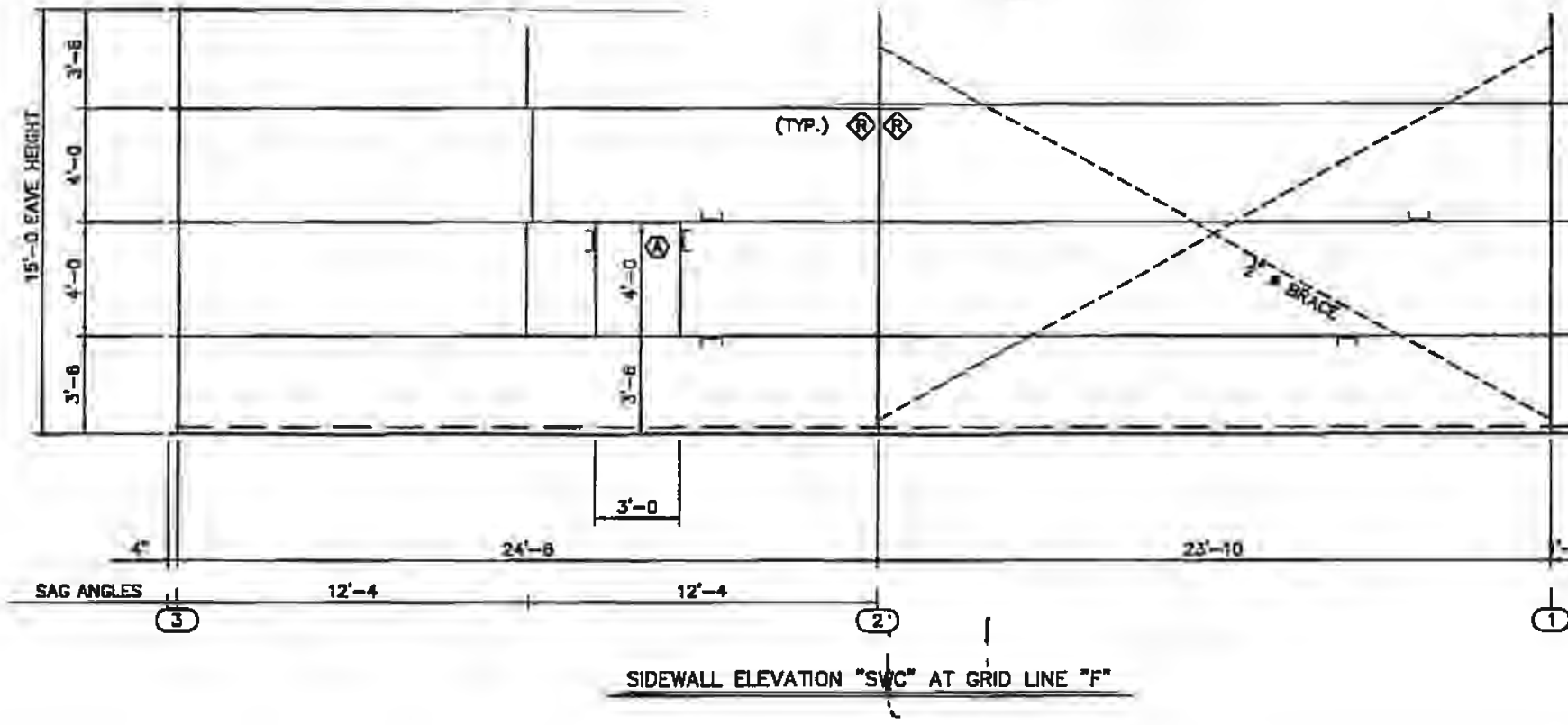
REFER TO DETAILS ON INSTALLATION OF FRAMED OPENINGS.
 USE STANDARD WALL PROCEDURES TO ERECT THE SIDEWALL AND ENDWALL PANELS.



SIDEWALL ELEVATION "SWA" AT GRID LINE "A"

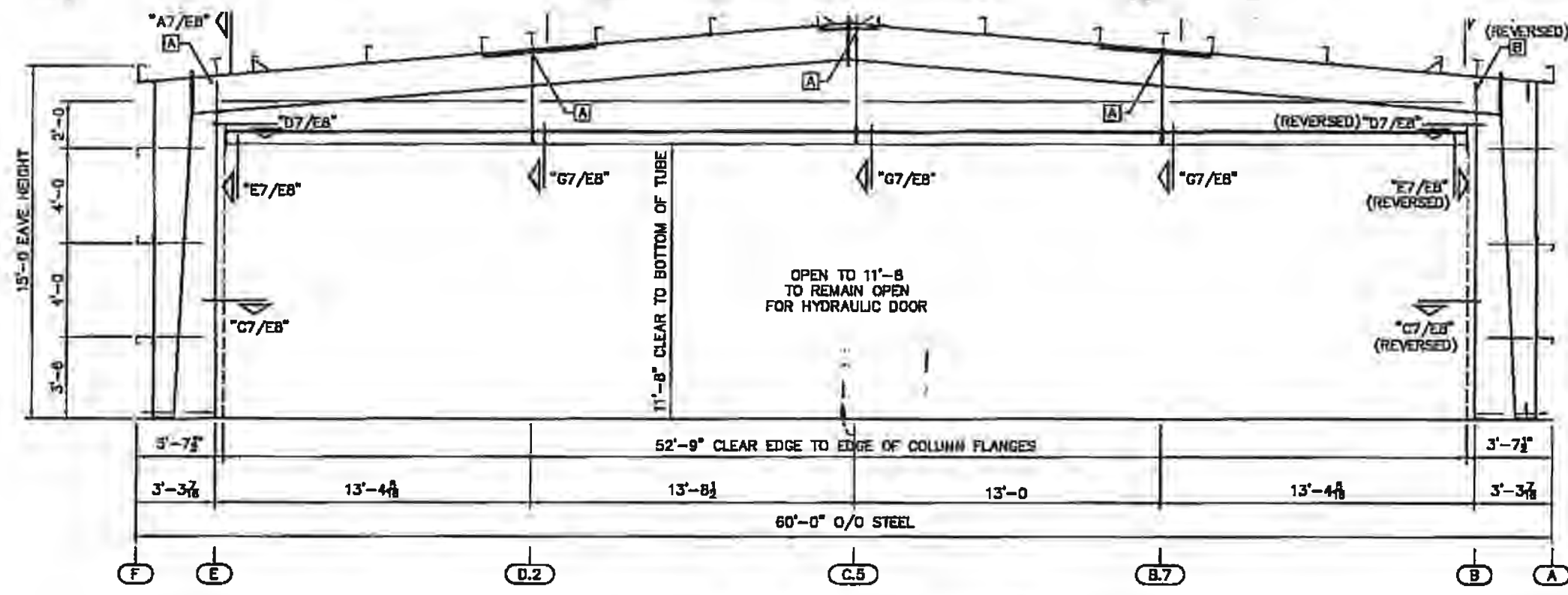
PBR WALL PANELS
 PANEL COVERAGE = 3'-0"
 COLOR = LIGHT STONE
 PANEL PKG. REQ'D. = PBS-3
 Field Cut Panel and Trim as
 required per Construction Details



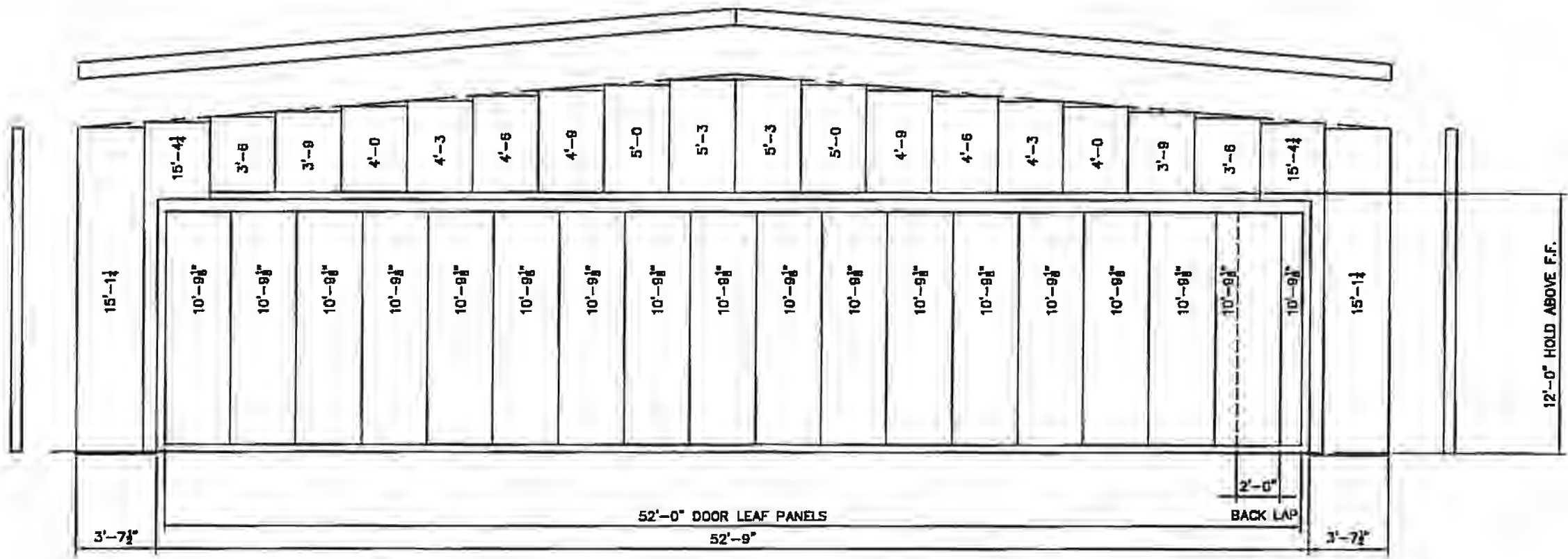


PBR WALL PANELS
 PANEL COVERAGE = 3'-0"
 COLOR = LIGHT STONE
 PANEL PKG. REQ'D. = PBS-4
 Field Cut Panel and Trim as
 required per Construction Details

WALL SHEETING ELEVATION "SWC"

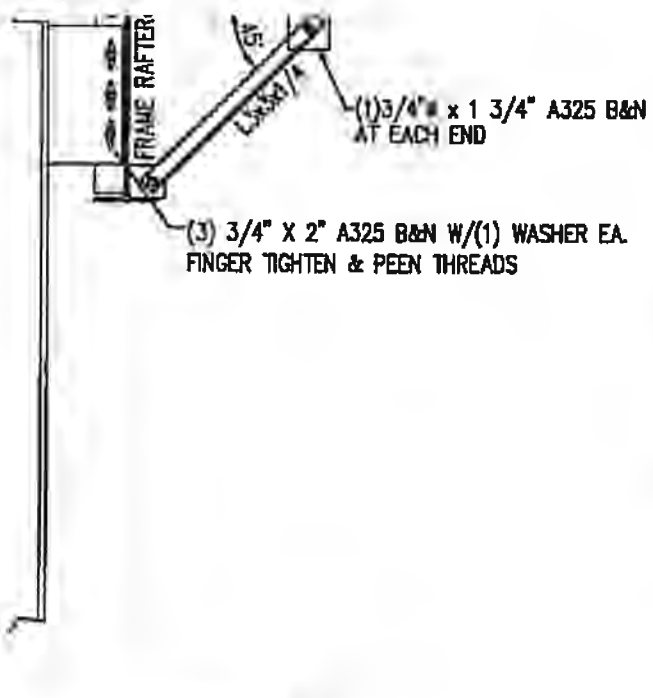


ENDWALL ELEVATION "EWB" AT GRID LINE "1"

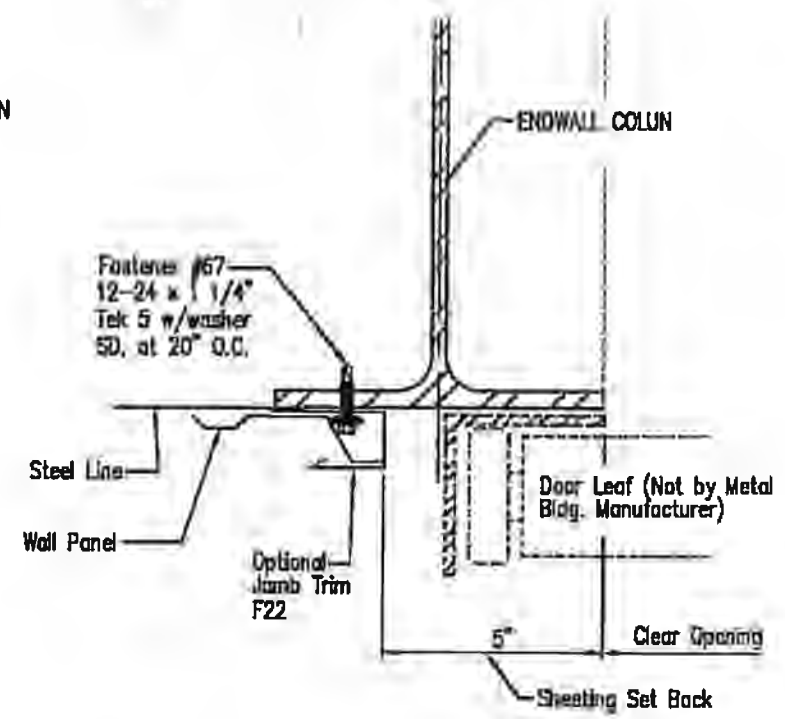


PBR WALL PANELS
 PANEL COVERAGE = 3'-0"
 COLOR = LIGHT STONE
 PANEL PKG. REQ'D. = PBS-1
 Field Cut Panel and Trim as
 required per Construction Details

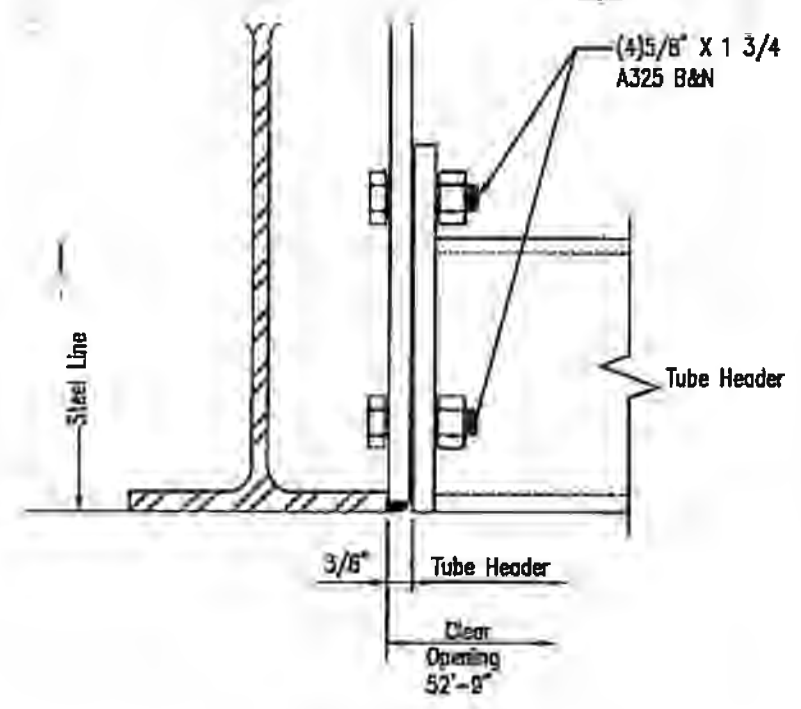
PBR HYDRAULIC DOOR PANELS
 PANEL COVERAGE = 3'-0"
 COLOR = POLAR WHITE
 PANEL PKG. REQ'D. = PBS-1
 Field Cut Panel and Trim as



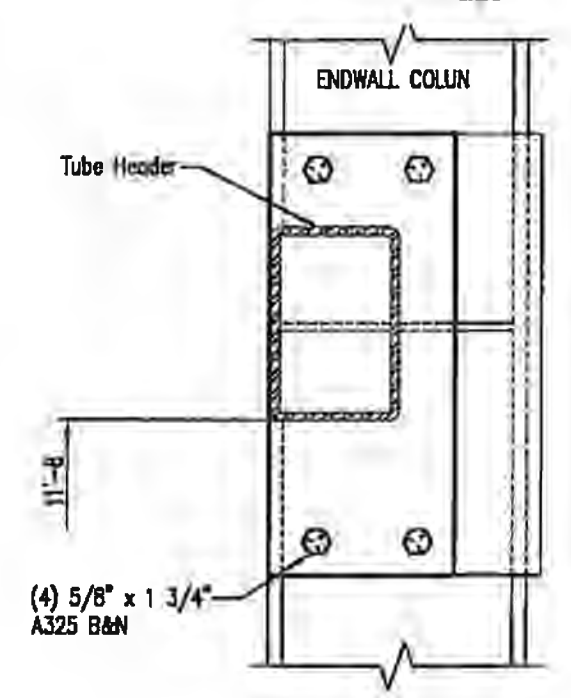
SECTION "A7/E8"



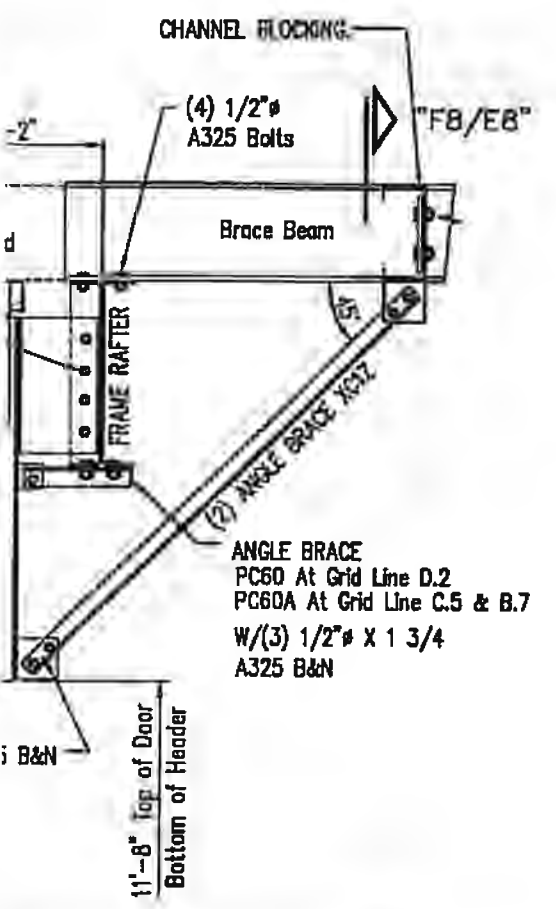
SECTION "C7/E8"



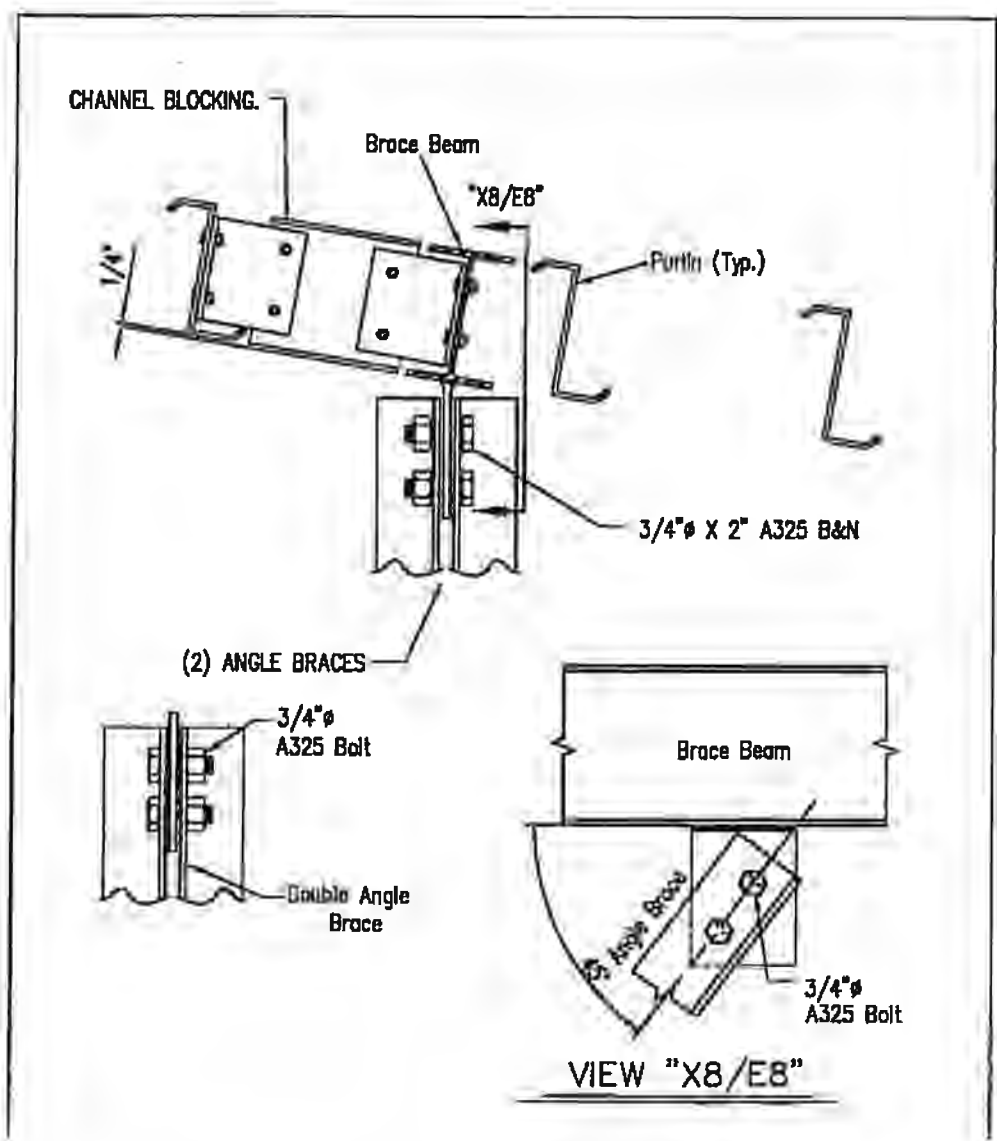
SECTION "D7/E8"



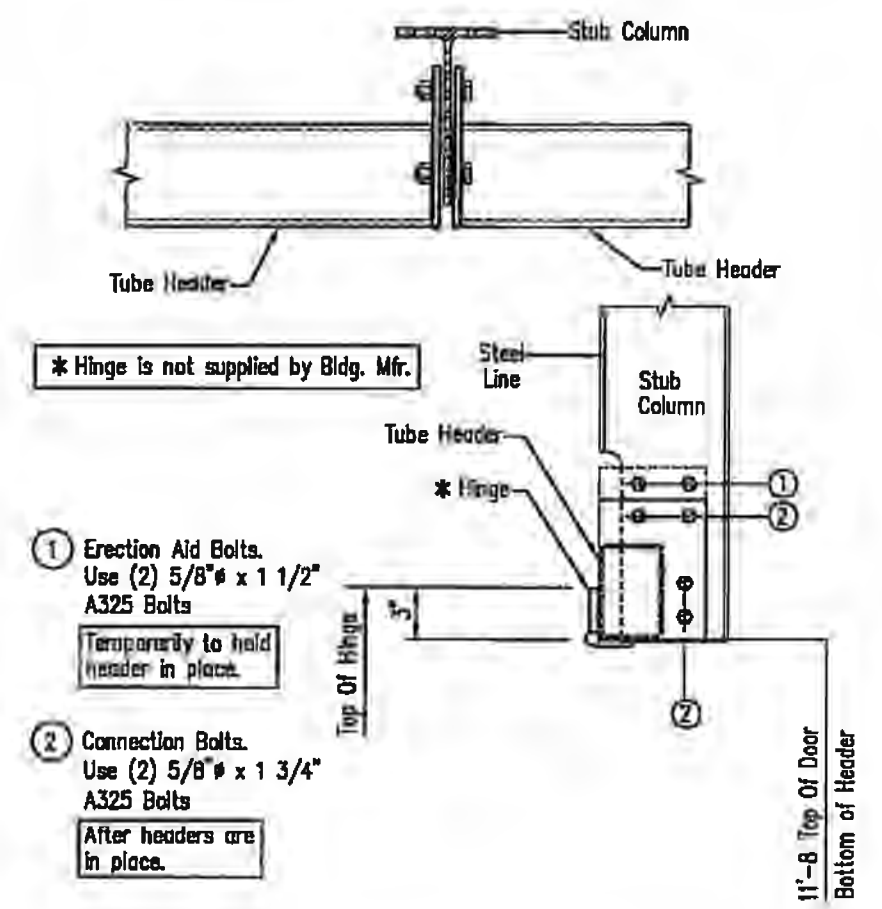
SECTION "E7/E8"



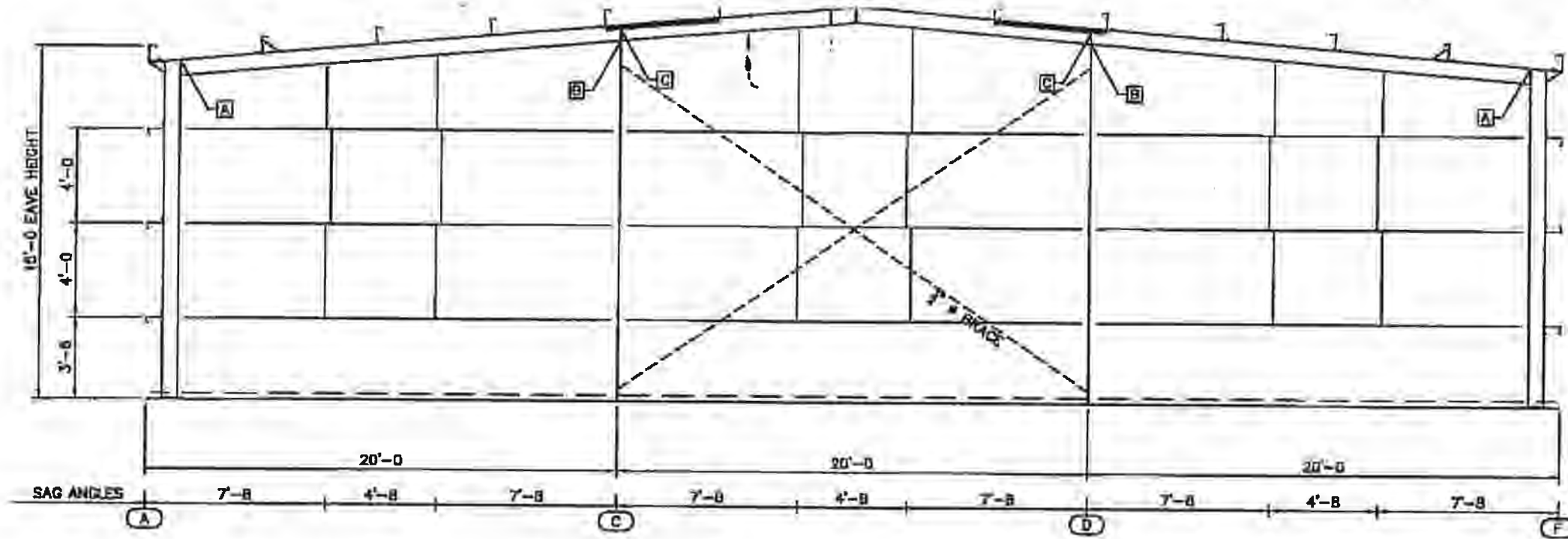
SECTION "B7/E8"



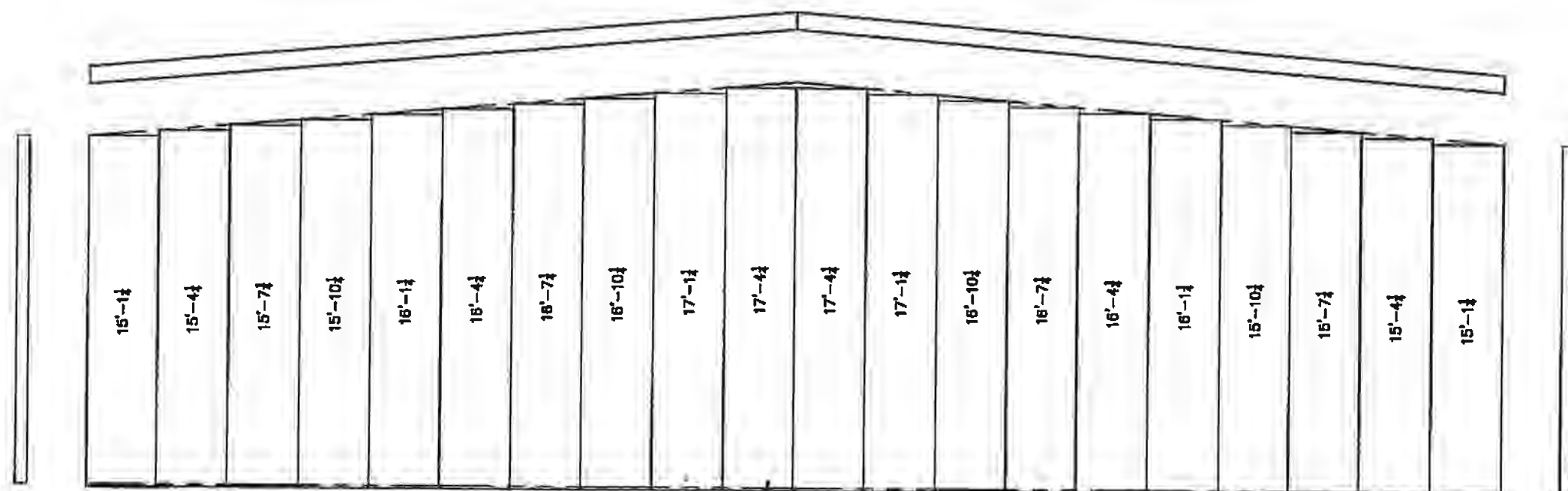
VIEW "X8/E8"



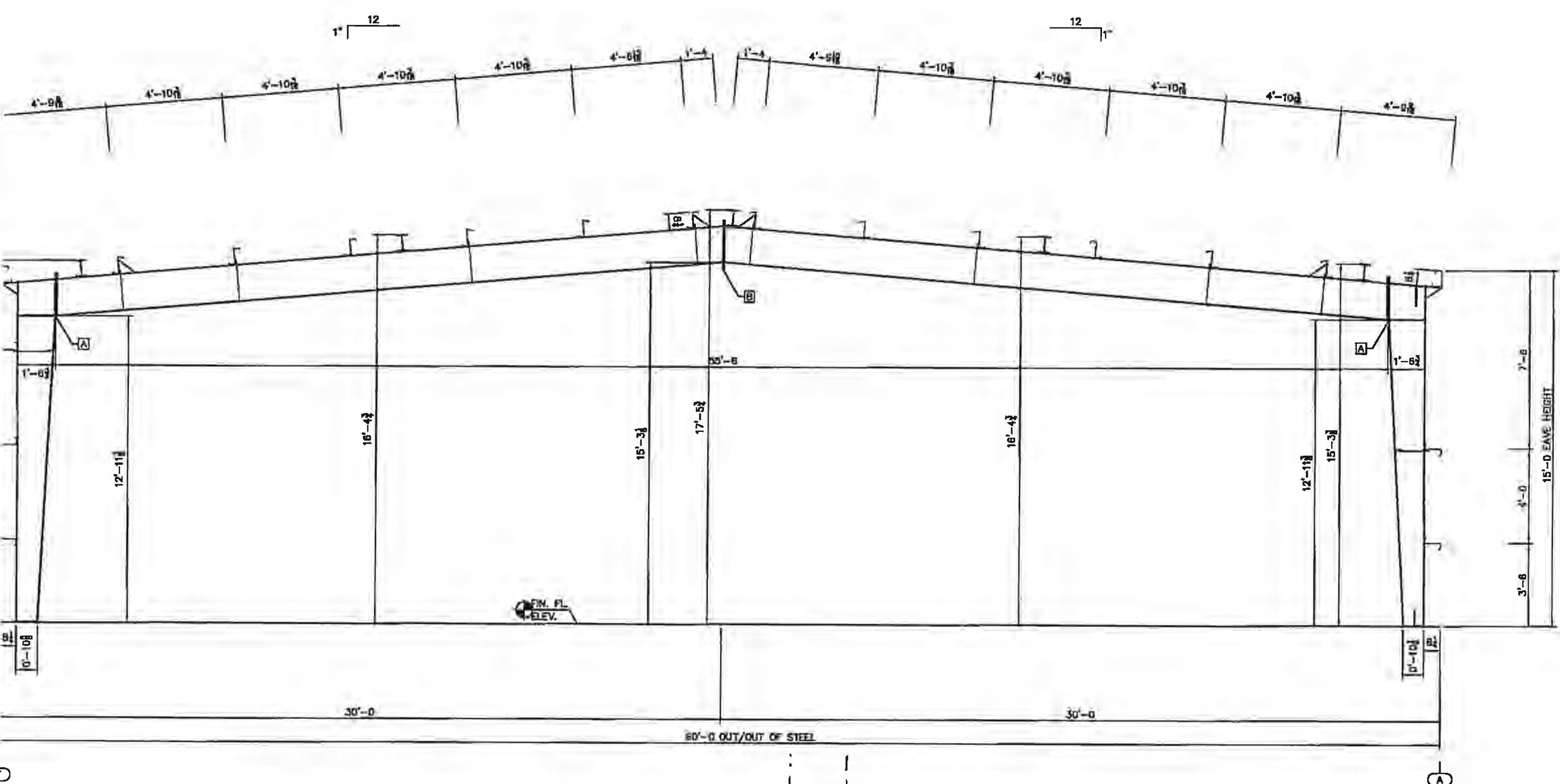
SECTION "G"



ENDWALL ELEVATION "EWD" AT GRID LINE "3"



PER WALL PANELS
 PANEL COVERAGE = 3'-0"
 COLOR = LIGHT STONE
 PANEL PKG. REQ'D. = PBS-2
 Field Cut Panel and Trim as
 required per Construction Details



CROSS SECTION AT FRAME LINE "1"

**PRIVATE PROPERTY RIGHTS
PROPOSED AMENDMENT TO THE FRANKLIN COUNTY COMPREHENSIVE PLAN
REQUIRED BY CHAPTER 163.3177(6)(i), FLORIDA STATUTES**

GOAL

The Franklin County Board of County Commissioners will make planning and development decisions with respect for property rights.

OBJECTIVE 1

Franklin County will respect constitutionally protected private property rights.

Policy 1.1 Franklin County will consider in its decision-making the right of a property owner to physically possess and control his or her interests in the property, including easements, leases, and mineral rights.

Policy 1.2 Franklin County will consider in its decision-making the right of a property owner to use, maintain, develop, and improve his or her property for personal use or for the use of any other person, subject to state law and local ordinances.

Policy 1.3 Franklin County will consider in its decision-making the right of the property owner to privacy and to exclude others from the property to protect the owner's possessions and property.

Policy 1.4 Franklin County will consider in its decision-making the right of a property owner to dispose of his or her property through sale or gift.